



Ordinary Meeting of Council

Meeting held online

15 November 2021 7.00pm

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The Hon Shaun Leane MP

Minister for Local Government
Minister for Suburban Development
Minister for Veterans

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Ministerial Good Practice Guideline MGP-1: Virtual Meetings

Purpose

The Victorian Government's *COVID-19 Omnibus (Emergency Measures) Act 2020* introduced into the *Local Government Act 2020* (the Act) mechanisms that allows for virtual council meetings – to ensure local government decision-making can continue during the coronavirus pandemic. These measures were in force from 1 May 2020 until 1 November 2020 and as a consequence of the recent passage under *COVID-19 Omnibus (Emergency Measures) And Other Acts Amendment Act 2020* the arrangements for virtual meetings have been extended until 26 April 2021.

This change enables councils to continue to represent their communities and make critical decisions about the future.

This good practice guideline has been re-issued to assist councils to continue to conduct council meetings under Part 12 of the Act. Compliance by a council with a relevant good practice guideline can be used as evidence that the council has complied with the corresponding requirement under the Act.

This re-issued guideline takes effect from 2 November 2020 and is effective until 26 April 2021.

Responsibilities of councillors and council staff

Councillors and council staff are required to continue to act in accordance with the Councillors Code of Conduct and the Local Government Acts 1989 and 2020, local laws and other Acts and policies as prescribed.

Requirements for conducting virtual council meetings

Requirement 1: Ordinary business of council can continue by electronic means of communication

Section 394 of the Act allows councillors and members of delegated committee, special committees, and governing bodies of regional libraries, to participate in meetings remotely by electronic means of communication. The intention is to ensure the normal ordinary business of council can continue through the use of electronic communication.

A member's attendance can only be recorded as present where the member can confirm that they meet all three of the following:

- They can hear proceedings;
- They can see other members in attendance and can be seen by other members;
- They can be heard (to speak).



Councils are encouraged to consider and adopt specific rules that provides guidance to the Chair when the three conditions cannot be met but a quorum is present.

A quorum of members of council is breached where a member forming a quorum cannot meet the above requirements.

Disclosure of conflicts of interest and rules relating to conflicts of interest remain. Councils need to ensure members can be removed from proceedings where required.

Requirement 2: All virtual meetings of council where public access is required under the Act must be made publicly available

Where councils take up the option to conduct virtual meetings, all council meetings and joint meetings of councils must be streamed live through the council's website.

Delegated committees and special committees can elect to either stream their virtual meetings live or make a recording available on the council's website following the meeting.

Confidential council meetings or confidential/closed sections of council meetings are not required to be streamed live and will not need to be electronically recorded.

Where the council experiences technical difficulties in being able to broadcast a meeting to the public the meeting must be adjourned until the issue is resolved or postponed to another time and date in accordance with council's meeting procedures, local laws or governance rules.

It may be prudent for the Chair to indicate at the commencement of a meeting that if technical problems are encountered by the council then the meeting will be adjourned until resolution or postponed.

The council is not responsible for any data usage charges or technical difficulties a member of the public may experience in accessing the livestream or recordings of meetings.

Meeting type	Live streamed	Recording to internet
Council meeting	Required for open meetings	Optional
A joint meeting of Councils	Required for open meetings	Optional
A meeting of a delegated committee or joint delegated committee	Required for open meetings if not recorded to internet	Required for open meetings if not live streamed
A meeting of a governing body of a regional library	Not applicable	Not applicable
A meeting of a special committee	Required for open meetings if not recorded to internet	Required for open meetings if not live streamed

This is a guideline updated by the Minister for Local Government pursuant to section 87 of the Local Government Act 2020.

Issued on 20 October 2020

Requirement 3: Representation at council meetings by members of the public

Councils are encouraged to make arrangements to allow members of the public who wish to appear before council to do so through virtual means or other alternatives, including the provision for written statements to be read out at the virtual council meeting or posted prior to the meeting.

From 2 November 2020 to 26 April 2021 (the prescribed period) Councils do not need to provide for members of the public to physically attend meetings. Providing public access to livestreamed events satisfies the public attendance test during the prescribed period.

Requirement 4: Confidentiality

Councils must ensure that where necessary confidential items are dealt with in an electronically secure environment. Councillors must be able to demonstrate to the satisfaction of the Chair that the location that they are participating from is secure to ensure the deliberations are confidential.

I have issued this guideline pursuant to section 87 of the Local Government Act 2020 (Vic).

The Hon Shaun Leane MP



The Hon Shaun Leane MP
Minister for Local Government

This is a guideline updated by the Minister for Local Government pursuant to section 87 of the Local Government Act 2020.

Issued on 20 October 2020

Child and Youth Framework

2021 - 2031



Child & Youth Framework 2021-2031

What is the Child & Youth Framework?

The Child & Youth Framework is Banyule's commitment to supporting children and young people from pre-birth to 24 years. The Framework describes a long-term approach to supporting better outcomes for children and young people and responds to these key questions:



Why do we need a Child & Youth Framework?

Children and young people represent 25% of the Banyule population, that is approximately 40,000 residents. In 2020, Banyule was home to:

- 8,500 children aged 5 years and under
- 23,300 primary and secondary schoolers
- 8,600 young adults aged up to 24 years

Children and young people matter.

Children and young people are unique, active Banyule citizens:

- They are key members of our community and various cultural communities.
- They contribute to the rich fabric of our society.
- They are creative thinkers and problem solvers and contribute valued thoughts on issues both big and small.
- They are change makers and can make the world a better place.

Upholding the rights of every child and young person matters.

Children and young people have the same general human rights as adults, and additional rights because of their unique needs. The Convention on the Rights of the Child outlines their rights and responsibilities, appropriate to their age and stage of development, and acknowledges their status as individuals and as a member of a family and within a community.

Childhood and adolescence matters.

This is the time when we can support children and young people to get a great start to life. Childhood and adolescence are critical periods where enormous physical, behavioural, cognitive, and emotional growth and change occurs. Because this period is marked by unique life stage needs and transition periods, children and young people require a nuanced approach to best support each child and young person to thrive.

Child and Youth Framework 2021-2031

Diversity matters.

Children and young people add value to our diverse community. Like adults, children and young people are a diverse group of people; from where they live, their ancestry, education, employment and health status and their interests and abilities. Acknowledging and understanding their diversity supports communities to appreciate their lived experiences and views and better respond to their needs, enabling them to realise new possibilities for a better future.

Families, parents, and carers matter.

Children and young people grow up within families. Families differ to such an extent that a definition must be creative enough to ensure all forms are included. We acknowledge the diversity in local family structures and support the Department of Health's statement that 'families are groups of people related by any bond or role who share interdependently in the daily tasks of living'.

Nurturing relationships and secure attachment within the context of a family has a powerful influence on the growth and development of children and young people. Families provide many supports children and young people need to thrive including love, nurturing, homes, connections, safety, learning and opportunities. Families need support from their networks and community to help them raise their children. The extent to which families are positively linked with extended families, friends, community institutions, services, and other supports can help parents in their role, and address some of the constraints on optimal parenting.

Communities for children and young people matter.

Because children and young people grow up in a community, their growth and development are influenced by the strengths or deficits present within that community. Factors including social support, connectedness, diversity, inclusion, and access help them belong and connect, and accelerate the development of essential life skills and positive identity. Communities can support children and young people to enjoy recreation, socialise, learn, pursue their interests and hobbies, connect with the natural environment, and contribute.

Prevention and early intervention matters.

"We in Banyule are a thriving, sustainable, inclusive and connected community. We are engaged, we belong, and we value and protect our environment." Achieving this Banyule Community Vision 2041 requires targeted investment in children and young people. A growing field of evidence demonstrates that it is not only a cost-effective strategy, it also leads to better social, health and economic outcomes for individuals and communities.

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Child and Youth Framework 2021-2031

What do we want to achieve?

In line with the Australian Research Alliance for Children and Youth **NEST Vision**, we want to create conditions whereby “all children and youth are loved and safe, have material basics, are healthy, are learning and are participating and have a positive sense of culture and identity.”

The NEST agenda supports communities to understand what children and young people need to lead a good life. The key elements are:



To realise this vision, Council believes we need to:

- Support state, federal and international priorities.
- Strengthen the local supports available to children, young people, and their families.
- Work in alongside children, young people, and their families.

What do children and young people need to live a good life?

Children and young people are experts in their own lives and provide valuable insights into what is needed to live well.

Community consultation demonstrates there is a strong alignment between what children, young people and their families say the need and the six **NEST** conditions for a good life. Banyule children, young people and their families say they need:

- Families, friends, and pets to support them
- Great places to learn and develop skills needed for life and employment
- Engaging and enriching places in the community to play, create, explore their interests and passions, and connect with people
- Strong connections to nature and a healthy natural environment
- Opportunities and resources
- Support to have a voice, participate in democracy and give back to the community
- Mental health and wellbeing support

Child and Youth Framework 2021-2031

- Opportunities to build resilience and help to navigate the life stage challenges.



What evidence guides this Framework?

In addition to the Australian Research Alliance for Children and Youth's **NEST**, this Framework is underpinned by a broad and growing field of research.

- **The United Nations Sustainable Development Goals**

Feedback from our community indicates that five of the seventeen UNSDG's are a priority:



- **National Action Plan for the Health of Children and Young People: 2020-2030**

Because families and quality parenting are critical in supporting children and young people, supporting parents and care givers is a priority.

- **Wungurilwil Gagapduir: Aboriginal Children and Families Agreement (2019)**

Because fostering safe, resilient, thriving, culturally rich and strong Aboriginal families and communities is important, progressing the Banyule Reconciliation Action Plan is a priority.

- **State of Victoria's Children Report**

Whilst most children and young people in Victoria are faring well, the COVID 19 pandemic has impacted the health and wellbeing of children and young people. Monitoring and responding to the health and wellbeing needs of children and young people is a key priority.

- **Victorian Health and Wellbeing Plan and the Victorian Health and Wellbeing Plan for Young People**


All Local Governments have a responsibility to respond to the priorities within the Victorian Health and Wellbeing plans. Ongoing alignment based on local demographics is also a priority.

What does Council do for Children and Young People?

For the benefit of all residents, Council commits to improving the liveability of Banyule. We do this by:

- Supporting strong, healthy, and inclusive communities
- Promoting environmental sustainability
- Creating and maintaining great places and spaces
- Supporting participation through engagement and advocacy
- Providing efficient services and good governance.

Council has a strong focus on providing services and programs for children, young people, and their families. We provide:



Maternal & Child Health Service
New Parent Playgroups
Supported Playgroups
Early childhood facilities
Preschool Central Registrations

Citizenship activities
Sports and recreation facilities
Parks and open spaces
Festivals and events




Banyule Youth Services
Health and social inclusion
Skill development & leadership
Arts and cultural expression
Specialist referral services

Child and Youth Framework 2021-2031

Building blocks for change

This Framework is underpinned by a set of principles that outline the way in which we intend to work.



1. Guided by evidence

We will adopt a sustainable long-term approach utilising the growing body of evidence on what works to inform our actions.

2. Life stages

We will develop implementation plans to achieve these goals. Council's plans will be known as *The First 1000 Days Plan*; *The Children's Plan*; and *The Youth Plan*. We will also pay attention to the transition points with the understanding that children and young people move between 'life-stage' in diverse ways and at different ages.

3. Accountability

We will identify pathways to achieve our goals and use signposts for success such as quality, quantity, and participation. We will routinely measure the impact of what we have done, who benefited and look for ways to do things better.

4. Respecting culture

Banyule is home to people from a diverse range of ancestries from around the globe. Recognising, respecting, and valuing the cultural knowledge, customs, and traditions of all people, especially the local custodians, the Wurundjeri Woi-wurrung, is important. Supporting the rights of all people to provide advice and participate in Council planning and decision-making will lead to better outcomes for all children and young people in our community.

5. Working with partners

Council is committed to working in partnership with children and young people to affect positive change. We acknowledge and value the range of supports available to children and young people, therefore commit to partnering with families, governments, organisations, networks, and other partners to align, complement and progress positive change.

What are the priorities Council will invest in?

Environments that support children and young people

We will strengthen the built and natural environment like leisure centres, sporting facilities, libraries, shops, skate parks, bike trails, playgrounds, urban forests, and open spaces and create networks of physical resources children and young people need to live well.

1. Places for children and young people.



Our Commitment:

We will improve the range of accessible, high quality community infrastructure and public spaces that are available to and welcomes a diverse range of uses by children and young people of all abilities.

2. A healthy natural environment.



Our Commitment:

We will support children and young people to lead initiatives that contribute to Banyule's zero net emissions by 2040.

3. Material basis.



Our commitments:

We will create a resilient network of local agencies that support families in need to readily access material basics.

We will support children and young people to explore philanthropic and community building activities.

Social Support and Services

Because relationships, connections and services are essential, we will invest in programs and services to supporting children and young people to thrive.

1. Learning support.



Our Commitments:

We will provide community-based learning opportunities to development children

amework 2021-2031

and young people's skills, talents, and interests.

We will support young people to develop work skills and employment pathways.

2. Relationship support.



Our Commitments:

We will provide services and program that support families as they raise their children and young people.

We will support families to develop and maintain safe, respectful, and secure attachments with children and young people.

We will work collaboratively to address family violence and increase levels of child safety in our community.

3. Opportunities to participate.



Our Commitments:

We will support children and young people to express their views in a range of community engagement activities and forums and ensure their views are considered in the decision-making process.

We will partner with children and young people to plan community festivals, events, and activities they participate in.

Emotional supports

Children, young people and their families' value positive mental health and wellbeing. They believe that inclusion, access, respect, diversity, acceptance, and community spirit should be fostered from an early age.

1. Cultural support.



Our Commitments:

We will uplift cultural competence within our workforce.

We will implement the Reconciliation Action Plan.

We will work with children and young people to celebrate what is culturally relevant to them.

2. Support equality.



Our Commitments:

We will support children and young people to discuss and address inequalities.

We will support children and young people to experience equal standing in the community by recognising and celebrating their contributions and achievements.

Child and Youth Framework 2021-2031

3. Support resilience.

Our Commitments:



We will support the development of life skills.

We will progress prevention and early intervention partnerships to building lifelong resilience in children and young people, with a specific focus on access to universal and specialist health and education supports, uplifting outcomes for children and young people with additional support needs and addressing the impacts of COVID-19.

We will provide individual support and capacity building activities to young people in alignment with the Youth Summit recommendations.

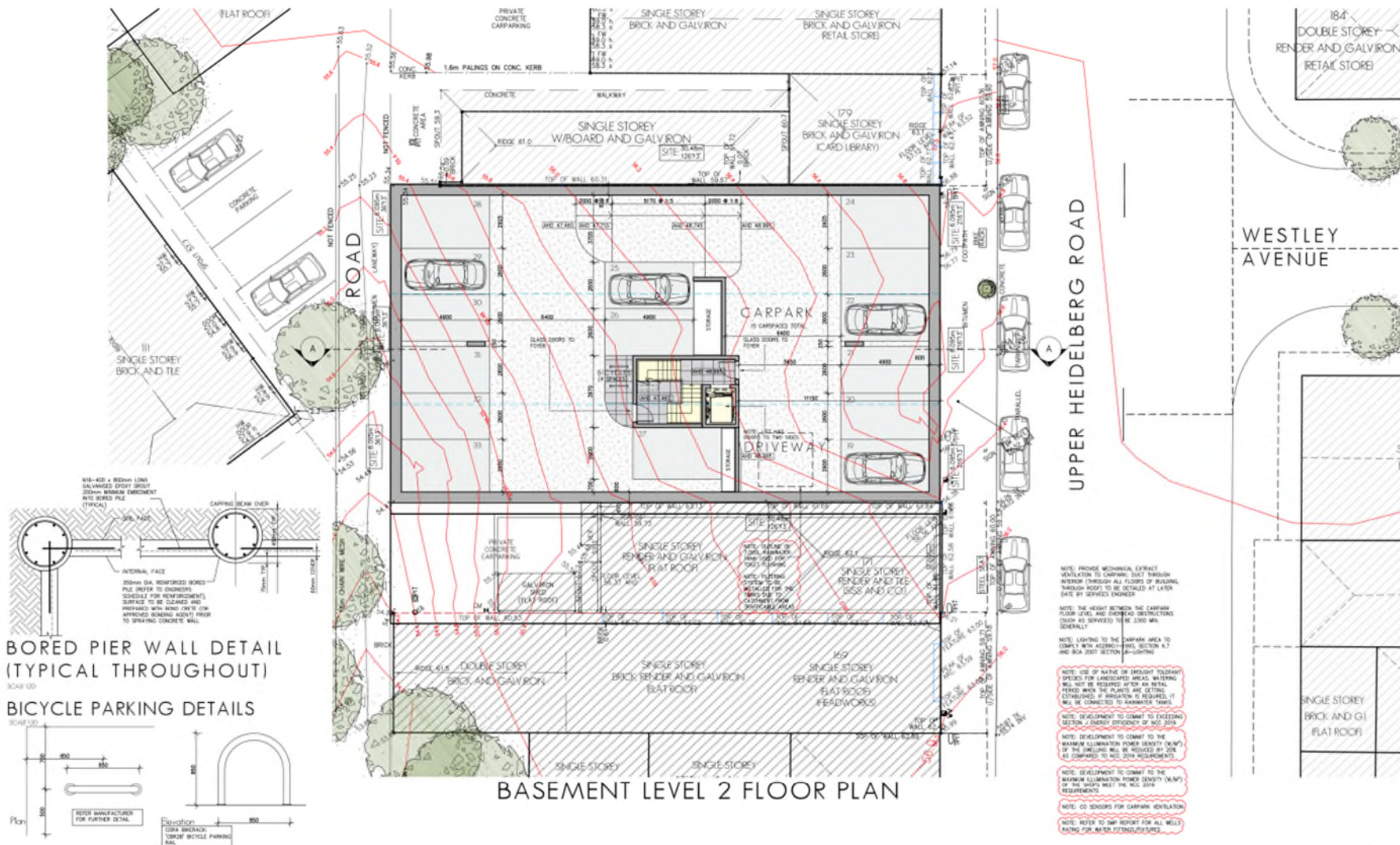
Who will oversee the implementation of this Framework?

Banyule has a strong delegation of professionals and residents that form the Child Youth and Family Committee. This committee is responsible for overseeing the implementation of this Framework, monitoring progress, providing feedback from the service system and the community, and making recommendations for future action. The Committee's Terms of Reference can be viewed on Council's website.

Implementing the Framework

The Child and Youth Framework will be actioned through implementation plans: *The First 1000 Days Plan*; *The Children's Plan*; and *The Youth Plan*. To assess effectiveness, we will continue to consult with community and monitor outcomes data.

Received
06/08/2021

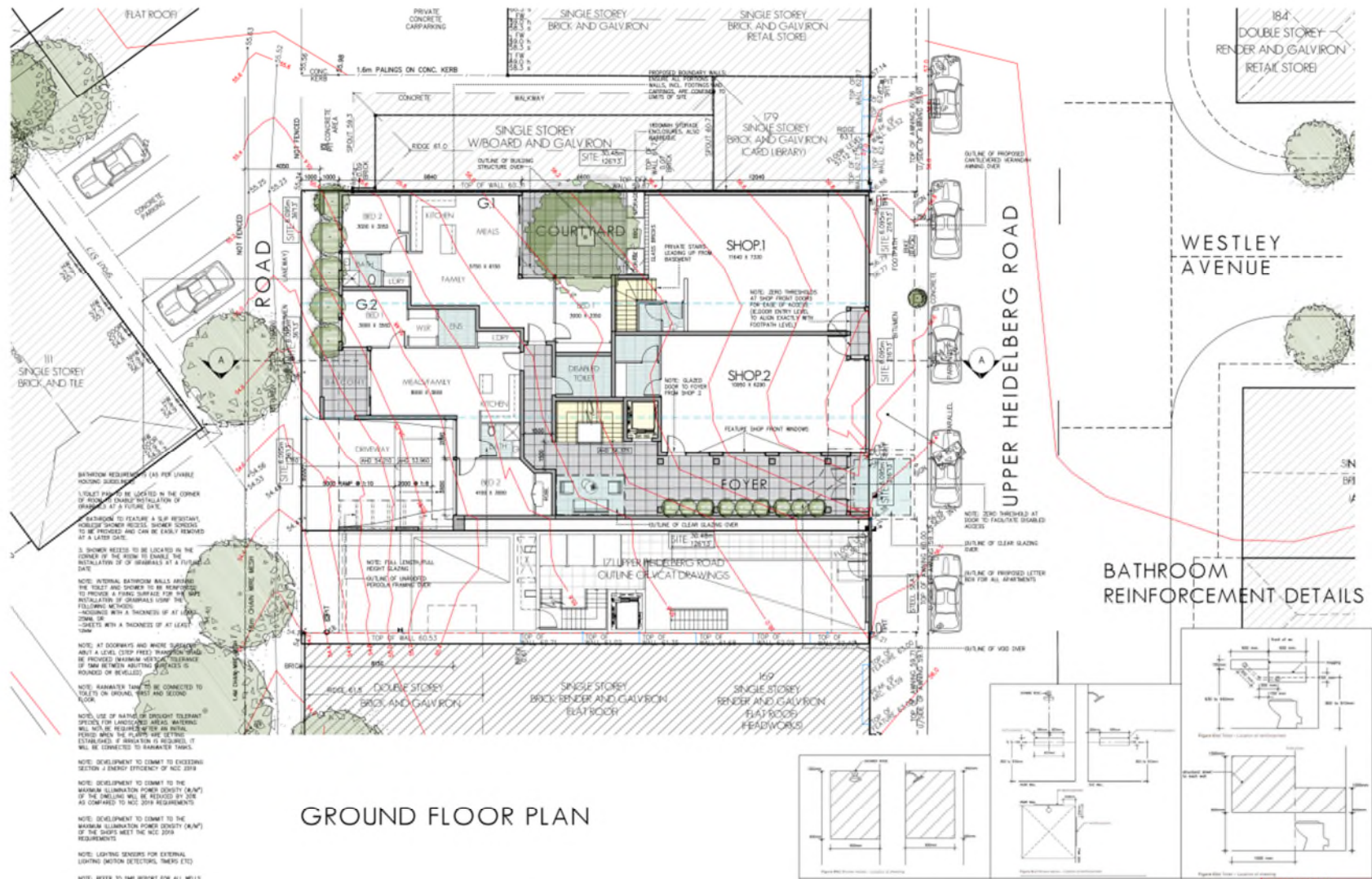


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PLANNING APPLICATION FOR PROPOSED 'DMTR' APARTMENT AND COMMERCIAL DEVELOPMENT
173-177 UPPER HEIDELBERG ROAD, IVANHOE
DRAWING TITLE: BASEMENT LEVEL 2 FLOOR PLAN
TPA 02 - 2 OF 18
JOB NO. 20-59
DATE 6TH AUGUST 2021
SCALE: 1:100
DRAWN BY: MATTHEW.A
PROPOSED AMENDMENTS IN RESPONSE TO NEIGHBOURHOOD CONSULTATION

ADVERTISED PLAN
Application No. P14/08/2020
This development is intended for the sole purpose of consideration and review as part of a planning process under the Planning, Environment and Infrastructure Act 2016. The document must not be used for any other purpose which may breach any provisions of the Act.

Received
06/08/2021



GROUND FLOOR PLAN

BATHROOM REINFORCEMENT (AS PER LAMINAR REINFORCING SCHEDULE)

1. SILENT PANS TO BE LOCATED IN THE CORNER OF ROOMS TO ENSURE INSTALLATION OF BATHS AT A FUTURE DATE.

2. BATHROOM TO FEATURE A SLIP RESISTANT FLOORING SURFACE NEARER SHOWER SCREENS TO BE PROVIDED AND CAN BE EARLY REMOVED AT A LATER DATE.

3. NUMBER NEEDS TO BE LOCATED IN THE CORNER OF THE ROOM TO ENABLE THE INSTALLATION OF SHOWERBATHS AT A FUTURE DATE.

NOTE: INTERNAL BATHROOM WALLS AROUND THE TUBS AND SHOWERS TO BE REINFORCED TO PROVIDE A FINISH SURFACE FOR THE INSTALLATION OF CERAMIC TILES PER THE FOLLOWING METHODS:

- CONCRETE WITH A THICKNESS OF AT LEAST 100MM
- CONCRETE WITH A THICKNESS OF AT LEAST 100MM

NOTE: AT DOORWAYS AND WHERE SURFACES MEET A LEVEL ZERO FLOOR TRANSITION SHALL BE PROVIDED (MINIMUM DESIGN TOLERANCE OF 20MM BETWEEN ADJACENT SURFACES IS REQUIRED OR BEVELLED)

NOTE: RAINWATER TANKS TO BE CONNECTED TO TAPS TO ON GROUND, FIRST AND SECOND FLOOR.

NOTE: USE OF WATER OR DRAINAGE TOLERANT SPEEDS FOR LANDSCAPING AREAS. WATERING WILL NOT BE REQUIRED AFTER AN INITIAL PERIOD WHEN THE PLANTS ARE SETTING ESTABLISHED. IF SPRINKLER IS REQUIRED, IT WILL BE CONNECTED TO RAINWATER TANKS.

NOTE: DEVELOPMENT TO COMPLY TO EXISTING SECTION 4 ENERGY EFFICIENCY OF NCC 2019.

NOTE: DEVELOPMENT TO COMPLY TO THE MAXIMUM ILLUMINATION POWER DENSITY (A/W) OF THE BUILDING WILL BE PROVIDED BY 50W AS COMPARED TO NCC 2019 REQUIREMENTS.

NOTE: DEVELOPMENT TO COMPLY TO THE MAXIMUM ILLUMINATION POWER DENSITY (A/W) OF THE SHOPS MEET THE NCC 2019 REQUIREMENTS.

NOTE: LIGHTING SENSORS FOR EXTERNAL LIGHTING (MOTION DETECTORS, THERMISTORS)

NOTE: REFER TO SFP REPORT FOR ALL WELLS BATHING FOR WATER UTILITIES/STRUCTURES.

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PLANNING APPLICATION FOR PROPOSED 'DMTR' APARTMENT AND COMMERCIAL DEVELOPMENT
 173-177 UPPER HEIDELBERG ROAD, IVANHOE
 DRAWING TITLE:
 GROUND FLOOR PLAN
 TPA 04 - 4 OF 18
 JOB NO. 20-59

DATE 06TH AUGUST 2021
 SCALE: 1:100

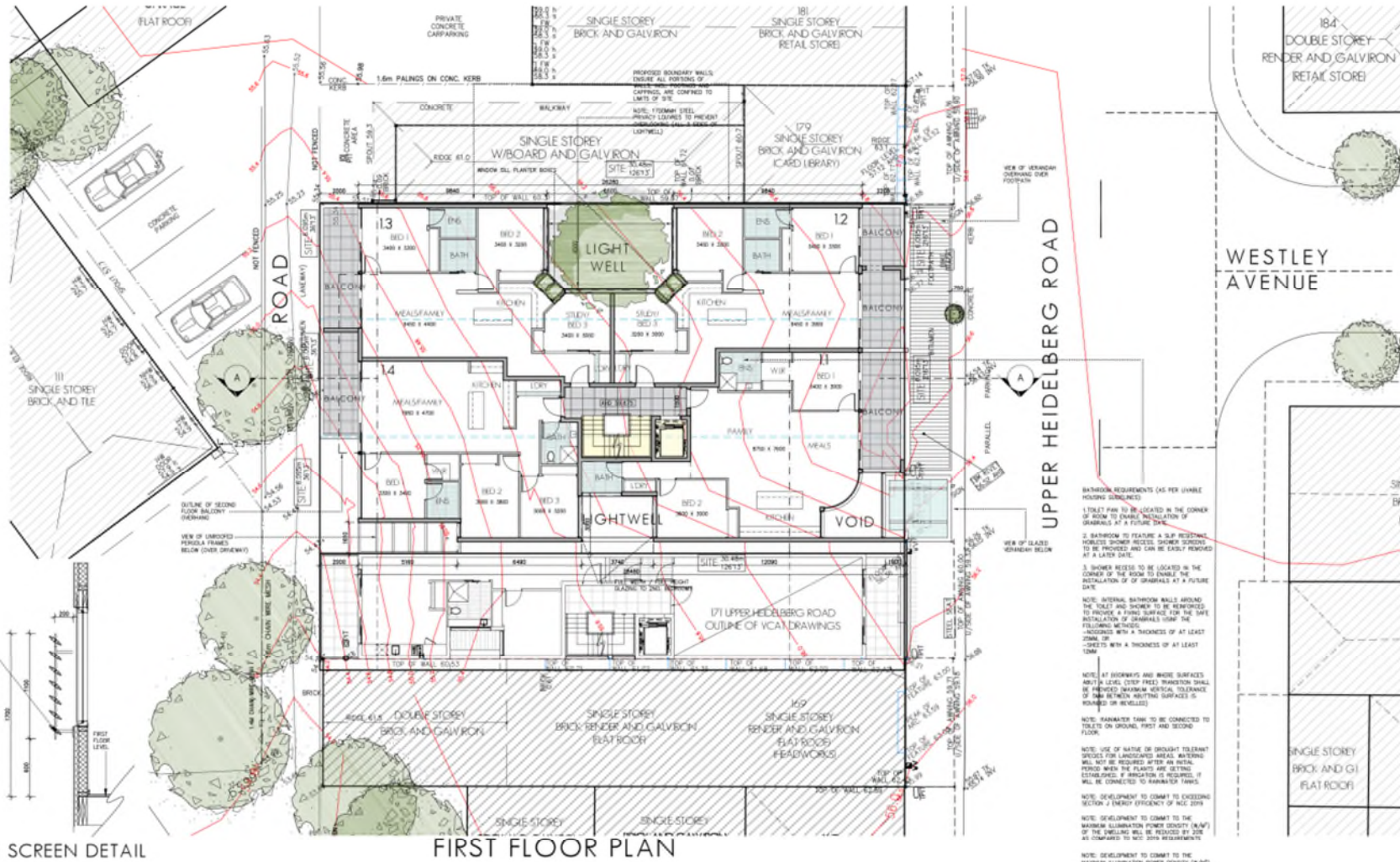
DRAWN BY: MATTHEW A
 PROPOSED AMENDMENTS IN RESPONSE TO NEIGHBOURHOOD CONSULTATION

ALL LEVELS ARE TO AUSTRALIAN HEIGHT

ADVERTISED PLAN
 Application No. P14/05/2020

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Application No. P14/05/2020

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PLANNING APPLICATION FOR PROPOSED 'DMTR' APARTMENT AND COMMERCIAL DEVELOPMENT
173-177 UPPER HEIDELBERG ROAD, IVANHOE

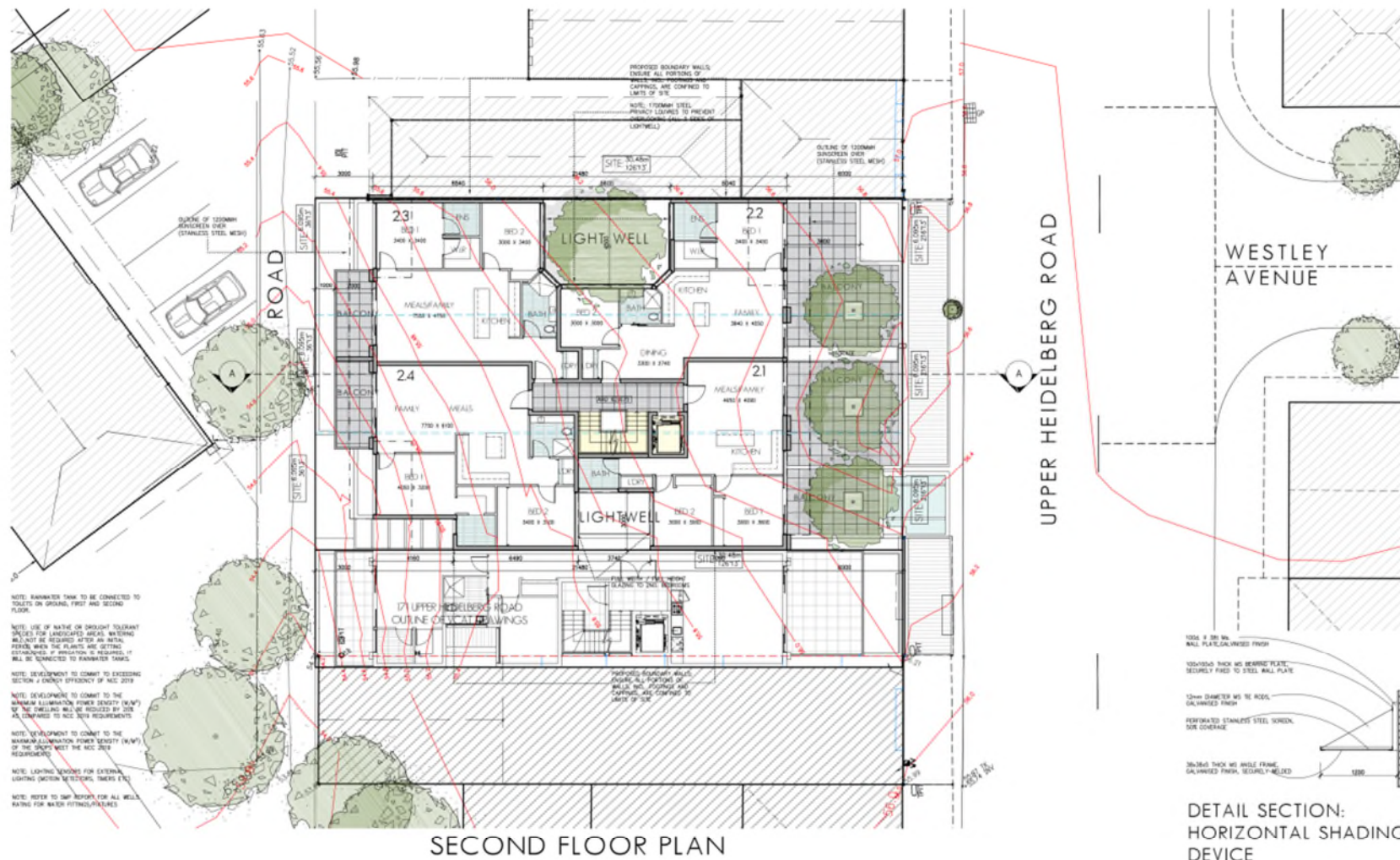
DRAWING TITLE:
FIRST FLOOR PLAN
TPA 05 - 5 OF 18
JOB NO. 20-59

DATE 6TH AUGUST 2021
SCALE: 1:100

DRAWN BY: MATTHEW.A
PROPOSED AMENDMENTS IN RESPONSE TO NEIGHBOURHOOD CONSULTATION

ALL LEVELS ARE TO AUSTRALIAN HEIGHT

Received 06/08/2021



NOTE: RAINWATER TANKS TO BE CONNECTED TO TOILETS ON GROUND, FIRST AND SECOND FLOOR.

NOTE: USE OF NATIVE OR SHROUD TOLERANT SPECIES FOR LANDSCAPED AREAS. WATERING MUST NOT BE REQUIRED AFTER AN INITIAL PERIOD, WHEN THE PLANTS ARE GETTING ESTABLISHED. IF WATERING IS REQUIRED, IT MUST BE LIMITED TO RAINFALL LEVELS.

NOTE: DEVELOPMENT TO COMPLY TO EXISTING SECTION 4 ENERGY EFFICIENCY OF NCC 2019.

NOTE: DEVELOPMENT TO COMPLY TO THE MINIMUM ILLUMINATION POWER DENSITY (W/M²) OF THE BUILDING WALLS AS REQUIRED BY USE AS CONTAINED TO NCC 2019 REQUIREMENTS.

NOTE: DEVELOPMENT TO COMPLY TO THE MINIMUM ILLUMINATION POWER DENSITY (W/M²) OF THE ROOFS AS CONTAINED TO NCC 2019 REQUIREMENTS.

NOTE: LIGHTING FIXTURES FOR EXTERIOR LIGHTING (SECTION 5.2.1.1.1.1, TABLES 1.1.1.1.1.1)

NOTE: REFER TO SH-1000 FOR ALL WALL RATING FOR MATCH FITTING/DETAILS

PLANNING APPLICATION FOR PROPOSED 'DMTR' APARTMENT AND COMMERCIAL DEVELOPMENT AT 173-177 UPPER HEIDELBERG ROAD, IVANHOE

DRAWING TITLE: SECOND FLOOR PLAN

TPA 06 - 6 OF 18

JOB NO. 20-59

DATE 6TH AUGUST 2021

SCALE: 1:100

DRAWN BY: MATTHEW.A

PROPOSED AMENDMENTS IN RESPONSE TO NEIGHBOURHOOD CONSULTATION

ALL LEVELS ARE TO AUSTRALIAN HEIGHT

ADVERTISED PLAN Application No. P14/08/2020

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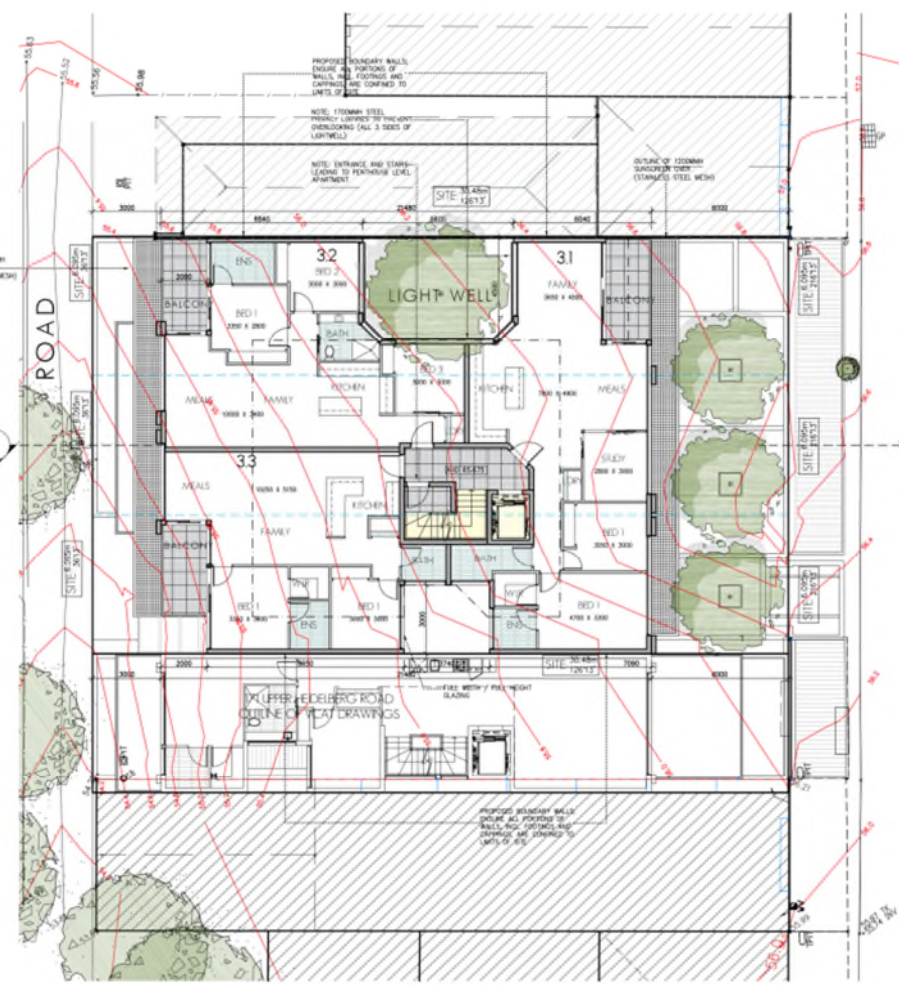
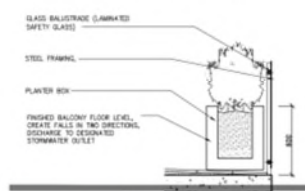
LANDSCAPE NOTES

1. THIS LANDSCAPE PLAN IS BASED ON THE ARCHITECT'S TOPPLANNING AND IS TO BE USED FOR TOPPLANNING PURPOSES ONLY.
2. PLANT SELECTION SHALL BE AS PER THE PLANT SCHEDULE IN LOCATIONS AS SHOWN ON THE DRAWINGS. ALL PLANTS ARE TO BE THE SPECIES AND THE BEST OF THEIR RESPECTIVE KINDS. PLANTS ARE TO HAVE WELL DEVELOPED ROOT SYSTEMS AND SHALL BE FREE OF PESTS AND DISEASE. NURSERY PLANTS WILL BE DELIVERED BEFORE AND AFTER PLANTING.
3. SPRAY ALL AREAS SHOWN ON THE DRAWINGS AS GARDEN BED AND LAWN WITH AN APPROVED NON-HERBICIDE. CONTACT HERBICIDE (CUMPHOS) FOLLOWING MANUFACTURER'S SPECIFICATIONS. THE HERBICIDE SHALL BE APPLIED TO GROUND COVERING AREAS. LEAVE GROUND AREAS FOR A PERIOD OF 10 DAYS PRIOR TO BEING WORKED. RESPRAY ANY WEEDS STILL ALIVE AFTER 10 DAYS.
4. DETERMINE pH OF SOIL USING pH KIT AVAILABLE AT MOST NURSERIES. pH SHOULD BE SLIGHTLY ACIDIC TO NEUTRAL (PH 5.5 TO 7.0) IF pH IS OUTSIDE OF THIS RANGE, CONTACT YOUR LOCAL NURSERY TO OBTAIN ADVICE ON HOW TO ADJUST THE pH LEVEL. SOME PLANTS TOLERATE HIGH AND LOW pH LEVELS.
5. IF SOIL IS MAINLY SAND BASED ADD TOPSOIL TO AID IN BREAKING UP THE SOIL. AT THE RATE OF 1.5KG/M² TO LAWN AREAS AND 2.0KG/M² FOR GARDEN BED AREAS.
6. INSTALL SUB-SURFACE DRAINAGE WHICH DISCHARGES TO DOWNPUMP OR SEWAGE PITS IN AREAS WITH POOR DRAINAGE.
7. CULTIVATE SOIL FOR GARDEN BED AREAS TO 200MM DEPTH AND LAWN AREAS TO 100MM DEPTH. DEEP RUP IN TO 400MM DEPTH AREAS OF WAYS-PAVING OR COMPACTION.
8. USE ON-SITE TOPSOIL WHERE POSSIBLE AND IMPROVE WITH ORGANIC MATERIAL AS REQUIRED. IMPROVE TOPSOIL SHOULD BE FERTILE, FRANK, SOIL CONTAINING ORGANIC MATTER AND FREE FROM PHENOXIC WEEDS AND THEIR ROOTS, STONE OR RUBBLE. CLODS OF TOPSOIL AND OTHER EXCESSIVE MATERIALS.
9. SPREAD GOOD QUALITY TOPSOIL CONTAINING COMPOST TO 100MM DEPTH FOR GARDEN BED AREAS TO 50MM DEPTH FOR LAWN AREAS TO IMPROVE DRAINAGE IN SAND SOILS. RAISE SOIL LEVELS BY 20MM IN GARDEN BEDS.
10. SPREAD FINE COMPACTED DEPTH ORGANIC MULCH OVER ALL GARDEN BED AREAS. TOP OF MULCH SHALL BE LEVEL WITH ADJACENT SURFACE.
11. PLANT SHRUBS (AS PER DETAILS) IN AREAS OF THE SAME DEPTH AS THE ROOT BALL AND TRICE THE CORNER OF THE ROOT BALL WATER PLANTS PRIOR TO AFTER BACKFILLING DO NOT TRICE IN PLANTS. PLANT ROOT BALL IN THE SOILS AND HEED IN THE MOUND.
12. AREAS FERTILISED SPECIFIC TO REMOVAL PLANTS REQUIREMENTS. TREES SHOULD BE STAKED FOR THE FIRST ONE TO TWO YEARS (AS PER DETAILS).
13. ALL CLIMBERS WILL REQUIRE A WIRE OR TRELLIS GLASSING FRAME TO BE ATTACHED TO ADJACENT SURFACE.
14. INSTALL TRELLIS SYSTEMS BETWEEN ALL LAWN AREAS AND GARDEN BEDS.
15. AREAS NOMINATED FOR LAWN ARE TO BE GRASSED TO PROVIDE SMOOTH CONTOURS AND ARE TO BE RANGED TO ELIMINATE SOIL, CLUTS, RUBBLE AND EXCESSIVE MATERIAL. A LOW NORN GRASS MIX AND COMPLETE LAWN CARE TO BE USED. LAWN AREAS ARE TO BE KEPT CONTINUOUSLY MOIST UNTIL ESTABLISHMENT.
16. GARDEN BEDS ARE TO BE WATERED, WEEDED, FERTILISED, PRUNED AND MULCHED ON A REGULAR BASIS BY A LANDSCAPE CONTRACTOR OR THE OWNER TO ENSURE PLANTS SURVIVE AND THRIVE. THIS IS TO TAKE PLACE FOR A PERIOD OF SIX MONTHS AFTER COMPLETION OF THE LANDSCAPE CONSTRUCTION. ANY PLANTS THAT DO NOT SURVIVE ARE TO BE REPLACED WITH THE SAME SPECIES AS LISTED IN THE PLANT SCHEDULE.

TREE	CODE	BOTANICAL NAME	COMMON NAME	POT. SIZE / PLANTING HEIGHT	MATURE H x W
	01	'TRISTE CALYPTRINA CHARNOZ' CALYPTRINA	CHARNOZLEAF PEACOCK	450L / 1.80M / 2.5M HIGH	15M x 4M
SHRUBS					
	02	CORREA ALBA	WAX CORREA	200M POT	2M x 2M
	03	CALYPTRINA 'CAPTAIN COOK'	EMERALD WHITE BRUSH	14.50M POT	1M x 1M
	04	CORREA ALBA	WAX CORREA	14.50M POT	1M x 1M
	05	METROSTACHYA PRATENSIS	COASTAL PIGEONBERRY	14.50M POT	1.2M x 1.2M
	06	CORREA VULPINA	COMMON CORREA	14.50M POT	1M x 1M
HERBACEOUS PLANTS					
	07	LOMBARDIA UNIFOLIATA 'THINK!'	THINKA	200M POT	75M x 75M
	08	RUPEA FLAMMULENTA	ADAM'S NEEDLE	200M POT	1M x 1M

MAINTENANCE:
 CONTRACTORS RESPONSIBLE FOR MAINTAINING THE LANDSCAPE ARE TO APPLY THE BEST POSSIBLE PRACTICE TO MAINTAIN THE LANDSCAPE. CONTRACTORS ARE TO BE RESPONSIBLE FOR:
 - PLANTS ARE HEALTHY, PEST AND DISEASE FREE AND PRUNED
 - NEEDS ARE SURVEILLED AND TENDED FOR THE NECESSARY PERIOD (13 WEEKS)
 - WEED IS NOT GROWN IN THIS AREA.
 - REPLACING ANY DETERIORATED OR FALLEN PLANTS BY THE SAME SPECIES WITH SAME SIZE.
 - ANY ADDITIONAL FERTILISER IF REQUIRED
 - ADDITIONAL MULCH IF REQUIRED
 - REGULAR WATERING DURING DRY SEASONS
 - MONITORING TREE STAKES AND SUPPORTS AFTER ESTABLISHMENT PERIOD (ENSURE THAT THE PLANTS ARE SUCCESSFULLY DEVELOPED)

PLANTER BOX DETAIL



THIRD FLOOR PLAN

NOTE: USE OF NATIVE OR DROUGHT TOLERANT SPECIES FOR LANDSCAPED AREAS. WATERING WILL NOT BE REQUIRED FOR 48 HOURS PERIOD WHEN THE PLANTS ARE GETTING ESTABLISHED. IF IRRIGATION IS REQUIRED, IT WILL BE CONNECTED TO RAINWATER TANKS.

NOTE: DEVELOPMENT TO COMPLY TO EXCEEDING SECTION 2 ENERGY EFFICIENCY OF NCC 2019

NOTE: DEVELOPMENT TO COMPLY TO THE MAXIMUM ILLUMINATION POWER DENSITY (MWP) OF THE DWELLING WILL BE REDUCED BY 20% AS COMPARED TO NCC 2019 REQUIREMENTS

NOTE: DEVELOPMENT TO COMPLY TO THE MAXIMUM ILLUMINATION POWER DENSITY (MWP) OF THE DWELLING WILL BE REDUCED BY 20% AS COMPARED TO NCC 2019 REQUIREMENTS

NOTE: LIGHTING SENSORS FOR EXTERNAL LIGHTING (MOTION DETECTORS, TIMERS ETC)

NOTE: REFER TO SMP REPORT FOR ALL WELLS RAINING FOR WATER FITTINGS/FIXTURES

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PLANNING APPLICATION FOR PROPOSED 'DMTR' APARTMENT AND COMMERCIAL DEVELOPMENT
 173-177 UPPER HEIDELBERG ROAD, IVANHOE
 DRAWING TITLE:
 THIRD FLOOR PLAN
 TPA 07 - 7 OF 18
 JOB NO. 20-59

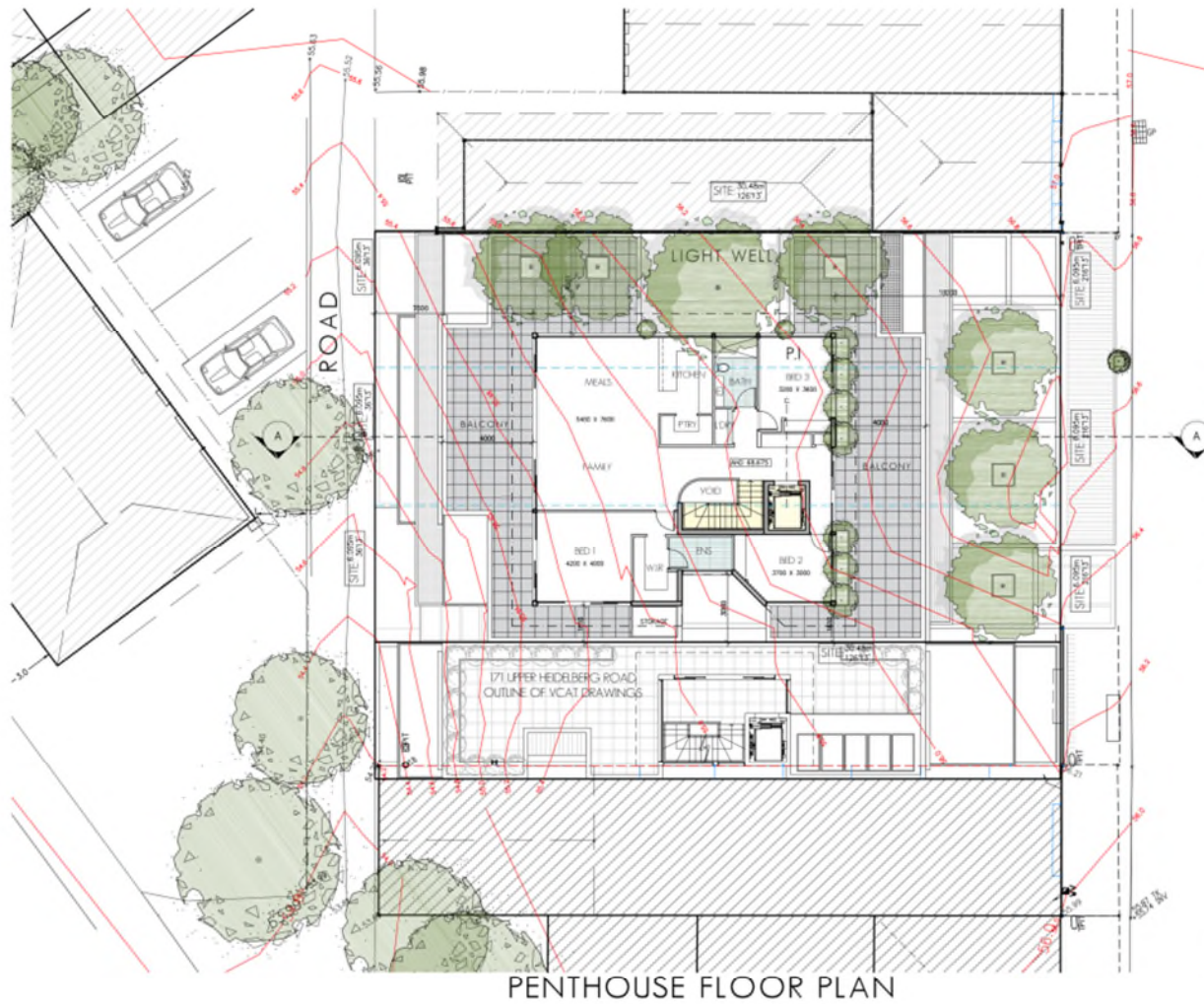
DATE: 06TH AUGUST 2021
 SCALE: 1:100

DRAWN BY: MATTHEW.A
 PROPOSED AMENDMENTS IN RESPONSE TO NEIGHBOURHOOD CONSULTATION

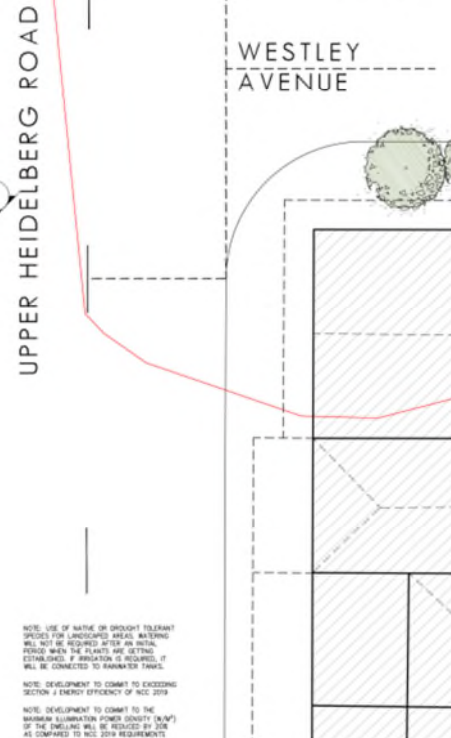
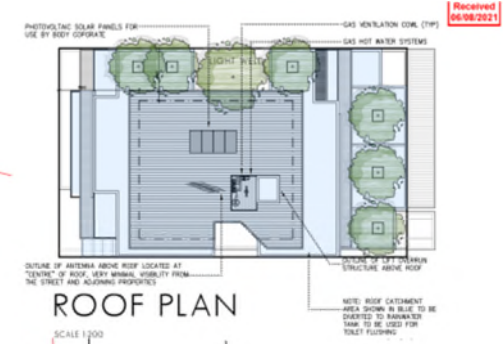
ALL LEVELS ARE TO AUSTRALIAN HEIGHT

ADVERTISED PLAN
 Application No. P14/06/2020

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PENTHOUSE FLOOR PLAN



NOTE: USE OF NATIVE OR DROUGHT TOLERANT PLANTS FOR LANDSCAPED AREAS. MAINTENANCE WILL NOT BE REQUIRED AFTER AN INITIAL PERIOD. WHERE THE PLANTS ARE SETTING ESTABLISHED, IF IRRIGATION IS REQUIRED, IT WILL BE CONNECTED TO RAINWATER TANKS.

NOTE: DEVELOPMENT TO COMPLY TO EXCEEDING SECTION 4 ENERGY EFFICIENCY OF NCC 2019.

NOTE: DEVELOPMENT TO COMPLY TO THE MINIMUM ILLUMINATION POWER DENSITY (M/MP) OF THE SHOPPING AREA AS SETTING ESTABLISHED AS COMPARED TO NCC 2019 REQUIREMENTS.

NOTE: DEVELOPMENT TO COMPLY TO THE MINIMUM ILLUMINATION POWER DENSITY (M/MP) OF THE SHOPPING AREA AS SETTING ESTABLISHED AS COMPARED TO NCC 2019 REQUIREMENTS.

NOTE: LIGHTING SENSORS FOR EXTERNAL LIGHTING (MOTION DETECTORS, NIGHT EYE)

NOTE: REFER TO SMP REPORT FOR ALL WELLS BATHING FOR MINOR FITTINGS/FIXTURES

Received 06/08/2021

ADVERTISED PLAN Application No. P14/08/2020

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PLANNING APPLICATION FOR PROPOSED 'DMTR' APARTMENT AND COMMERCIAL DEVELOPMENT
173-177 UPPER HEIDELBERG ROAD, IVANHOE

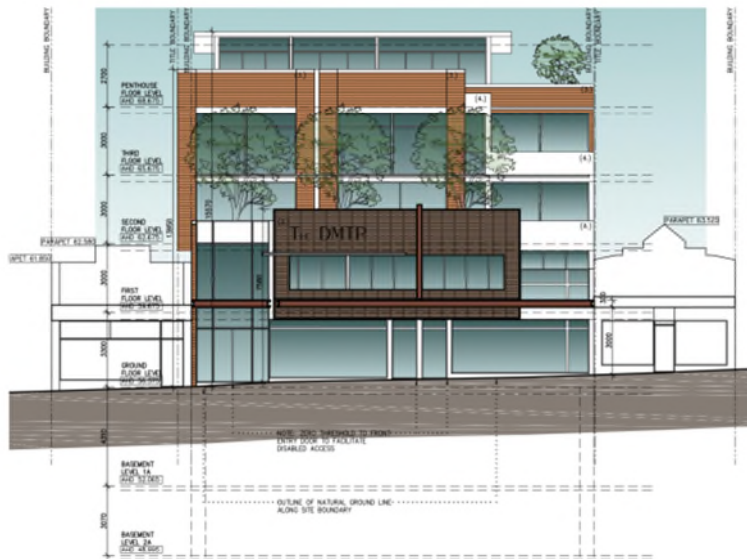
DRAWING TITLE:
PENTHOUSE FLOOR PLAN AND ROOF PLAN
TPA 08 - 8 OF 18
JOB NO. 20-59

DATE 05TH AUGUST 2021
SCALE: 1:100, 1:200

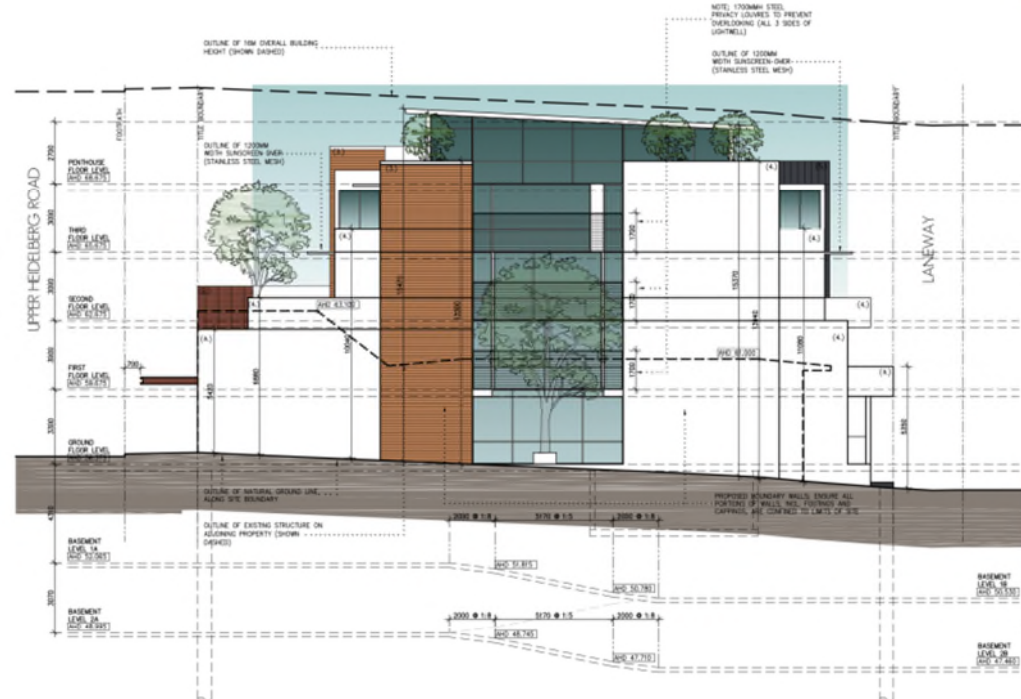
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06/08/2021



SOUTH - EAST ELEVATION
(IE, FACING UPPER HEIDELBERG ROAD)



NORTH - EAST ELEVATION

MATERIALS, COLOURS AND FINISHES SCHEDULE

- ROOF (1) SELECT STEEL ROOFING "COLOURBOND SHALE GREY" FINISH OR SIMILAR
- WALLS (2) SELECT BROOKHORN, AUSTRAL BROOKS, EVERYDAY LIFE RANGE, "FREEDOM" OR SIMILAR
- (3) SELECT BROOKHORN, AUSTRAL BROOKS, OLD COLONIAL RENOVATORS RANGE, "AMBER GLOW" OR SIMILAR
- (4) SELECT CEMENT RENDER, SELECT A WARM, DULLY COLOUR SPECIFIER "HOG BRISTLE QUARTER" OR SIMILAR
- FEATURE FRAMES (5) SELECT COLOURBOND CLASSICAL "MONUMENT" OR SIMILAR
- FRAMES (6) SELECT SHEET COLOURBOND "MONUMENT" OR SIMILAR
- (7) SELECT RUSTIC COPPER SHEET METAL, OR SIMILAR
- WINDOWS (8) ALUMINIUM SELECT "BLACK" POWDERCOAT FRAME AND CLEAR GLAZING OR SIMILAR

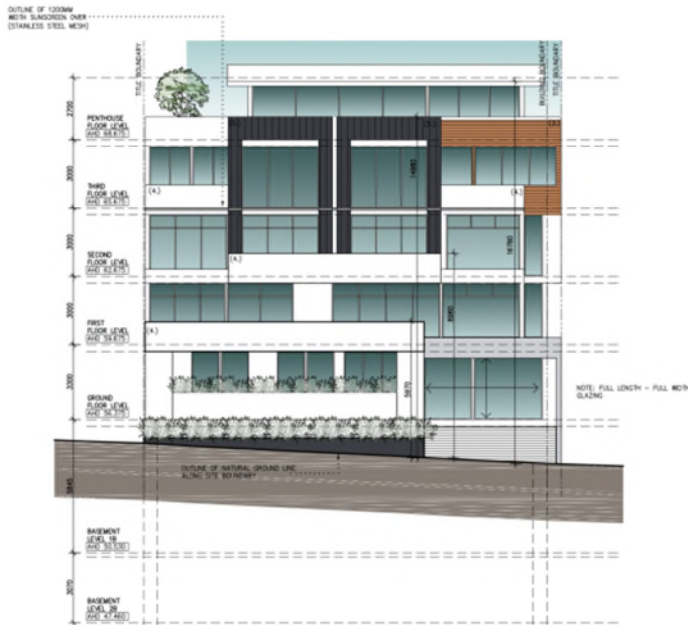


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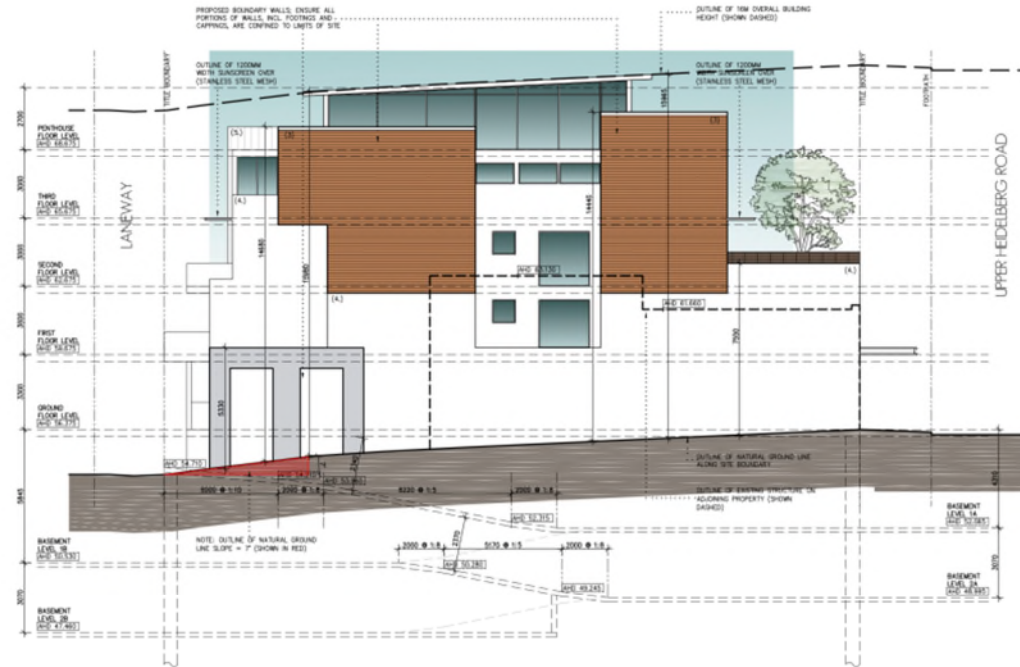
PLANNING APPLICATION FOR PROPOSED 'DMTR' APARTMENT AND COMMERCIAL DEVELOPMENT
173-177 UPPER HEIDELBERG ROAD, IVANHOE
DRAWING TITLE:
ELEVATION, MATERIALS COLOURS AND FINISHES SCHEDULE.1
TPA 09 - 9 OF 18
JOB NO. 20-59
DATE 6TH AUGUST 2021
SCALE: 1:100
DRAWN BY: MATTHEW.A
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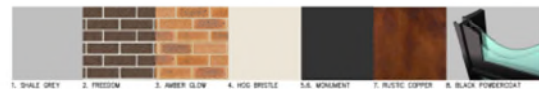
NORTH - WEST ELEVATION
(IE, FACING LANEWAY)



SOUTH - WEST ELEVATION

MATERIALS, COLOURS AND FINISHES SCHEDULE

- ROOF (1) SELECT STEEL ROOFING "COLOURBOND SHALE GREY" FINISH OR SIMILAR
- WALLS (2) SELECT BROOKWOM, AUSTRAL BROOKS, EVERYDAY LIFE RANGE, "FREEDOM" OR SIMILAR
- (3) SELECT BROOKWOM, AUSTRAL BROOKS, OLD COLONIAL RENOVATORS RANGE, "AMBER GLOW" OR SIMILAR
- (4) SELECT CEMENT RENDER, SELECT A/RUSTAL DULUX COLOUR SPECIFIER "HOG BRISTLE QUARTER" OR SIMILAR
- FEATURE FRAMES (5) SELECT COLOURBOND GLAZING "MONUMENT" OR SIMILAR
- FASADS: (6) SELECT SHEET COLOURBOND "MONUMENT" OR SIMILAR
- (7) SELECT RUSTIC COPPER SHEET METAL, OR SIMILAR
- WINDOWS (8) ALUMINIUM, SELECT "BLACK" POWDERCOAT FRAME AND CLEAR GLAZING OR SIMILAR



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PLANNING APPLICATION FOR PROPOSED 'DMTR' APARTMENT AND COMMERCIAL DEVELOPMENT
173-177 UPPER HEIDELBERG ROAD, IVANHOE
 DRAWING TITLE:
ELEVATION, MATERIALS COLOURS AND FINISHES SCHEDULE.2
 TPAD - 10 OF 18
 DATE 6TH AUGUST 2021
 SCALE: 1:100
 DRAWN BY: MATTHEW.A
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BANYULE PLANNING SCHEME

Upper Heidelberg Road Built Form Plan DDO11-5A



PUBLIC REALM BOUNDARY SETBACKS

- A** Setback Standard A - K
(Refer to Setback Standard Table)

SIDE PROPERTY BOUNDARY SETBACKS

- Residential zones: ResCode Standards B17-21
- Non-residential zones: Setback Standard K
(Refer to setback standard table)

GENERAL RESIDENTIAL ZONE

- Podium - maximum 7.5 metres
- Preferred maximum building height - metres

ALL OTHER ZONES

- Podium - maximum 9 metres
- Mandatory maximum building height - metres

PROPOSED BUILT FORM ENVELOPE

- Activated & engaging frontage - heritage
- Activated & engaging frontage
- Articulated frontage
- Corner emphasis
- Pedestrianised area - proposed public square

EXISTING

- Heritage - limited change anticipated
- Recent development - no change anticipated

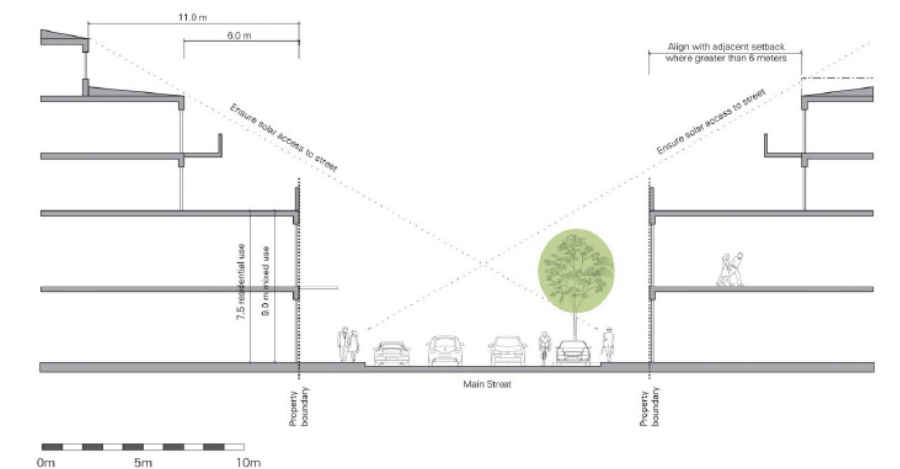


BANYULE PLANNING SCHEME

Setback standards

B. Main Street Interface

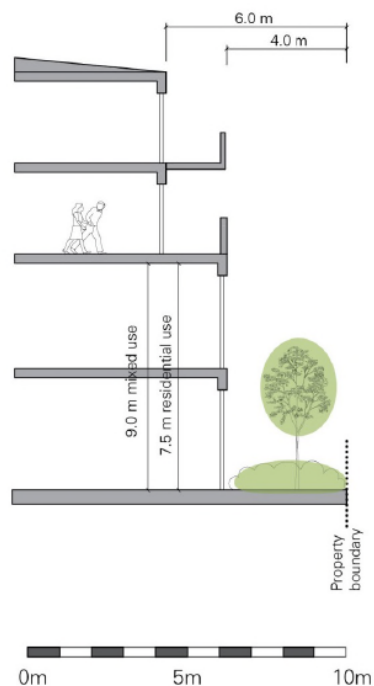
- Buildings should be constructed to the property boundary.
- At the property boundary buildings should not exceed a preferred maximum height of:
 - 7.5 metres above natural ground level in a residential zone; or
 - 9.0 metres above natural ground level in a non-residential zone.
- Any part of a building higher than the above should be setback:
 - 6 metres from the property boundary; or
 - to align with any abutting building that is setback more than 6 metres from the property boundary.
- Where the boundary exceeds 15 metres in length any part of a building higher than 18 metres above natural ground level should be setback 11 metres from the property boundary.

B Main Street Interface

BANYULE PLANNING SCHEME

Setback standards**E. Urban Street, Urban Laneway and Side Interface**

- Buildings should be setback 4 metres from the property boundary.
- Any part of a building higher than:
 - 10 metres above natural ground level in any zone where the property abuts a laneway;
 - 7.5 metres above natural ground level in a residential zone; or
 - 9.0 metres above natural ground level in a non-residential zone;
 should be setback 6 metres from the property boundary.
- The ground level setback area should be designed to protect existing trees (where relevant) and provide for additional landscaping.
- Setbacks on properties abutting a laneway should be designed to encourage pedestrian, vehicular and loading access and provide access to dwellings on the laneway.

E Urban Street, Urban Laneway and Side Interface

PLANNING ASSESSMENT ATTACHMENT TO COUNCIL REPORT

173-177 Upper Heidelberg Road, Ivanhoe

State and Local Planning Policy and Strategic Drivers

- It is considered that the proposed development is largely consistent with relevant State and Local Planning Policy Frameworks.
- The Ivanhoe Activity Centre is identified in Clause 21.08-3 of the Scheme.
- Ivanhoe Activity Centre is located 9km north-east of the Melbourne CBD. The area is defined by its topography and the curving, undulating nature of Lower Heidelberg Road and Upper Heidelberg Road.
- Identified in the Metropolitan Strategy as an Activity Centre, Ivanhoe is central to Banyule's plans to direct change to key Activity Areas to allow for growth in housing, commercial activity and community facilities.
- The site is located within Precinct 5 – Upper Heidelberg Road Precinct.
- Upper Heidelberg Road will remain the core of the Activity Centre and its historic buildings and unique streetscape are central to the desired character of the area. There will continue to be a focus of retail activity at the ground floors of the valued two storey façades, with upper level development setback from Upper Heidelberg Road. Offices and housing will generate additional activity and vibrancy, ensuring the area grows as a hub for services and facilities.
- A relevant strategy is to encourage community services, offices or residential development to be located in the upper levels of mixed use developments, maintaining active uses at the street level, such as retail and hospitality.
- With regard to heritage, another relevant strategy is to reflect the local identity of Ivanhoe in the design of new or modified buildings and spaces by respecting known heritage qualities and exploring contemporary design to achieve high quality design and construction standards.

Land Use:

- The proposed use of the land for shop and accommodation are both Section 1 uses within the C1Z, meaning that the uses are permitted and no planning permit is required.
- The land is affected by other Overlay controls which are addressed separately within this report.
- The site is located within the Ivanhoe Activity Centre, which functions as an integrated centre comprising seven separate precincts. Each of these precincts has defined environmental, land use or built form characteristics.
- As the Ivanhoe Activity Centre continues to grow, the demand for new dwellings and commercial space will also continue to increase.
- New mixed use buildings in an activity centre will assist to both create new local jobs and allow new residents to locate close to services and public transport, reducing the need to

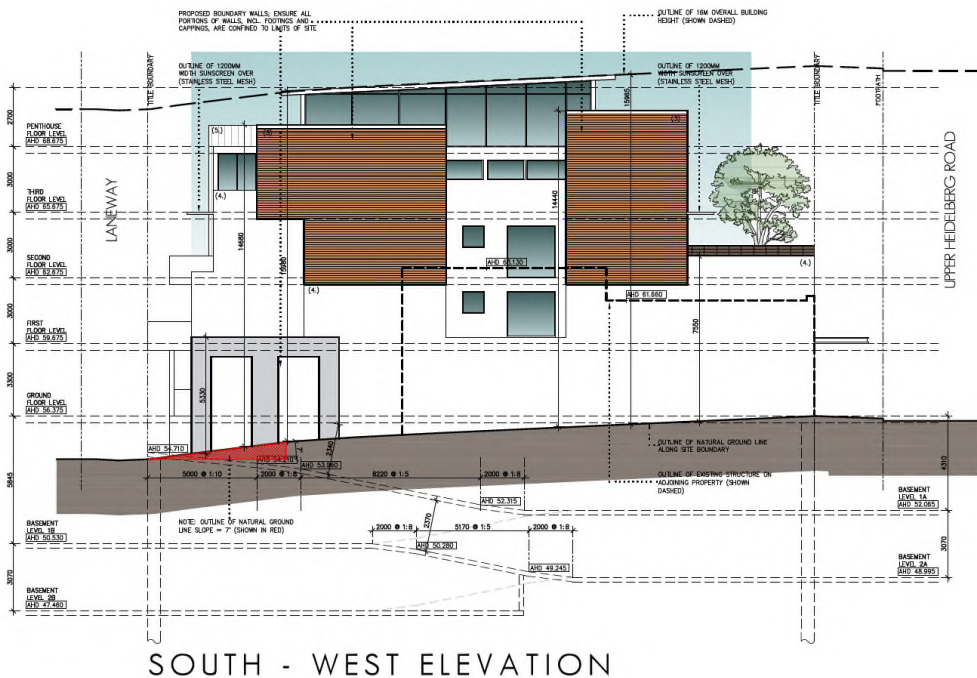
travel and in turn having a positive environmental outcome in terms of reduced emissions and traffic congestion.

Car Parking and transport

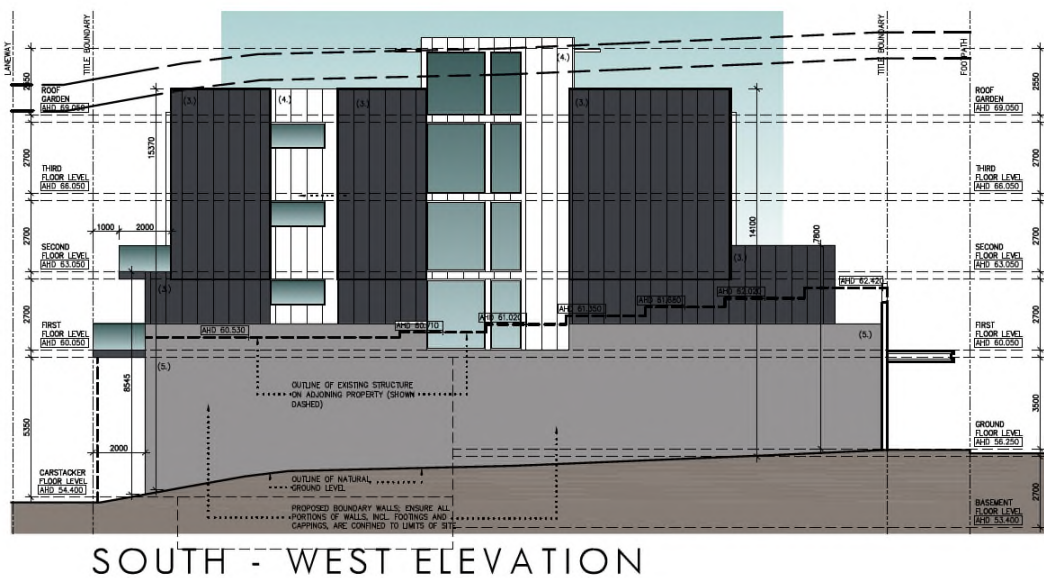
- The subject site is located within the Banyule Principal Public Transport Network (PPTN) Area. Of significance, areas located with the PPTN have been identified as areas where high quality public transport services are or will be provided.
- The subject site is therefore considered to have good access to public transport services such as Ivanhoe Railway Station, located approximately 260 meters from the site.
- The site also has good bicycle accessibility, primarily via the Main Yarra Trail that runs to the east of the site and Darebin Creek Trail that runs to the west.
- The proposal consists of 10 two-bedroom apartments and 4 three-bedroom apartments and 2 shop uses with a floor area of 101.8 sqm and 82.2 sqm.
- The development falls under the provisions of Clause 52.06 of the Banyule Planning Scheme. As the site is located within the PPTN the Column B parking rate applies, Table 52.06-5 requires the following:
 - One space for each one or two bedroom dwelling,
 - Two spaces for each three or more bedroom dwelling
 - Zero spaces for visitors.
 - 3.5 spaces to each 100 sqm of leasable floor area
- Accordingly, the proposal generates a requirement for 18 resident car spaces, 0 visitor car spaces and 6 parking spaces allocated to the shop uses. (Total: 24 spaces)
- This results in surplus of 9 parking spaces.
- The ROW used to access the site allows one-way movement only.
- There is no requirement for a passing area however, vehicles exiting the site will be unaware of vehicles entering along the ROW, this may cause vehicle conflicts.
- Furthermore, it is recommended that a warning light system be put in place to warn drivers of oncoming vehicles to avoid conflicts along the access ramps.
- Other proposed conditions include swept path diagrams must be provided confirming that vehicles can enter and exit the site at the laneway, swept path diagrams must also be provided demonstrating circulation about the site, swept path diagrams must be provide for parking Spaces 7, 8, 25, 26 confirming that entry/exit is suitable and swept path diagrams should be provided that demonstrate vehicle access and egress from the car stackers.
- Applicant to also confirm that at least 25 per cent of the mechanical car parking spaces can accommodate a vehicle clearance height of 1.8 metres.

DDO11-5A:

- Variation to preferred rear setback is considered acceptable due to VCAT approval of a zero setback for recently approved development on adjoining site.
- Below is an elevation plan of the proposed building showing the rear setback to the laneway:



- Below is an elevation plan of the building approved by VCAT in 2020 on the adjoining site at 171 Upper Heidelberg Road. Note the 1 metre setback at ground level to the rear laneway, and the zero setback at first floor level:



Clause 58

Clause 58.02 (Urban Context)	
<p>Urban Context objectives</p> <ul style="list-style-type: none"> To ensure that the design responds to the existing urban context or contributes to the preferred future development of the area. To ensure that development responds to the features of the site and the surrounding area. <p style="text-align: right;">Standard D1</p>	<p>Complies</p> <p>The proposed design respects the existing and preferred urban context of the surrounding area.</p>
<p>Residential policy objectives</p> <ul style="list-style-type: none"> To ensure that residential development is provided in accordance with any policy for housing in the Municipal Planning Strategy and the Planning Policy Framework To support higher density residential development where development can take advantage of public and community infrastructure and services. <p style="text-align: right;">Standard D2</p>	<p>Complies</p> <p>The proposal is consistent with State Planning Policy Framework and Local Planning Policy Framework. It provides additional housing opportunities in the form of 14 new 2 and 3 bedroom dwellings.</p>
<p>Dwelling diversity objective</p> <ul style="list-style-type: none"> To encourage a range of dwelling sizes and types in developments of ten or more dwellings. <p style="text-align: right;">Standard D3</p>	<p>Complies</p> <p>Development includes a combination of 2 and 3 bedroom dwellings.</p>
<p>Infrastructure objectives</p> <ul style="list-style-type: none"> Dwellings should be connected to reticulated services, including sewerage, drainage, electricity and gas, if available. Development should not unreasonably exceed the capacity of utility services and infrastructure, including reticulated services and roads. In areas where utility services or infrastructure have little or no spare capacity, developments should provide for the upgrading of or mitigation of the impact on services or infrastructure. <p style="text-align: right;">Standard D4</p>	<p>Complies</p> <p>The proposal will not exceed the capacity of existing infrastructure.</p>
<p>Integration with the street objective</p> <ul style="list-style-type: none"> To integrate the layout of development with the street. <p style="text-align: right;">Standard D5</p>	<p>Complies</p> <p>The shop fronts are oriented towards Upper Heidelberg Road allowing for integration with the existing streetscape.</p>

Clause 58.03 (Site Layout)	
<p>Energy efficiency objectives</p> <ul style="list-style-type: none"> To achieve and protect energy efficient dwellings and buildings. To ensure the orientation and layout of development reduce fossil fuel energy use and make appropriate use of daylight and solar energy. To ensure dwellings achieve adequate thermal efficiency. 	<p>Complies</p> <p>The dwellings have living areas and private open space located to the rear of the dwellings which allows for eastern, western and northern light.</p>

Standard D6	
<p>Communal open space objective</p> <ul style="list-style-type: none"> To ensure that communal open space is accessible, practical, attractive, easily maintained and integrated with the layout of the development. <p style="text-align: right;">Standard D7</p>	<p>N/A</p> <p>Development has less than 40 dwellings.</p>
<p>Solar access to communal outdoor space objectives</p> <ul style="list-style-type: none"> To allow solar access into communal outdoor open space. <p style="text-align: right;">Standard D8</p>	<p>N/A</p>
<p>Safety objective</p> <ul style="list-style-type: none"> To ensure the layout of development provides for the safety and security of residents and property <p style="text-align: right;">Standard D9</p>	<p>Complies</p> <p>Passive surveillance of both Upper Heidelberg Road and the rear laneway is available through habitable room windows from all dwellings.</p>
<p>Landscaping objectives</p> <ul style="list-style-type: none"> To encourage development that respects the landscape character of the area. To encourage development that maintains and enhances habitat for plants and animals in locations of habitat importance. To provide appropriate landscaping. To encourage the retention of mature vegetation on the site. To promote climate responsive landscape design and water management in developments that support thermal comfort and reduces the urban heat island effect. <p style="text-align: right;">Standard D10</p>	<p>Complies</p> <p>The proposal includes landscaping on balconies and terraces.</p>
<p>Access objective</p> <ul style="list-style-type: none"> To ensure the number and design of vehicle crossovers respects the urban context <p style="text-align: right;">Standard D11</p>	<p>Complies</p> <p>Vehicular access available from rear laneway.</p>
<p>Parking location objective</p> <ul style="list-style-type: none"> To provide convenient parking for resident and visitor vehicles. To protect residents from vehicular noise within developments <p style="text-align: right;">Standard D12</p>	<p>Complies</p> <p>Car parking facilities provided within basement.</p>
<p>Integrated water and stormwater management objectives</p> <ul style="list-style-type: none"> To encourage the use of alternative water sources such as rainwater, stormwater and recycled water. To facilitate stormwater collection, utilisation and infiltration within the development. To encourage development that reduces the impact of stormwater run-off on the drainage system and filters sediment and waste from stormwater prior to discharge from the site. <p style="text-align: right;">Standard D13</p>	<p>Condition Required</p> <p>A WSUD can form a condition of permit.</p>

Clause 58.04 (Amenity Impacts)	
<p>Building setback objectives</p> <ul style="list-style-type: none"> To ensure the setback of a building from a boundary appropriately responds to the existing urban context or contributes to the preferred future development of the area. To allow adequate daylight into new dwellings. To limit views into habitable room windows and private open space of new and existing dwellings. To provide a reasonable outlook from new dwellings. To ensure the building setbacks provide appropriate internal amenity to meet the needs of residents. <p style="text-align: right;">Standard D14</p>	<p>Variation</p> <p>Variation to preferred rear setback considered acceptable due to VCAT approval of a zero setback for recently approved development on adjoining site. Refer to main report and this attachment.</p>
<p>Internal views objective</p> <ul style="list-style-type: none"> To limit views into the private open space and habitable room windows of dwellings within a development. <p style="text-align: right;">Standard D15</p>	<p>Complies</p> <p>Internal views are controlled through dividing walls between the balconies.</p>
<p>Noise impact objective</p> <ul style="list-style-type: none"> To contain noise sources in developments that may affect existing dwellings. To protect residents from external and internal noise sources. <p style="text-align: right;">Standard D16</p>	<p>Complies</p> <p>Dwellings have been specified with double glazing.</p>

Clause 58.05 (On-site Amenity and Facilities)	
<p>Accessibility objective</p> <ul style="list-style-type: none"> To ensure the design of dwellings meets the needs of people with limited mobility <p style="text-align: right;">Standard D17</p>	<p>Complies</p> <p>50% of dwellings designed to comply with Standard B17. All internal levels accessible by an internal lift.</p>
<p>Building entry and circulation objectives</p> <ul style="list-style-type: none"> To provide each dwelling and building with its own sense of identity. To ensure the internal layout of buildings provide for the safe, functional and efficient movement of residents. To ensure internal communal areas provide adequate access to daylight and natural ventilation. <p style="text-align: right;">Standard D18</p>	<p>Complies</p> <p>Separate residential entry from Upper Heidelberg Road provided.</p>
<p>Private open space objective</p> <ul style="list-style-type: none"> To provide adequate private open space for the reasonable recreation and service needs of residents. <p style="text-align: right;">Standard D19</p>	<p>Complies</p> <p>Each dwelling provided with a balcony with dimensions in accordance with Standard D19.</p>
<p>Storage objective</p> <ul style="list-style-type: none"> To provide adequate storage facilities for each 	<p>Complies</p>

dwelling.	Standard D20
-----------	---------------------

Clause 58.06 (Detailed Design)	
<p>Common property objectives</p> <ul style="list-style-type: none"> To ensure that communal open space, car parking, access areas and site facilities are practical, attractive and easily maintained. To avoid future management difficulties in areas of common ownership. <p style="text-align: right;">Standard D21</p>	<p style="text-align: center;">N/A</p> <p>No application for subdivision.</p>
<p>Site services objectives</p> <ul style="list-style-type: none"> To ensure that site services can be installed and easily maintained. To ensure that site facilities are accessible, adequate and attractive. <p style="text-align: right;">Standard D22</p>	Complies
<p>Waste and recycling objectives</p> <ul style="list-style-type: none"> To ensure dwellings are designed to encourage waste recycling. To ensure that waste and recycling facilities are accessible, adequate and attractive. To ensure that waste and recycling facilities are designed and managed to minimise impacts on residential amenity, health and the public realm. <p style="text-align: right;">Standard D23</p>	Condition Required

Clause 58.07 (Internal Amenity)	
<p>Functional layout objective</p> <ul style="list-style-type: none"> To ensure dwellings provide functional areas that meet the needs of residents. <p style="text-align: right;">Standard D24</p>	<p style="text-align: center;">Complies</p> <p>Each dwelling has been designed in accordance with Tables D7 and D8.</p>
<p>Room depth objective</p> <ul style="list-style-type: none"> To allow adequate daylight into single aspect habitable rooms. <p style="text-align: right;">Standard D25</p>	Complies
<p>Windows objective</p> <ul style="list-style-type: none"> To allow adequate daylight into new habitable room windows. <p style="text-align: right;">Standard D26</p>	Complies
Natural ventilation objective	Condition Required

<ul style="list-style-type: none">• To encourage natural ventilation of dwellings.• To allow occupants to effectively manage natural ventilation of dwellings. <p style="text-align: right;">Standard B27</p>	<p>Further detail relating to openable windows can form a condition of permit.</p>
--	--

Client The Good Samaritan Inn	Project Proposed Refuge	Address 95 Bond Street Ivanhoe VIC 3079	Drawings Planning Application
---	-----------------------------------	---	---

Drawing List

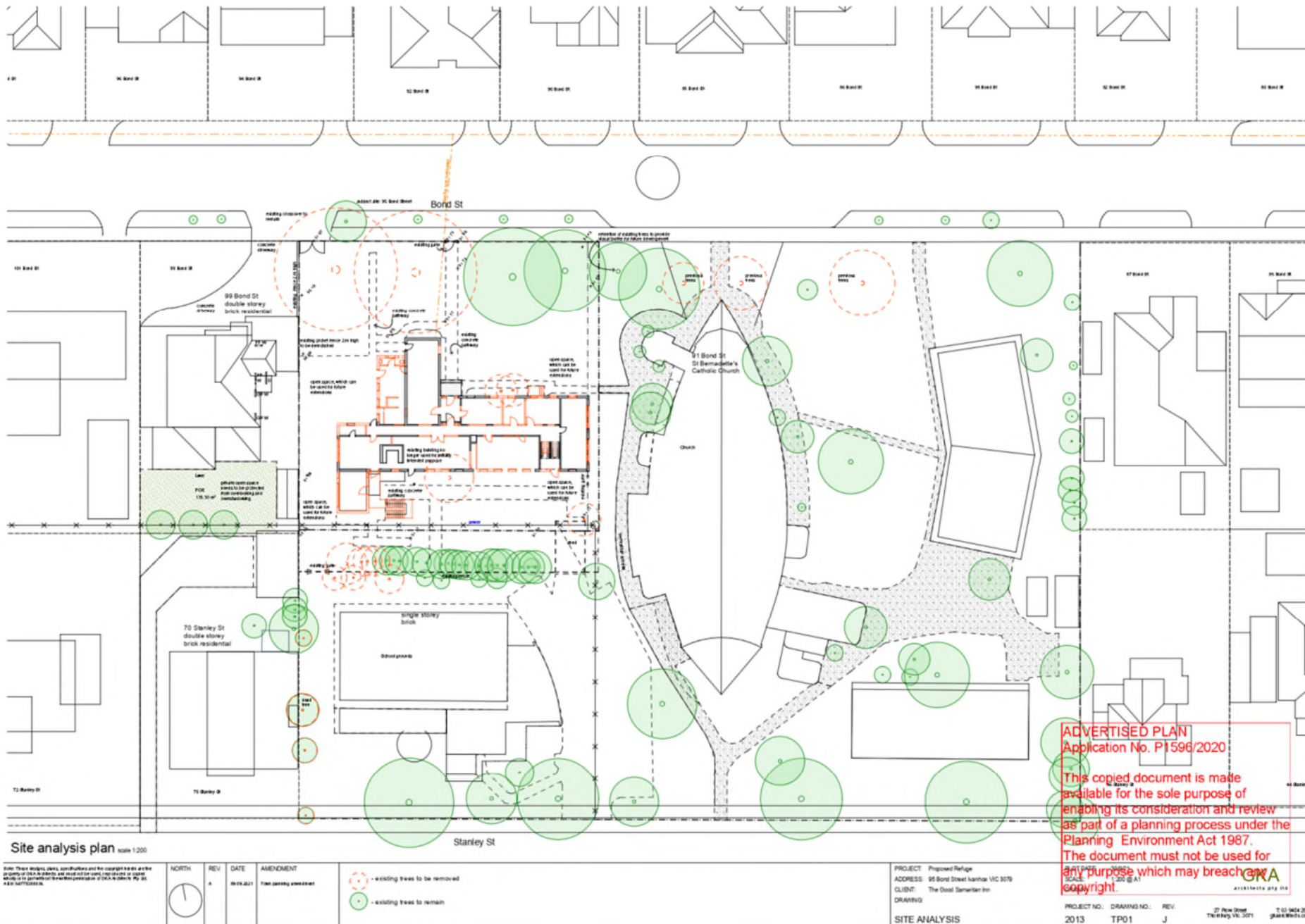
- TP00 COVER PAGE
- TP01 SITE ANALYSIS
- TP02 DESIGN RESPONSE
- TP03 SITE PLAN
- TP04 LOCATION PLAN
- TP05 EXISTING CONDITION PLANS
- TP06 GROUND FLOOR PLAN
- TP07 FIRST FLOOR PLAN
- TP08 ROOF PLAN
- TP09 ELEVATIONS
- TP10 SECTIONS
- TP11 SHADOW DIAGRAMS
- TP13 MATERIAL BOARD
- TP14 ADJOINING CAR PARK PLAN



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 Application No. P1596/2020

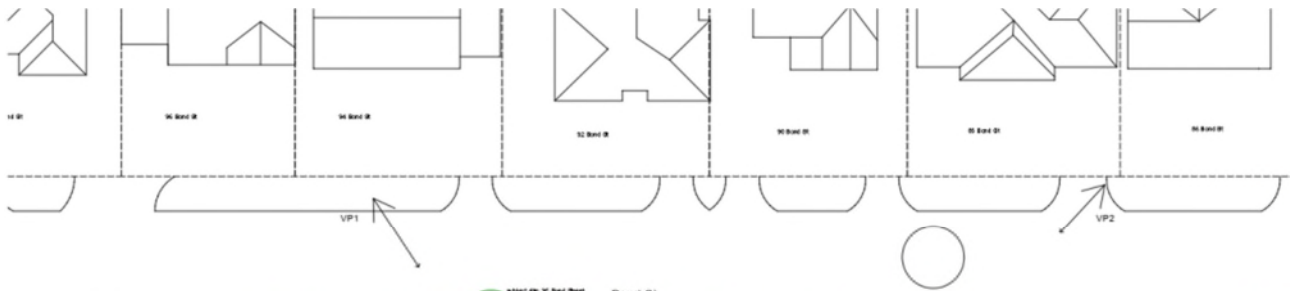
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	A	09/09/2021	Final planning amendment		COVER PAGE		



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 Application No. P1596/2020

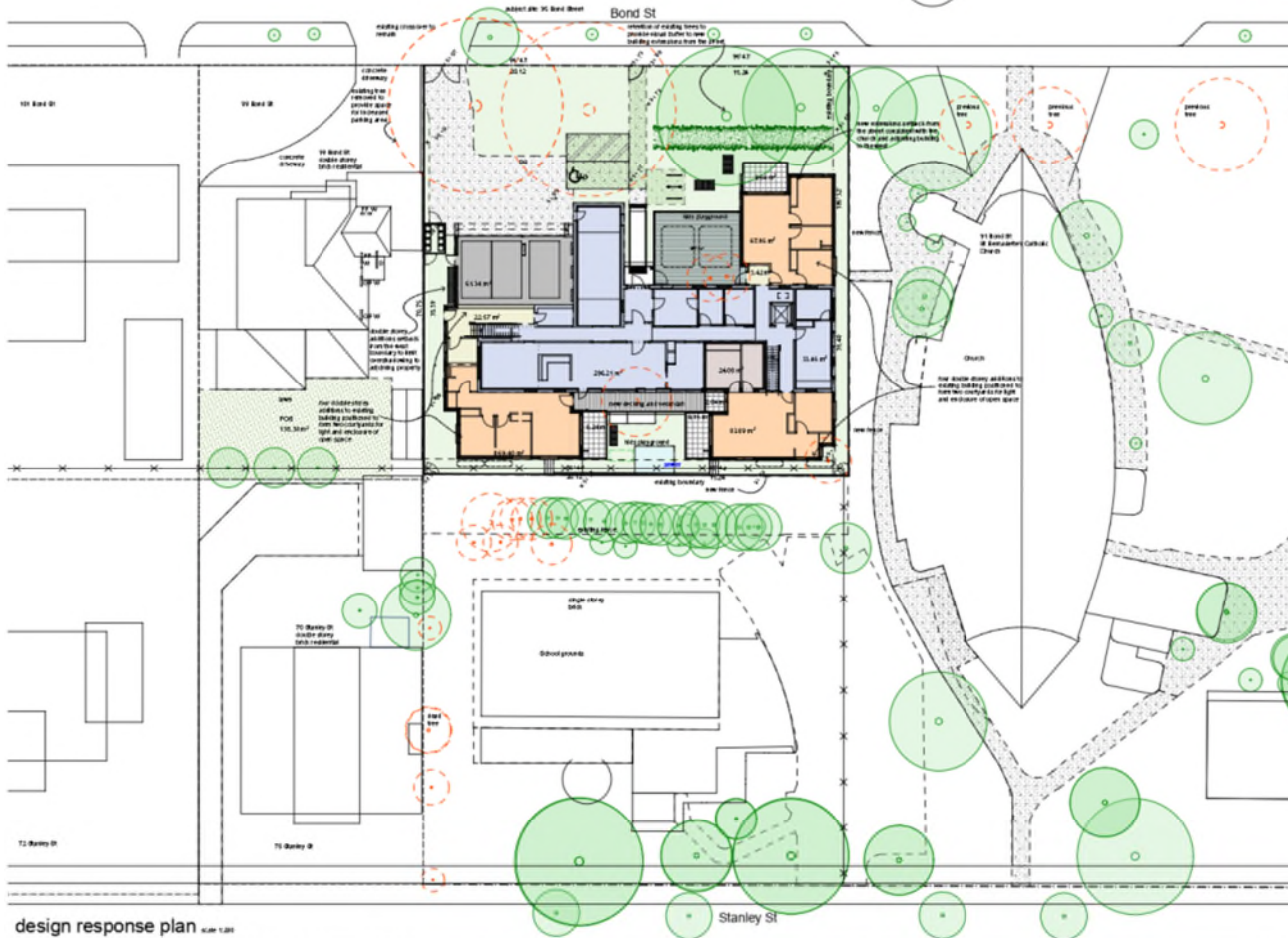
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VP1 perspective view from bond st



VP2 perspective view from bond st



design response plan 4/10/2021

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NORTH	REV	DATE	AMENDMENT
	A	09/10/2021	Final planning submission

- existing trees to be removed
- existing trees to remain

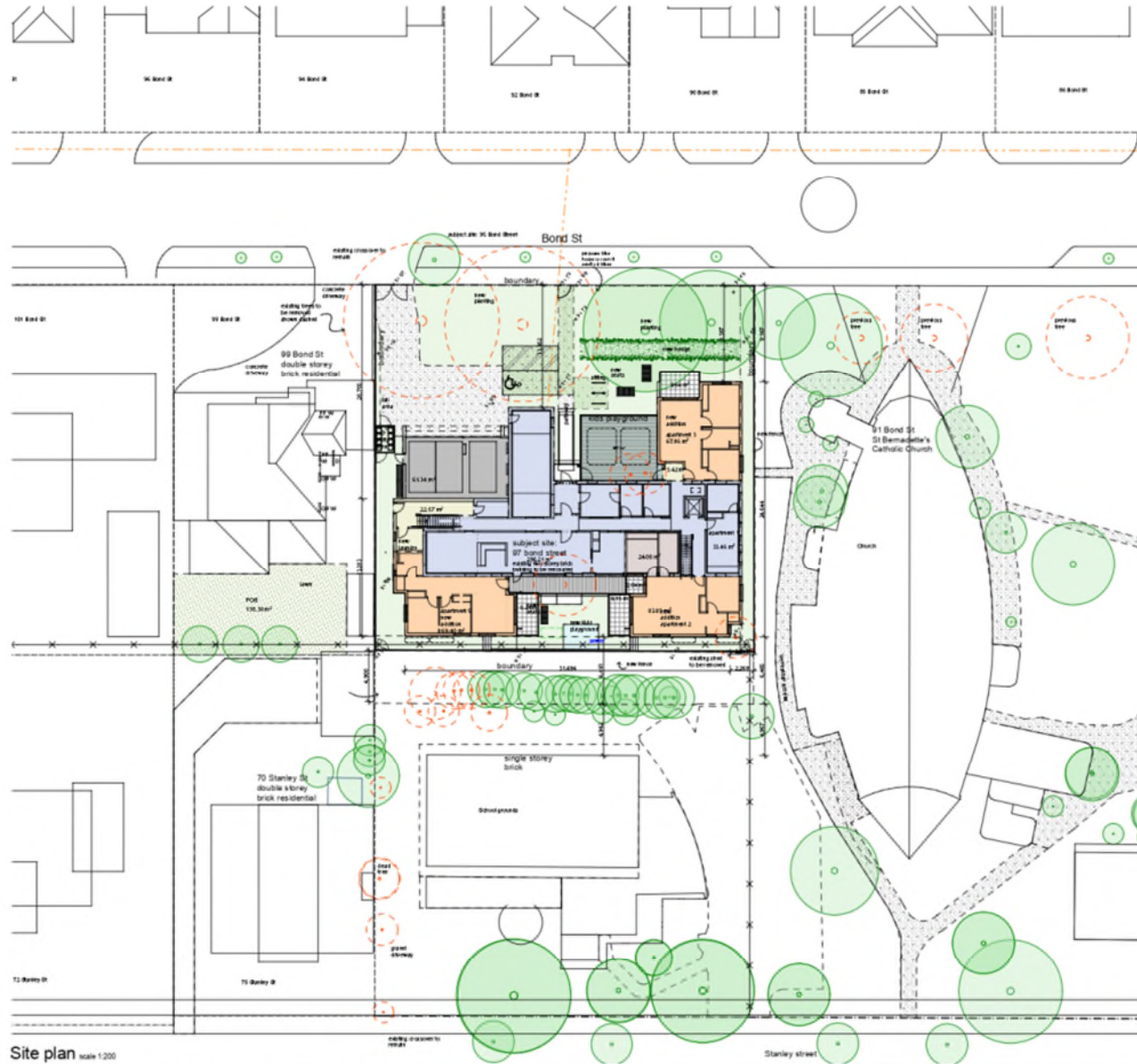
PROJECT: Proposed Refuge
 ADDRESS: 95 Bond Street Karlova VIC 3079
 CLIENT: The Good Samaritan Inn
 DRAWING: DESIGN RESPONSE

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 Application No. P1596/2020

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PROJECT NO: 2013 DRAWING NO: TP02 REV: J
 27 New Street T: 61 3424 2530
 Thornbury VIC 3071 gka.com.au



Development Summary			
Project	Proposed mixed use development		
Address	95 Bond St, Kambah		
Client	Good Samaritan		
Stage	Pre-application		
Summary - Site			
Site area (approx)	1223.85 sqm		
Site coverage (ground floor of building)	241.43 sqm 49.2%		
Permeable area	470.48 sqm 38.5%		
Source area	942.76 sqm 49.3%		
Summary - Building			
apartment	1 bed 2 bed total units site spaces car parking		
	2 6 11 9 9		
DETAILS SCHEDULE			
	GFA (sq ft)	Bedroom (sq ft)	no. of beds
GROUND FLOOR			
apartment u01	83.09	10.99	2
apartment u02	32.45	-	1
apartment u03	27.03	9.44	2
apartment u04	89.4	8.24	2
common area	23.99	-	-
existing buildings to be re-occupied			
apartment 2 and part of apartment 1 included	316.41	-	-
sub total floor area	940.56	-	-
FIRST FLOOR			
apartment u05	34.81	6.19	1
apartment u06	33.49	-	1
apartment u07	83.04	-	2
apartment u08	71.9	-	2
apartment u09	72.07	9.44	2
apartment u10	66.41	6.95	2
apartment u11	72.37	6.19	2
common area	80.92	-	-
existing buildings to be re-occupied			
apartment 2, 7, 8 included	238.6	-	-
sub total floor area	553.44	-	-



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Site plan scale 1:200

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NORTH	REV	DATE	AMENDMENT
	A	08/11/2021	Final planning amendment

- existing trees to be removed
- existing trees to remain

PROJECT: Proposed Refuge
 ADDRESS: 95 Bond Street Kambah VIC 3079
 CLIENT: The Good Samaritan Inc
 DRAWING: SITE PLAN

PROJECT NO: 2013
 DRAWING NO: TP03
 REV: J

27 New Street
 Thornbury, VIC 3071
 T 61 9424 2530
 gra@gra.com.au



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Location plan scale 1:200

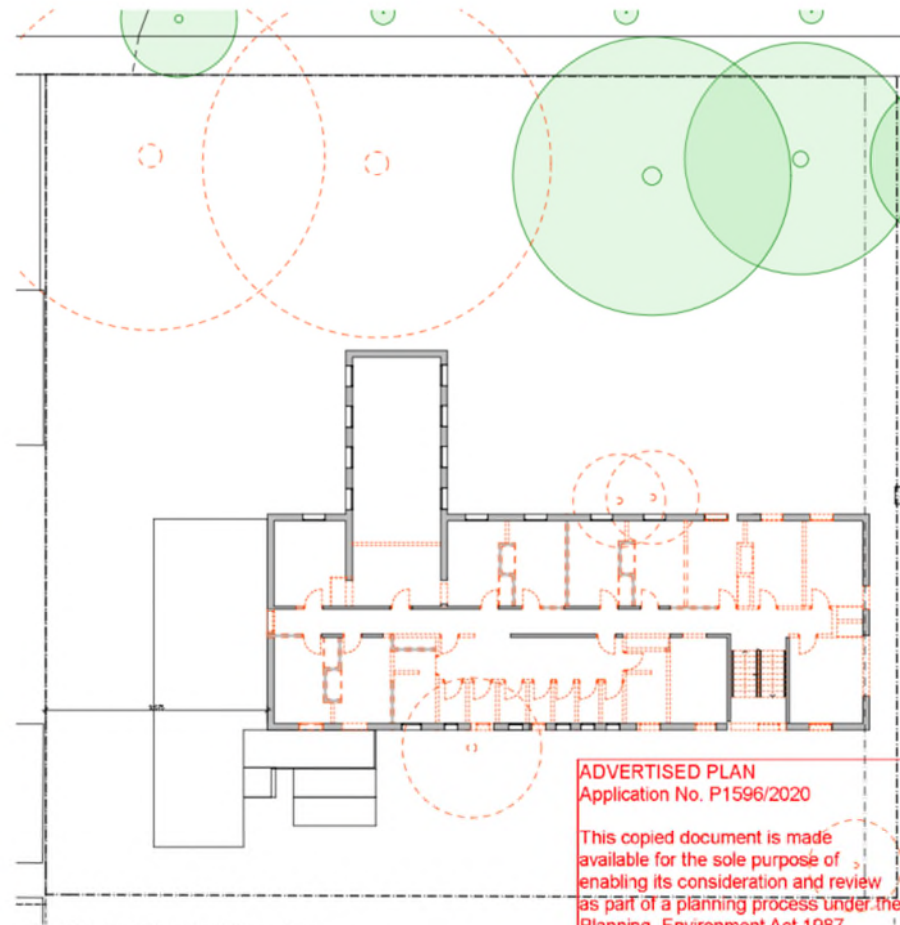
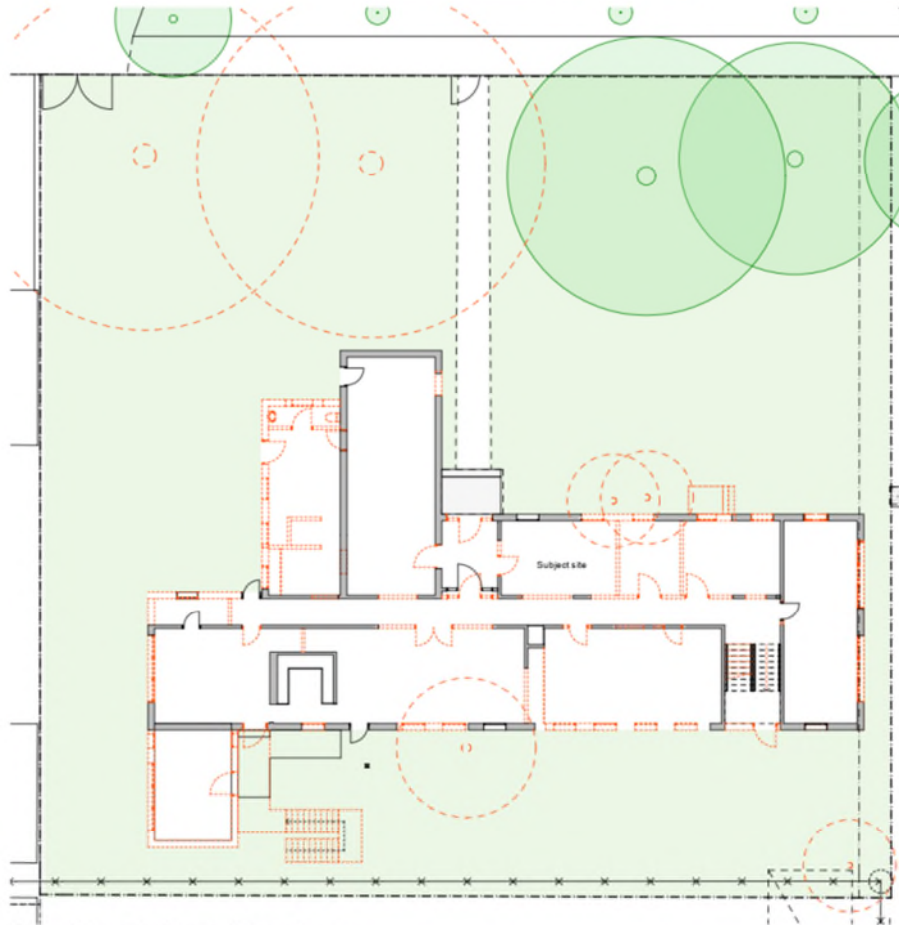
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NORTH	REV.	DATE	AMENDMENT
	A	09/09/2021	Final planning amendment

PROJECT: Proposed Refuge
 ADDRESS: 95 Bond Street Hawth VIC 3079
 CLIENT: The Good Samaritan Inn
 DRAWING:

LOCATION PLAN

PROJECT NO: 2013
 DRAWING NO: TP04
 REV: J
 27 New Street
 Thornbury VIC 3071
 T 03 9454 2530
 graham@gra.com.au



Ground floor existing conditions plan scale 1:100

First floor existing conditions plan scale 1:100

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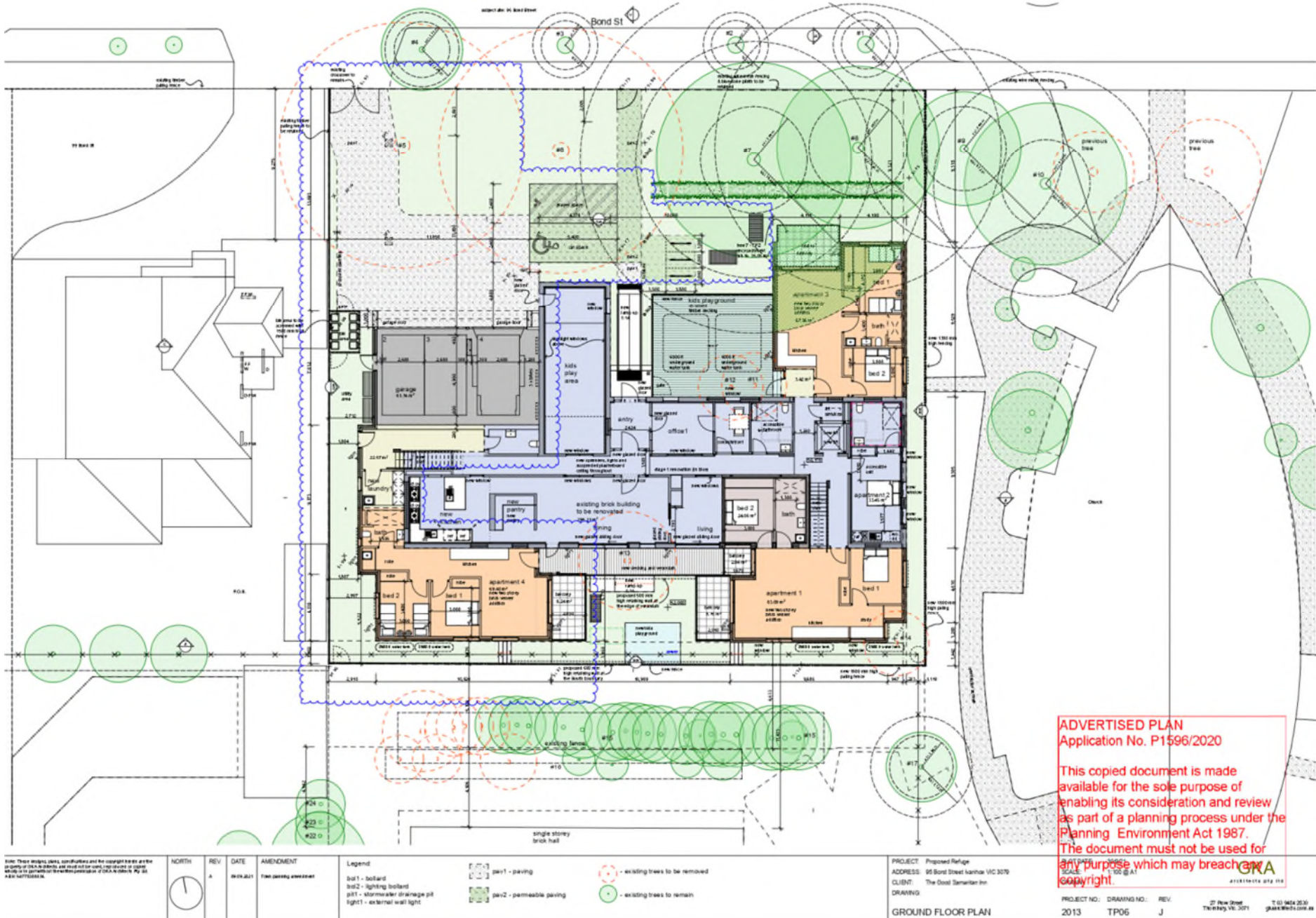
NORTH	REV	DATE	AMENDMENT
	*	20/11/2021	Final planning submission

PROJECT: Proposed Refuge
 ADDRESS: 95 Bond Street Kew VIC 3079
 CLIENT: The Good Samaritan Inn
 DRAWING: EXISTING CONDITION PLANS

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 Application No. P1596/2020

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PROJECT NO: 2013 DRAWING NO: TP05 REV: J
 27 Nov Street Thornbury VIC 3071 GKA architects utp inc



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NORTH	REV	DATE	AMENDMENT
	A	06/04/2021	Final planning submission

Legend
boll1 - bollard
boll2 - lighting bollard
pit1 - stormwater drainage pit
light1 - external wall light

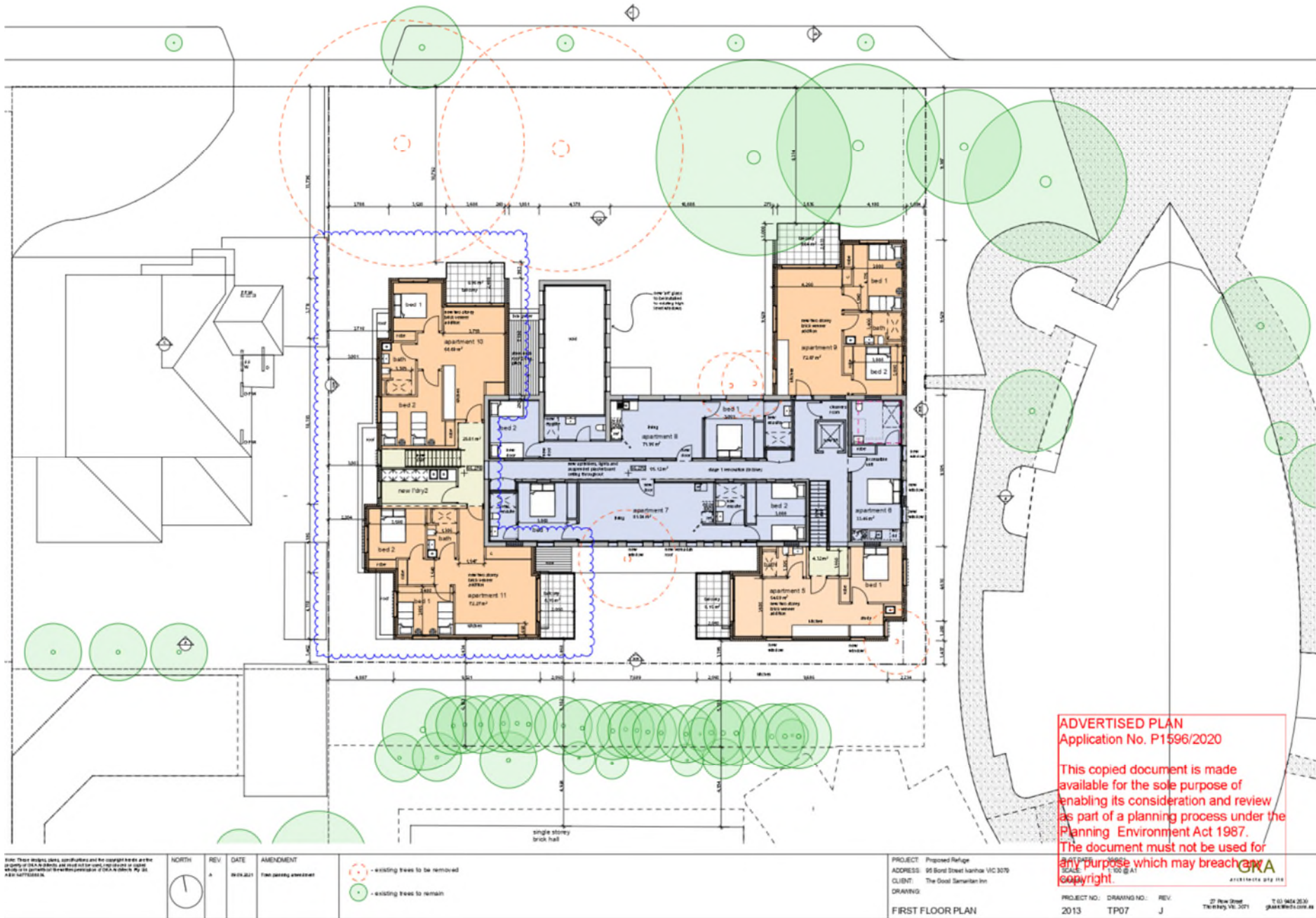
pav1 - paving	- existing trees to be removed
pav2 - permeable paving	- existing trees to remain

PROJECT: Proposed Refuge
 ADDRESS: 95 Bond Street Karraha VIC 3079
 CLIENT: The Good Samaritan Inn
 DRAWING: GROUND FLOOR PLAN

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 Application No. P1596/2020

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PROJECT NO: 2013
 DRAWING NO: TP06
 REV: J
 27 New Street
 Thornbury, VIC 3071
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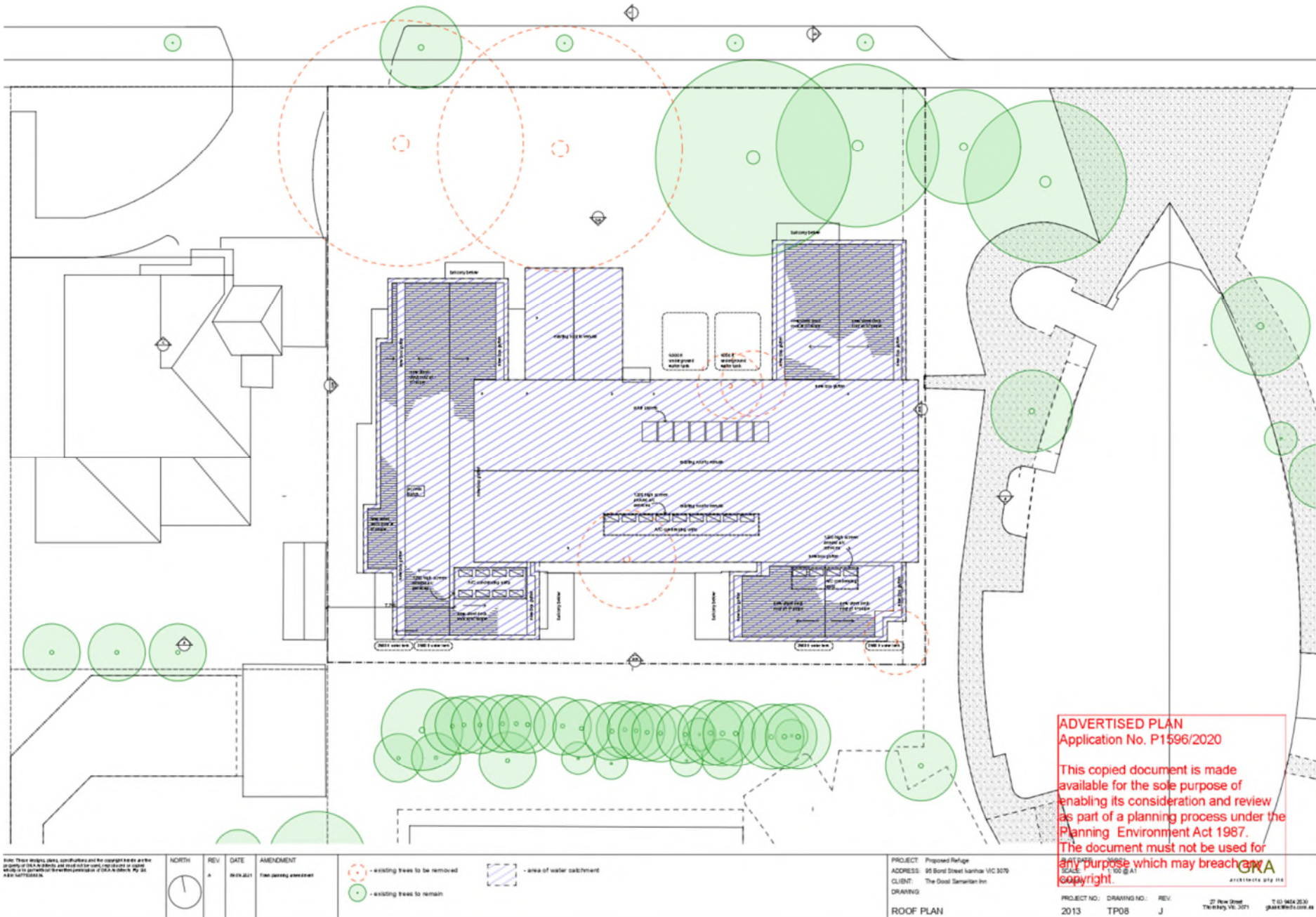
GKA
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--	--------------	---------------------	-------------------------------	---

- existing trees to be removed
- existing trees to remain

PROJECT: Proposed Refuge
 ADDRESS: 95 Bond Street Karlow VIC 3079
 CLIENT: The Good Samaritan Inn
 DRAWING:
FIRST FLOOR PLAN

PROJECT NO: 2013
 DRAWING NO: TP07
 REV: J
 27 Row Street
 Thornbury VIC 3071
 T 03 9454 2530
 gka@gka.com.au



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NORTH	REV	DATE	AMENDMENT
	*	09/01/2021	Final planning submission

- existing trees to be removed
- existing trees to remain
- area of water catchment

PROJECT: Proposed Refuge
ADDRESS: 95 Bond Street, Kardinia VIC 3209
CLIENT: The Good Samaritan Inn
DRAWING:
ROOF PLAN

PROJECT NO: 2013
DRAWING NO: TP08
REV: J
27 New Street, Thornbury VIC 3071
T 61 3424 2530
gka@web.com.au



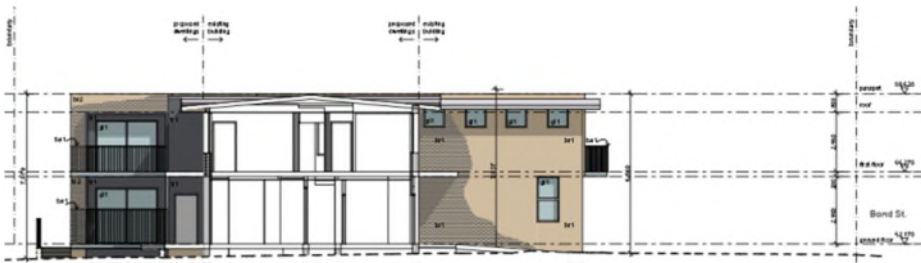
North elevation 1:100



East elevation 1:100



West elevation 1:100



Section a2 1:100



Section a1 1:100



South elevation 1:100

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NORTH	REV	DATE	AMENDMENT
	1	08/04/2021	Final planning submission

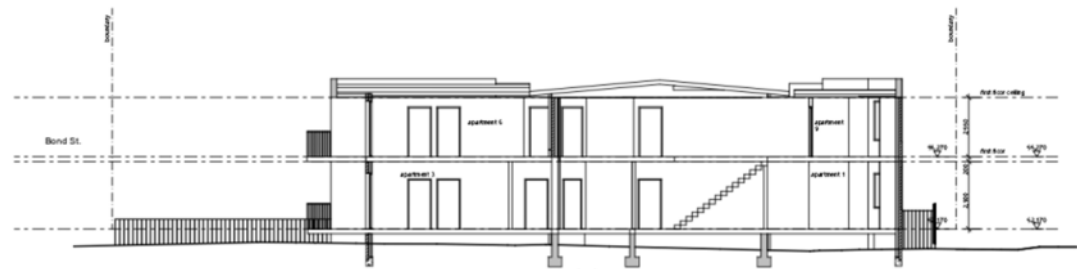
Legend:
<ul style="list-style-type: none"> SH1 - vertical metal light bulb (1000mm height) above environment SH2 - 1000mm high safety fence SH3 - 1200mm high screen around air services SH4 - existing building footprint SH5 - new building footprint SH6 - existing building footprint SH7 - new building footprint SH8 - existing building footprint SH9 - new building footprint SH10 - existing building footprint SH11 - new building footprint SH12 - existing building footprint SH13 - new building footprint

PROJECT:	Proposed Refuge
ADDRESS:	95 Bond Street, Hawthorn VIC 3176
CLIENT:	The Good Samaritan Inn
DRAWING:	ELEVATIONS

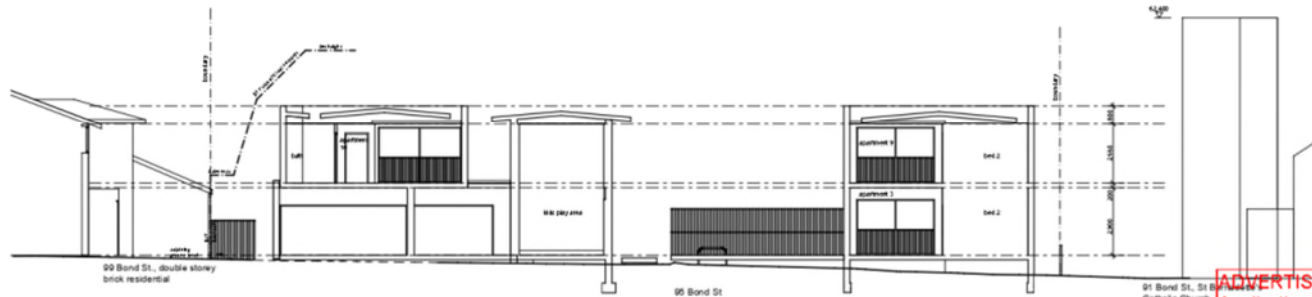
PROJECT NO:	2013	DRAWING NO:	TP09	REV:	J	
			DATE:	27 Nov 2021	SCALE:	1:100 @ A1
			PROJECT:	95 Bond Street	DATE:	08/04/2021
			CLIENT:	The Good Samaritan Inn	SCALE:	1:100 @ A1
			DRAWING:	ELEVATIONS	DATE:	08/04/2021



Section aa 1:100



Section bb 1:100



Section cc 1:100

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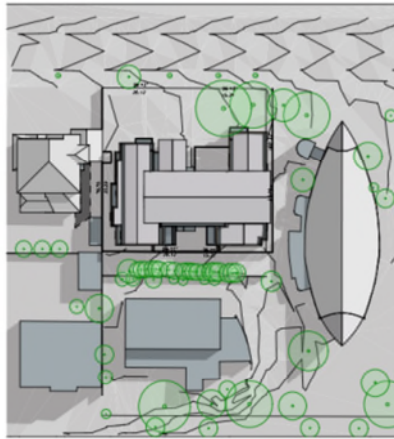
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	A	09/09/2021	Final permit amendment

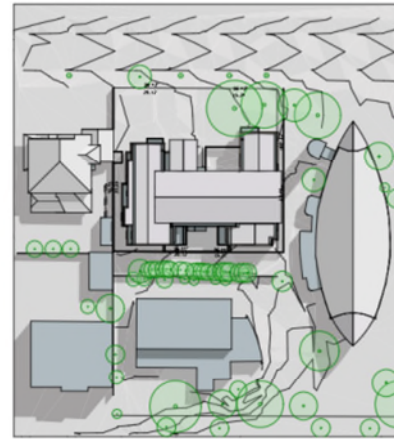
PROJECT: Proposed Refuge
ADDRESS: 95 Bond Street Hawthorn VIC 3079
CLIENT: The Good Samaritan Inn
DRAWING:

SECTIONS

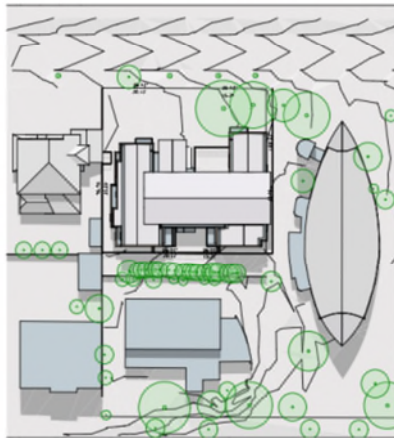
PROJECT NO: 2013
DRAWING NO: TP10
REV: J
27 New Street
Traralgon, VIC 3841
T 61 3644 2530
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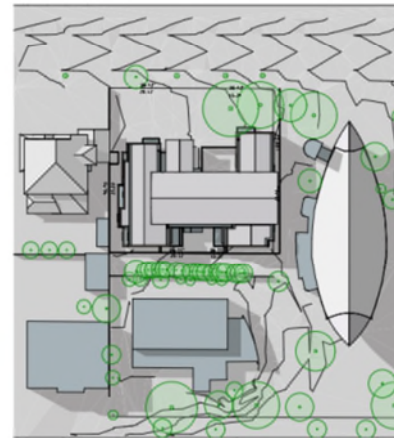
shadow diagram 9am 22 sep 2020 1:00



shadow diagram 10am 22 sep 2020 1:00



shadow diagram 12pm 22 sep 2020 1:00



shadow diagram 3pm 22 sep 2020 1:00

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 Application No. P1596/2020

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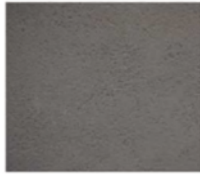
Legend	
	existing shadow or existing outdoor private open space
	existing shade or open space

PROJECT:	Proposed Refuge
ADDRESS:	95 Bond Street Hawth VIC 3079
CLIENT:	The Good Samaritan Inn
DRAWING:	SHADOW DIAGRAMS

PROJECT NO.:	DRAWING NO.:	REV.:	27 Row Street Thurbury VIC 3071	T 03 9454 2530 gka@web.com.au
2013	TP11	J		



011 Existing brickwork
012 New brickwork to match existing



013 - textured walling (concrete) only



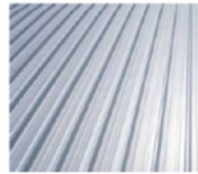
014 - aluminium framed windows with clear glass
Powder coat finish (black) - colour to be confirmed



015 - aluminium framed windows with frosted glass
Powder coat finish (black) - colour to be confirmed



016 - vertical metal slat balustrade 100 mm height
colour to be confirmed



017 - metal cladding with powder coating - colour to be confirmed



018 - Existing - weathered pine or treated pine cladding

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Application No. P1596/2020

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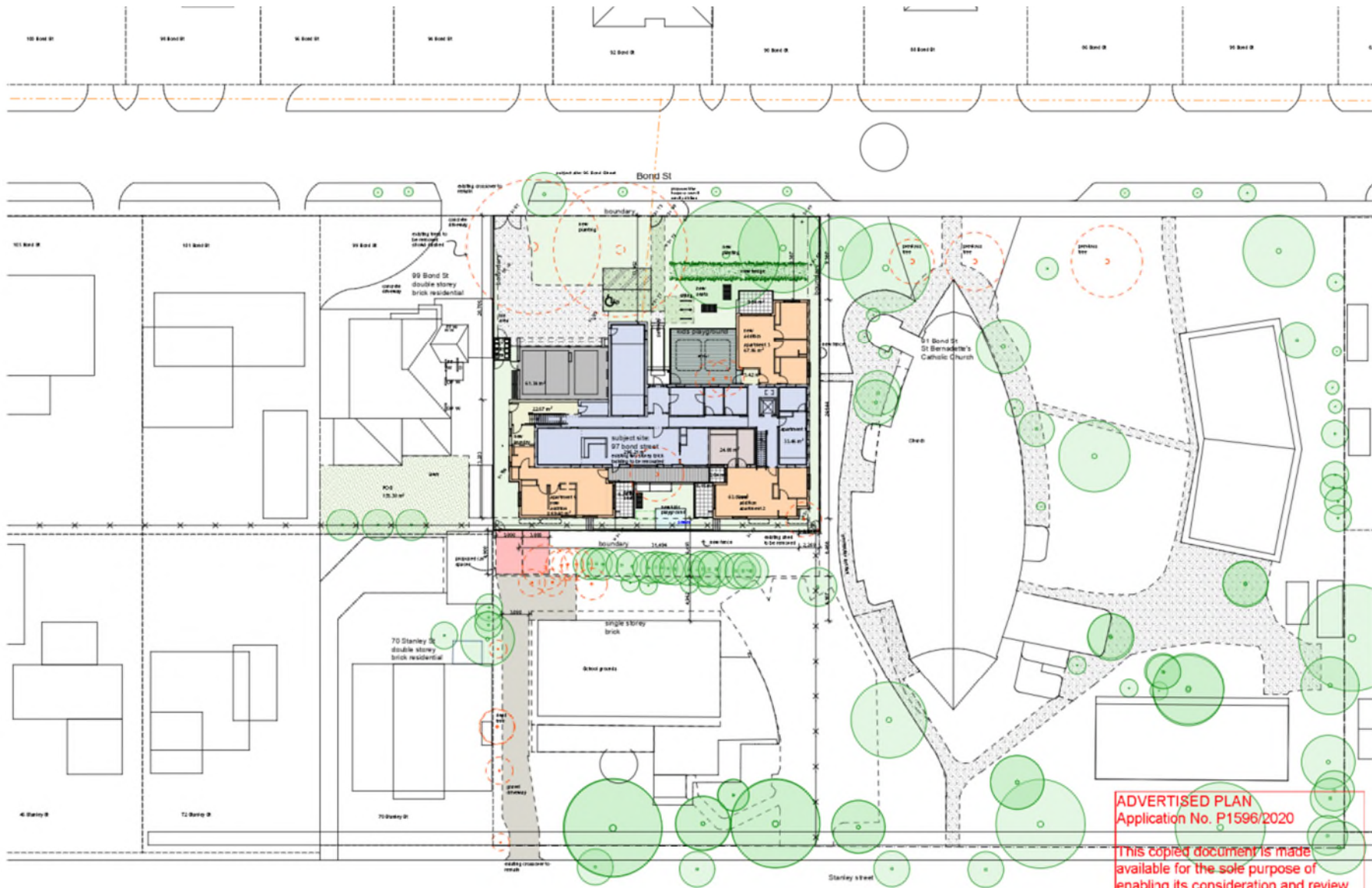
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NORTH	REV.	DATE	AMENDMENT
	A	09/09/2021	Final planning amendment

PROJECT: Proposed Refuge
ADDRESS: 95 Bond Street Hawthorn VIC 3176
CLIENT: The Good Samaritan Inn
DRAWING:

MATERIAL BOARD

PROJECT NO: 2013 DRAWING NO: TP13 REV: J
27 New Street
Thornbury VIC 3151
T 03 9454 2530
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Adjoining car park plan scale 1:200

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NORTH	REV	DATE	AMENDMENT
	A	09/11/2021	Final planning submission

- existing trees to be removed
- existing trees to remain

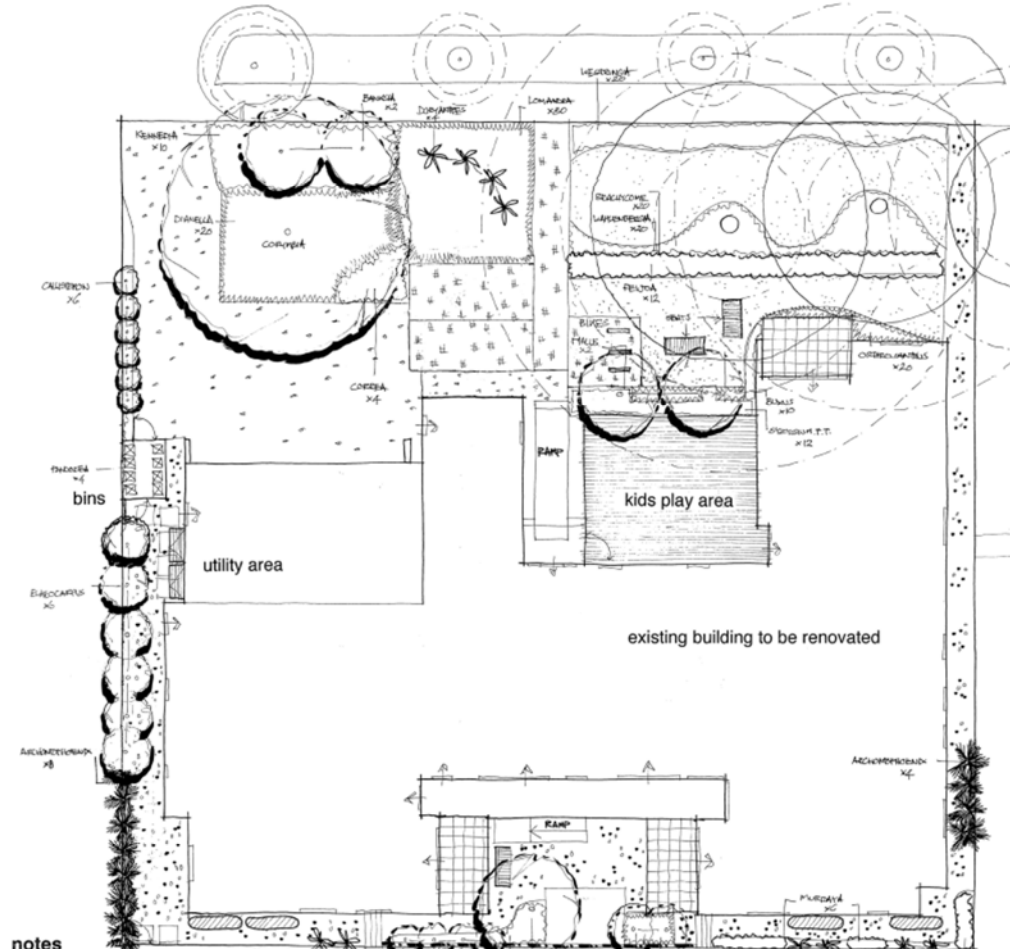
PROJECT: Proposed Refuge
 ADDRESS: 95 Bond Street, Kew VIC 3079
 CLIENT: The Good Samaritan Inn
 DRAWING:

ADJOINING CAR PARK PLAN

PROJECT NO: 2013
 DRAWING NO: TP14
 REV: J
 27 New Street
 Thornbury, VIC 3071
 T: 03 9424 2530
 gka@gka.com.au

bond street

note
three lophostemon trees as replacement
for previously removed trees



key

- lawn**
drought tolerant, non-invasive species seeded or turf on 50mm topsoil or use mulch or pebbles as substitute during drought periods.
- garden edging**
recycled plastic or jarrah timber edging
- toppings/stone chips**
50mm layer of selected sustainably sourced water worn pebbles, toppings or stone chips as path
- decking**
as per architectural plans.
- balcony**
slab as per architectural plans
- path**
permeable, above grade within any top of retained trees
- driveway**
concrete, parking bays within top of retained trees to be permeable, above grade
- fence**
refer to architectural plans
- water tanks**
refer to architectural and drainage engineering plans
- bins**
storage areas
- existing trees**
trees to be removed

- Site Preparation and Maintenance notes**
- All weeds to be removed from site by physical removal or spraying with glyphosate based herbicide
 - Existing soil should be improved by the addition of organic matter and light cultivation only to break up any compaction
 - No cultivation within drip-line of existing retained trees on site or adjacent areas. Areas of possible compaction with spade, or any other materials used on site are to be removed and replaced with topsoil from a sustainable source and approved for use on site. Areas requiring topsoil to ensure levels in for plant growth. Soil to be spread with approved soil previously stockpiled on site or from quality controlled and sustainable sources.
 - Irrigation to be in accordance with current water restrictions and weather conditions generally 10 minutes every second day during establishment period (3 months) and during dry summer periods if required, programmable irrigation systems are to be low water use drippers and/or sprays as appropriate and designed by irrigation engineer or consultant.
 - Weeding and trimming every 14 - 21 days. Plant replacement as required during establishment period of 6 months or longer as required by general conditions. All plants to be pruned/clipped to appropriate size on an ongoing basis. Mulch levels to be maintained at 75mm.

Planting Schedule

Botanical Name	Common Name	Quantity	Size*
Groundcovers, tussocks, small to medium shrubs (Supply in 150mm pots)			
<i>Stylidium multifida</i>	Daisy	20	0.2x1
<i>Banksia 'Silverdew'</i>	Deer Bell	10	0.4x1.4
<i>Callistemon 'Silver'</i>	Upright Callistemon	8	2x1.5
<i>Correa 'Dusty Bell'</i>	Correa	4	0.6x0.8
<i>Daniella verticillata</i>	Daniella	4	1.5x1.5
<i>Doryliria acutata</i>	Correa Lily	20	0.4x0.4
<i>Felicia selowiana</i>	Felicia	10	1.2x0.8 trimmed
<i>Hemlockia parviflora</i>	Blanketing Protea	10	0.3x1
<i>Liriodendron 'Lily'</i>	Liriodendron	28	0.4x0.4
<i>Lonicera 'Tinkles'</i>	Lonicera	10	0.6x0.6
<i>Murphya paniculata</i>	Orange Jasmine	10	2.5x0.8 trimmed
<i>Oenothera multiflora</i>	Purple Fagg	20	0.5x0.5
<i>Placochthonia argentea</i>	Silver Placochthonia	4	0.8x0.8
<i>Singium 'Trio Tree'</i>	Sheep's Foot	10	0.8x0.8
<i>Wintersingia stylos</i>	Tall Shrublet	20	0.3x0.8
<i>Wrengia 'Silver Gull'</i>	Deaf Native Rosemary	20	0.6x0.8
Climbing/Trailing Plants (Supply in 150mm pots)			
<i>Pandanus pentamerus</i>	Wonga Wonga	4	
Feature trees, shade trees, large shrubs (Supply in 150mm - 200mm pots or as advanced plants 2m high indicated with asterisk)**			
<i>Annona glabra</i>	Banana Palm	12	7x2
<i>Banksia marginata</i>	Banksia	2	6x3.5
<i>Correa 'Silverdew'</i>	Lemon Scented Gum	1	1x4
<i>Elaeagnus viticarpa</i>	Sheathy Ash	2	7x3
<i>Lophostemon confertus</i>	Sheathy	2	10x7
<i>Melaleuca speciosa</i>	Apple	2	6x4
<i>Stylidium multifida</i>	Sheep's Foot of Paradise	4	5x5
<i>Syzygium 'Phenacis'</i>	Upright Lilly	4	5x1
<i>Wrengia 'Silverdew'</i>	Lilly Lilly	1	3x5

landscape plan

project: 95 bond street, Ivanhoe
client: the good samaritan inn
scale: 1:100 A1 **date:** January 2021 **sheet:** 1 of 1
Issue A
Issue B August 2021
Issue C September 2021

habitat
landscape and environmental design consultants pty ltd
this plan is intended as a layout and planting guide only all other details are to be checked and verified on site. Refer to architectural and engineering plans and permit conditions.
Professional Engineer's consent is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning, Environment Act 1987.
The document must not be used for any purpose which may breach any copyright.

- notes**
- Existing vegetation**
Existing trees and shrubs indicated for retention are to be protected in accordance with Australian standards. Refer to arborists report and/or council permit conditions for tree protection and management. Trees should be protected with physical barriers to prevent access within nominated tree protection zones which are to be marked and signed during construction. No trees to be removed without clarification from owner or local council. All tree protection to be in accordance with relevant Australian Standards.
 - Garden Beds**
Cut/tille existing soil to 200mm. Re-use site topsoil if suitable or imported garden mix topsoil to provide minimum 100mm of topsoil to garden beds. Spread 75mm layer of 10mm pine bark mulch.
 - Irrigation**
Low water use drip system with programmable timers connected to rainwater storage tanks or water mains. Irrigation must be used in compliance with current water restrictions.
 - Fences**
Refer to architectural plans
 - Drainage**
Refer to architectural or engineering plans for stormwater and drainage pit locations. All paved areas in rear garden are to have a grade of 2.5% minimum, away from buildings. All grades, levels and drainage to comply with relevant building codes and council planning requirements.
 - Services**
Contractors are to determine the location of all underground and overhead services prior to construction. Any services, pits, etc illustrated on this plan are indicative only and are to be checked with architectural and engineering plans.
 - Building Structures**
The use of this plan and planting of trees, shrubs, etc as specified may require the provision of root control barriers or specifically engineered foundations or similar method of controlling root growth to avoid intrusion.

ASSESSMENT AGAINST CLAUSE 22.02**RESIDENTIAL NEIGHBOURHOOD CHARACTER POLICY Garden Suburban 3**

APPLICATION NO.:	P1596/2020
DEVELOPMENT ADDRESS:	93 Bond Street IVANHOE, 95 Bond Street IVANHOE, 97 Bond Street IVANHOE, 89 Bond Street IVANHOE, 91-93 Bond Street IVANHOE
PROPOSAL:	Development and use of the land for community care accommodation and associated vegetation removal

The Ivanhoe Activity Centre is in this precinct. The preferred future character of this Activity Centre will be guided by Schedules 11 and 12 to the Design and Development Overlay.

Within the in the GRZ2 and NRZ3

These areas will protect and enhance the garden suburban character of the precinct with an emphasis on protecting trees and creating new opportunities for vegetation throughout sites. They will provide for a mix of well-designed single dwellings medium density dwellings in garden settings, with space around and between dwellings to create an attractive, treed landscape setting.

Within the GRZ1

These areas will accommodate change in a manner that supports the garden suburban character of the precinct. All developments will contribute to an enhanced treed environment, including opportunities for tree protection and planting, whilst providing for town houses and other medium density dwellings, as well as some dispersed single dwellings. Canopy trees and understorey vegetation will continue to contribute to the character of the area, particularly in front setbacks to reinforce the boulevard character, and along rear boundaries to soften the interface between dwellings.

The site coverage may be greater for sites in the GRZ1 as long as tree and vegetation protection is achieved. The treed and spacious feel of the streetscape character will be retained and enhanced by ensuring front setbacks are large enough to plant a large tree and other vegetation. Building heights may also be increased for these developments, with the higher components generally positioned to front onto the street, and recessed from the lower levels to reduce their visual prominence and provide space for tree canopies

Objective	Complies?
To encourage the retention of buildings that contribute to the character of the precinct.	N/A
Design Response	
1. Retain intact and good condition Victorian, Edwardian and Interwar dwellings that contribute to the valued character of the Precinct, as part of new developments.	N/A
2. Alterations and extensions should retain the front façade of dwellings and be respectful to the building	N/A
Discussion	
The proposal will retain the existing building, which does not have any architectural significance.	

Objective	Complies?
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To ensure new buildings and extensions are sympathetic to the current building form and architectural style	Y
Design Response	
3. Materials should match the predominant wall and roof materials in the street. In predominantly weatherboard areas south of Banksia Street, buildings should be weatherboard or rendered brick.	N/A
4. Match wall and roof materials in extensions.	Y
5. Second storey additions should reflect the architectural style and form of the existing building.	Y
6. Incorporate the main themes, in correct proportions and scale, from the Edwardian, Interwar or Post war or 1960s era as appropriate to the street.	N/A
7. Variation should be provided between each dwelling of a development that faces the street. This can be achieved through varied roof pitches, window and door placement, materials, façade articulation and other design detailing.	N/A
Discussion	
Extensions will be consistent with the existing building in terms of architectural style, height, roof forms, materials.	

Objective	Complies?
To maintain consistency of current front setbacks whilst enable tree planting in front gardens	Y
Design Response	
8. Dwellings should be setback in line with the predominant front setback of dwellings along the street.	Y
9. In the GRZ1, a reduced front setback for new buildings (including basements) may be acceptable, if this respects the predominant front setback of nearby dwellings and supports the planting and future growth of a large tree to maturity.	N/A
10. For corner sites, the front setback of a dwelling facing the side street should be at a transition between the predominant setback along the side street, and the side setback of the dwelling facing the front street.	N/A
Discussion	
The extension to the building will extend approximately 2.5m forward of the existing building. The setback will however still align to the existing setback of the existing dwelling to the west (99 Bond Street) and will not extend forward of the existing church building to the east. The development will maintain a setback of approximately 350m² to enable tree planting in the front garden.	

Objective	Complies?
To ensure buildings and extensions do not dominate the streetscape or the building, and do not adversely affect the outlook and amenity of neighbouring dwellings	Y
Design Response	
11. Second storey portions of buildings should be recessed from ground level wall surfaces, (including the front façade) incorporated within roof spaces where possible and minimised in height.	Y
12. In the GRZ1, upper levels should be positioned towards the street frontage and recessed from the lower level wall surfaces. Buildings located opposite or adjacent to	N/A

land in the GRZ2 or NRZ3 should provide a transition in building height and massing.	
13. Buildings at the rear of a site should be designed to follow the topography of the land and respond sensitively to each interface. Second storeys (where appropriate) should be modest in size, have generous side and rear setbacks and be screened with vegetation.	Yes
14. Developments should minimise the need for cut and fill throughout the site.	N/A
Discussion	
<p>The extensions continue the form, scale and character of the existing building, which includes sheer walls at the front of the site. The potential dominance of these areas as viewed from the street will be broken up through windows, balconies and changes to materials within the upper levels.</p> <p>The western elevation directly interfaces with the dwelling and associated secluded private open space at 99 Bond Street. The upper level on this side of the building has been recessed from the ground level along its full length, with the greatest setback (over 4m) at the rear of the site where it adjoins SPOS of the neighbouring dwelling. Treatment of this elevation reduce impacts on amenity include stepping of both the upper and lower levels, a mix of materials and the use of windows at both levels. In addition, landscaping is proposed along the full length of this boundary to provide an element of screening of the built form from this site.</p>	

Objective	Complies?
To ensure that household services are not a visually prominent feature.	Y
Design Response	
15. Solar panels should be located to minimise their visual impact. Air conditioning, rainwater tanks, bins and storage should be located and/or screened so they are not visually obtrusive in the streetscape.	Y
16. In the GRZ1, rooftop plant equipment should be screened and/or located to minimise their visual impact and integrate with the roof form.	N/A
Discussion	
<p>The plans show that services such as the solar panels, bins, rainwater tank and air conditioning units will be located in concealed locations on the roof or at the rear of the site.</p>	

Objective	Complies?
To minimise loss of front garden space, and the dominance of vehicle access, storage facilities and built form as viewed from the street	Variation
Design Response	
17. Locate carports and garages behind the line of the dwelling.	Y
18. Dedicated car parking spaces should not be provided between the front wall of a dwelling that faces the street, and the front property boundary. Landscaping such as large shrubs and trees in the front setback and garden beds along driveway edges should be provided to discourage car parking in this location	Variation
19. Encourage outcomes that consider the Banyule City Council Residential Vehicle Crossing Policy 2012.	Y
20. Driveways should include curves and bends that provide sufficient room for landscaping at varying heights.	Y
21. Driveways should be finished in muted tones that soften their appearance and blend with vegetation.	
Discussion	

The proposal includes the provision of one accessible parking space in front of the building. All other spaces are located behind the line of the building.

There are no formal parking spaces provided in this area, however it is understood that vehicles have previously informally parked in this location.

An accessible parking space is required in association with the use and there is no other practical option for this.

Options for the location of the parking space and its orientation have been considered to provide the least possible impact on the street scape. The space has been located as close to the building as possible. A setback of 6 metres from the street is maintained. In addition, a front garden on over 350m² of permeable space will be provided forward of the building.

The landscape concept plan submitted with the application includes a large tree (Lemon Scented Gum) in the front garden adjacent to the parking space, as well as other tree planting and landscaping of varying heights

Objective	Complies?
To maintain and strengthen the view of established front gardens, and tree lined streets and to reflect the predominant era of the dwellings.	Y
Design Response	
22. Front gardens should contain at least one (1) large tree and understorey landscaping that includes large shrubs	Y
23. Front fences should be permeable.	Y
24. Secluded private open space should be located behind the line of a dwelling that faces the street.	N/A
Discussion	
<p>The existing wire front fencing is proposed to be retained.</p> <p>While the proposal will result in the loss of two large trees in the front garden (Trees #5 and 6), Trees #7 and 8 (also located directly in front of the building) will be retained. Tree #7 is a 20m high large tree, Tree #8 is a medium tree.</p> <p>A landscape concept plan has been submitted which indicates one additional large tree is proposed in this area, along with ground covers, shrubs and small trees. The front setback includes approximately 260m² of plantable space (excluding permeable paths and parking space).</p>	

Objective	Complies?
To maintain and strengthen the garden dominated streetscape character and landscaped setting of the precinct	Y
Design Response	
25. Retain existing trees wherever possible. If this cannot be achieved, or a tree is considered appropriate for removal, the site should provide adequate space for offset planting of exotic or native trees as appropriate that will grow to a mature height similar to the mature height of the tree to be removed	Y
26. One (1) medium to large tree should be provided for every 400 sq.m of site area, with a preference for large trees. This may include existing trees that are worthy of retention. At least one of the large trees should be provided in the front setback.	Y

27. Buildings (including basements) should be a sufficient distance from at least one side or rear property boundary to enable the planting and growth of medium to large trees. These setbacks should provide sufficient area for future growth of the mature canopy of trees, and understorey planting.	Y
28. If more than one dwelling is proposed on a site within the GRZ2 or NRZ3, sufficient separation should be provided between each dwelling to allow for the planting and future growth of small to medium trees and understorey vegetation.	N/A
29. Tree species and planting locations should be carefully selected to avoid canopy or root conflicts with overhead wires, easements and existing trees.	Y
30. Building site coverage should not exceed 40% in order to provide sufficient site area for planting, growth and retention of vegetation. This may be varied if the proposal is in the GRZ1 and demonstrates that the vegetated character of the site and precinct is protected and enhanced by retaining existing vegetation and providing sufficient area for the planting of additional trees and other vegetation.	Y
31. If there is no street tree within the frontage of a dwelling, a new street tree should be proposed.	N/A
Discussion	
<p>The development area is a smaller site (1336m²) within a larger site of over 6000m². While it is proposed that the building will be fenced from the remainder of the site, it will remain in one ownership and therefore the south and east boundaries will not formally exist.</p> <p>Existing large trees have been retained where practical (see discussion above). The development site will accommodate one large and one medium existing tree, with an additional one large and three medium trees proposed. This meets the planting ratio of 1:400m² as required.</p> <p>The ground floor setback to the west boundary ranges between 1.8 metres and 2.9 metres. The landscape plan indicates that planting along this boundary will comprise 6 x <i>Elaeocarpus reticulatus</i> (Blueberry Ash) and 8 x <i>Archontophoenix cunninghamiana</i> (Bungalow Palm). These species are small trees with a mature height of approximately 7 metres. Council's Landscape Consultant has not raised any concerns in relation to the space available to accommodate these species along this boundary, although he has recommended that the Bungalow Palm's be replaced with a better screening species. This requirement will form a condition of the permit.</p> <p>Building site coverage of the development site is 49.5%, however as part of the wider site a large percentage of open space is maintained.</p>	

Objective	Complies?
To ensure that developments on or near ridgelines retain existing trees, sit below the tree canopies, minimise excavation, and enable further tree planting to form a continuous canopy, so that the scenic quality is maintained and enhanced	N/A
Design Response	
32. New buildings at or near ridgelines should be designed and sited so that cut and fill is minimised and the building sits below the height of trees along the ridgeline.	
33. New buildings at or near ridgelines should have muted colours and tones, and non-reflective materials.	
34. Trees and vegetation that contribute to the landscape should be retained. New native or indigenous trees should be planted on or near the ridgeline to form a continuous canopy.	
Discussion	
N/A	

ASSESSMENT AGAINST CLAUSE 55

APPLICATION NO.: P1596/2020
DEVELOPMENT ADDRESS: 93 Bond Street IVANHOE, 95 Bond Street IVANHOE, 97 Bond Street IVANHOE, 89 Bond Street IVANHOE, 91-93 Bond Street IVANHOE
PROPOSAL: Development and use of the land for community care accommodation and associated vegetation removal

Clause 55.02 (Neighbourhood Character and Infrastructure)	
<p>Neighbourhood Character objectives</p> <ul style="list-style-type: none"> To ensure that the design respects the existing neighbourhood character or contributes to a preferred neighbourhood character. To ensure that development responds to the features of the site and the surrounding area <p style="text-align: right;">Standard B1</p>	<p>Complies</p> <p>Refer to Assessment of Neighbourhood Character.</p>
<p>Residential policy objectives</p> <ul style="list-style-type: none"> To ensure that residential development is provided in accordance with any policy for housing in the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies. To support medium densities in areas where development can take advantage of public transport and community infrastructure and services. <p style="text-align: right;">Standard B2</p>	<p>Complies</p> <p>Use for community care accommodation is encouraged by Clause 16.01-4S</p>
<p>Dwelling diversity objective</p> <ul style="list-style-type: none"> To encourage a range of dwelling sizes and types in developments of ten or more dwellings. <p style="text-align: right;">Standard B3</p>	<p>N/A</p>
<p>Infrastructure objectives</p> <ul style="list-style-type: none"> To ensure development is provided with appropriate utility services and infrastructure. To ensure development does not unreasonably overload the capacity of utility services and infrastructure. <p style="text-align: right;">Standard B4</p>	<p>Complies</p> <p>The existing building is connected to all services.</p>
<p>Integration with the street objective</p> <ul style="list-style-type: none"> To integrate the layout of development with the street. <p style="text-align: right;">Standard B5</p>	<p>Complies</p> <p>The development faces Bond Street and will utilise the existing vehicle and pedestrian entries. The existing permeable front fencing will be retained.</p>

Clause 55.03 (Site Layout and Building Massing)	
<p>Street setback objective</p> <ul style="list-style-type: none"> To ensure that the setbacks of buildings from a street respect the existing or preferred neighbourhood character and make efficient use of the site. <p style="text-align: right;">Standard B6</p>	<p>Complies</p> <p>A setback of more than 9m is proposed.</p>
<p>Building height objective</p>	<p>Complies</p>

<ul style="list-style-type: none"> To ensure that the height of buildings respects the existing or preferred neighbourhood character. <p style="text-align: right;">Standard B7</p>	Maximum height of 7.5m.
<p>Site coverage objective</p> <ul style="list-style-type: none"> To ensure that the site coverage respects the existing or preferred neighbourhood character and responds to the features of the site. <p style="text-align: right;">Standard B8</p>	<p>Complies</p> <p>Total site coverage does not exceed 40%</p>
<p>Permeability and stormwater management objectives</p> <ul style="list-style-type: none"> To reduce the impact of increased stormwater run-off on the drainage system. To facilitate on-site stormwater infiltration. To encourage stormwater management that maximises the retention and reuse of water. <p style="text-align: right;">Standard B9</p>	<p>Conditions Required</p> <p>Permeable areas within the development site exceed 35%. A STORM report will be required to be submitted as part of the SMP to ensure these requirements are met.</p>
<p>Energy efficiency objectives</p> <ul style="list-style-type: none"> To achieve and protect energy efficient dwellings and residential buildings. To ensure the orientation and layout of development reduce fossil fuel energy use and make appropriate use of daylight and solar energy. <p style="text-align: right;">Standard B10</p>	<p>Complies</p> <p>The existing building which is oriented to north will be retained and extended. Only one of the apartments is entirely south facing. There is no impact on solar energy systems of adjoining dwellings.</p>
<p>Open space objective</p> <ul style="list-style-type: none"> To integrate the layout of development with any public and communal open space provided in or adjacent to the development. <p style="text-align: right;">Standard B11</p>	<p>Complies</p> <p>Communal open space is provided on both sides of the development, easily accessible from the building.</p>
<p>Safety objective</p> <ul style="list-style-type: none"> To ensure the layout of development provides for the safety and security of residents and property. <p style="text-align: right;">Standard B12</p>	<p>Complies</p> <p>The main entrance to the building is easily visible from the street and with a clear path directly from the street. The plans indicate that this will be lit with bollards, along with other lighting around the exterior of the building.</p>
<p>Landscaping objectives</p> <ul style="list-style-type: none"> To encourage development that respects the landscape character of the neighbourhood. To encourage development that maintains and enhances habitat for plants and animals in locations of habitat importance. To provide appropriate landscaping. To encourage the retention of mature vegetation on the site. <p style="text-align: right;">Standard B13</p>	<p>Conditions required</p> <p>A landscaping plan has been submitted, which is considered appropriate, subject to conditions.</p>
<p>Access objectives</p> <ul style="list-style-type: none"> To ensure the number and design of vehicle crossovers respects the neighbourhood character. <p style="text-align: right;">Standard B14</p>	<p>Complies</p> <p>Existing access to be retained.</p>
<p>Parking location objectives</p> <ul style="list-style-type: none"> To provide convenient parking for resident and visitor vehicles. To protect residents from vehicular noise within developments. <p style="text-align: right;">Standard B15</p>	<p>Complies</p> <p>All vehicle parking spaces are well separated from habitable room windows in adjoining dwellings and located near the building. A gate is proposed in the fence at the rear to enable easy access for staff using the rear parking spaces.</p>

Clause 55.04 (Amenity Impacts)

<p>Side and rear setbacks objective</p> <ul style="list-style-type: none"> To ensure that the height and setback of a building from a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings. <p style="text-align: right;">Standard B17</p>	<p>Complies</p> <p>The elevation plans demonstrate that this requirement is met.</p>
<p>Walls on boundaries objective</p> <ul style="list-style-type: none"> To ensure that the location, length and height of a wall on a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings. <p style="text-align: right;">Standard B18</p>	<p>N/A</p> <p>No walls on boundaries are proposed.</p>
<p>Daylight to existing windows objective</p> <ul style="list-style-type: none"> To allow adequate daylight into existing habitable room windows. <p style="text-align: right;">Standard B19</p>	<p>Complies</p> <p>The development is sufficiently set back from all existing habitable room windows.</p>
<p>North-facing windows objective</p> <ul style="list-style-type: none"> To allow adequate solar access to existing north-facing habitable room windows. <p style="text-align: right;">Standard B20</p>	<p>N/A</p>
<p>Overshadowing open space objective</p> <ul style="list-style-type: none"> To ensure buildings do not significantly overshadow existing secluded private open space. <p style="text-align: right;">Standard B21</p>	<p>Complies</p> <p>The shadow plans demonstrate that the development will cast shadow on a small part of the adjoining site to the west at 9am and 10am. The SPOS of this site is approximately 200m² and the area completely unaffected by shadow is easily in accordance with the standard.</p>
<p>Overlooking objective</p> <ul style="list-style-type: none"> To limit views into existing secluded private open space and habitable room windows. <p style="text-align: right;">Standard B22</p>	<p>Complies</p> <p>All windows to the west elevation will be treated with obscured glass to a height of 1.7m to avoid overlooking of the site to the west. The windows and balconies on the south elevation have been positioned to avoid overlooking of any residential sites.</p>
<p>Internal views objective</p> <ul style="list-style-type: none"> To limit views into the secluded private open space and habitable room windows of dwellings and residential buildings within a development. <p style="text-align: right;">Standard B23</p>	<p>N/A</p>
<p>Noise impacts objectives</p> <ul style="list-style-type: none"> To contain noise sources in developments that may affect existing dwellings. To protect residents from external noise. <p style="text-align: right;">Standard B24</p>	<p>Complies</p> <p>Air conditioning units are located on the roof of the rear part of the building and separated over 7m from the closest residential boundary. These will be enclosed by a 1200 high screen which could be acoustically treated to further reduce noise impacts.</p>

Clause 55.05 (On-site Amenity and Facilities)

<p>Accessibility objective</p> <ul style="list-style-type: none"> To encourage the consideration of the needs of people with limited mobility in the design of developments. <p style="text-align: right;">Standard B25</p>	<p>Complies</p> <p>The development will include units which are specifically designed to cater for people with limited mobility. The accessible parking space is located close to the entrance, with a clear path via ramp to the entry door. A lift is included to provide access between floors.</p>
<p>Dwelling entry objective</p>	<p>Complies</p>

<ul style="list-style-type: none"> To provide each dwelling or residential building with its own sense of identity. <p style="text-align: right;">Standard B26</p>	The main pedestrian entry is provided at the front of the building.
<p>Daylight to new windows objective</p> <ul style="list-style-type: none"> To allow adequate daylight into new habitable room windows. <p style="text-align: right;">Standard B27</p>	<p>Conditions Required</p> <p>All habitable rooms include windows to the outside of the building, except for Bedroom 2 for Apartment 7. It is considered that the bedroom/bathroom space in this apartment could be reconfigured to provide a source of natural daylight for the bedroom area.</p>
<p>Private open space objective</p> <ul style="list-style-type: none"> To provide adequate private open space for the reasonable recreation and service needs of residents. <p style="text-align: right;">Standard B28</p>	<p>Complies</p> <p>The development includes a mix of private and communal outdoor spaces to provide for the reasonably amenity needs of residents.</p>
<p>Solar access to open space objective</p> <ul style="list-style-type: none"> To allow solar access into the secluded private open space of new dwellings and residential buildings. <p style="text-align: right;">Standard B29</p>	<p>Variation to Standard</p> <p>Most apartments are provided with a small private balcony. These are located on the south side of the building for some of the apartments at the rear and would not comply with this standard.</p> <p>Given the type of accommodation proposal, the need to use the building in an efficient way and the provision of communal space on the north side of the building, these variations are considered acceptable.</p>
<p>Storage objective</p> <ul style="list-style-type: none"> To provide adequate storage facilities for each dwelling. <p style="text-align: right;">Standard B30</p>	N/A

Clause 55.06 (Detailed Design)

<p>Design detail objective</p> <ul style="list-style-type: none"> To encourage design detail that respects the existing or preferred neighbourhood character. <p style="text-align: right;">Standard B31</p>	<p>Complies</p> <p>As discussed in the assessment against Clause 22.02, the design is considered appropriate, having regard to the character of the existing building.</p>
<p>Front fences objective</p> <ul style="list-style-type: none"> To encourage front fence design that respects the existing or preferred neighbourhood character. <p style="text-align: right;">Standard B32</p>	<p>Complies</p> <p>The existing front fence will be retained.</p>
<p>Common property objectives</p> <ul style="list-style-type: none"> To ensure that communal open space, car parking, access areas and site facilities are practical, attractive and easily maintained. To avoid future management difficulties in areas of common ownership. <p style="text-align: right;">Standard B33</p>	<p>Complies</p>
<p>Site services objectives</p> <ul style="list-style-type: none"> To ensure that site services can be installed and easily maintained. To ensure that site facilities are accessible, adequate and attractive. <p style="text-align: right;">Standard B34</p>	<p>Complies</p> <p>The location of services have been indicated on the plans and these are considered acceptable.</p>

Quarterly Financial Management Report – September 2021

CM9 : D21/247407

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1 Executive Overview

1.1 Introduction and overview

- The Quarterly Financial Report for September 2021 has been prepared in accordance with Australian Accounting Standards.
- This quarterly report is designed to identify and report on major variances against the adopted Annual Budget 2021/22 at an organisational level.
- The 30 September 2021 monthly Financial Management report comprises a review of the current performance against year to date budget, full year budget and full year forecast, and other key financial information.

1.2 Key financial highlights and overview

	YTD Actual \$000	YTD Budget \$000	YTD Variance \$000	Forecast \$000	Annual Budget \$000	Annual Variance \$000
Total income	120,926	125,016	(4,090)	172,034	173,281	(1,247)
Total expense	37,688	38,446	758	162,060	158,700	(3,361)
Operating Surplus for the year	83,238	86,570	(3,332)	9,974	14,581	(4,608)
Adj. Underlying Deficit for the year	81,999	83,106	(1,107)	(8,442)	(1,185)	(7,258)
Total capital works expenditure	5,899	12,332	6,434	73,302	66,745	(6,557)

- The September forecast is projected to be a \$9.974m surplus compared to the adopted budget surplus of \$14.581m (\$4.608m unfavourable movement). The 2020/21 underlying operating deficit is forecast to be \$8.422m compared to a budgeted underlying deficit result of \$1.185m
- As of 30 September a total of \$5.899m has been spent on capital works. The Capital works expenditure is forecast to be \$73.302m (the adopted capital budget is \$66.745m).

Financial Sustainability – the VAGO indicators

September 2021	Net Results	Adjusted Underlying Results	Liquidity	Internal Financing	Indebtedness	Capital Replacement	Renewal Gap
Forecast	5.34%	(5.44%)	1.99	59.96%	16.30%	3.35	3.12

- The 'red' Adjusted Underlying Results will be managed through continuing to maintain the operational returns and maximising revenue from commercial activities and property sales over the next few years. In a normal year, Council aims for 5% or greater against the ratio.
- The 'red' Internal Financing for 2021/22 measures Banyule's ability to finance capital works using cash generated by operating cash flows. The Capital works expenditure that is forecast to be funded from operating cash flow is 59.96% for 2021/22 (75% or greater is financially sustainable).

2 Financial Performance

2.1 Income Statement

As of 30 September 2021, the year to date variance is \$3.332m unfavourable against the year to date budget, and September forecast is projected to be a \$9.974m surplus compared to the adopted budget surplus of \$14.581m (\$4.608m unfavourable movement).

Material variances are explained – variances greater than \$0.500m is considered material for the financial year 2021/2022.

Table 1 – Income Statement

	YTD Actual \$000	YTD Budget \$000	YTD Variance \$000	Forecast \$000	Annual Budget \$000	Annual Variance \$000	Notes
Income							
Rates and charges	108,488	108,208	280	109,018	108,768	250	
Grants - Operating	2,968	2,854	114	12,743	11,976	767	1
Grants - Capital	674	2,375	(1,701)	15,621	12,887	2,734	2
Statutory fees and fines	1,510	2,186	(676)	8,929	10,295	(1,366)	3
User fees and charges	5,442	7,033	(1,591)	16,699	20,346	(3,647)	4
Contributions income	700	1,325	(625)	4,994	5,111	(117)	5
Interest income	97	118	(21)	389	471	(82)	
Rental income	737	642	95	2,548	2,566	(18)	
Net gain/(loss) on disposal of	13	67	(54)	266	266	0	
Other income	297	208	89	827	595	232	
Total income	120,926	125,016	(4,090)	172,034	173,281	(1,247)	
Expenses							
Employee costs	16,525	16,739	214	70,008	71,130	1,122	6
Materials and services	10,478	11,383	905	49,883	46,185	(3,698)	7
Utility charges	1,035	1,108	73	4,369	4,489	119	
Depreciation	5,620	5,620	0	22,479	22,479	0	
Amortisation – intangible asset	73	73	0	292	292	0	
Amortisation – right of use assets	132	199	67	551	551	0	
Borrowing costs	557	562	5	1,905	1,905	0	
Finance cost - leases	10	7	(3)	24	24	0	
Donations expenditure	153	260	107	1,503	1,434	(69)	
Contribution expense	1,764	1,835	71	7,613	7,189	(424)	
Other expenses	1,341	660	(681)	3,433	3,022	(411)	8
Total expenses	37,688	38,446	758	162,060	158,700	(3,361)	
Surplus/ (Deficit) for the year	83,238	86,570	(3,332)	9,974	14,581	(4,608)	
Grants – Non-recurrent Capital	543	2,250	(1,707)	13,551	10,859	2,692	9
Capital Contributions – Other	696	1,214	(518)	4,865	4,907	(42)	
Adj. Underlying Surplus	81,999	83,106	(1,107)	(8,442)	(1,185)	(7,258)	

2.1.1 Notes to the income statement

The significant contributions to the variance are:

1. **Grants – Operating:** forecast variance \$0.767m favourable to budget mainly due to realised unearned grant from 2020/21 (\$0.530m) to comply with the accounting standard (AASB1058), and additional funding received for Home Modification program.
2. **Grants – Capital:** is \$1.701m unfavourable to the YTD budget, and \$2.734m favourable to the Annual budget.
 - YTD Variance is mainly driven by the timing of capital project funding for Shared Path Program for Darebin Trail, Footpath replacement program, and Greensborough Preschool Expansion & Improvement, yet to be received or partially received. These grants are forecasted to be received within the financial year, with nil impact on the forecast variance
 - The forecast variance is derived from the capital grants carried forward from 2020/21, \$2.671m in total. The significant funding includes Waterdale road pocket parks & shared zone \$0.615m, and the Bellfield Community Centre development \$1.492m
3. **Statutory fees and fines:** is unfavourable \$0.676m to YTD budget and \$1.366m to Annual budget respectively.
 - Parking infringement fees - enforcement activities were reduced due to COVID-19 lockdown, directly resulting in the loss of parking fees, unfavourable YTD variance of \$0.372m and a forecast variance of \$0.936m.
 - Building permits fees have been \$0.175m lower than expected in the first quarter. A reduced resourcing availability of building permit inspectors has resulting in less market penetration. It is expected that greater capacity in the current quarter will result in an improved position for the remainder of the financial year.
 - Domestic Animal and Local Laws fines are \$0.099m less than TYD budget with enforcement activities paused for two weeks in July-August 2021 whilst key staff were required to quarantine. In addition, the current business focus is on education for compliance rather than enforcement.
4. **User fees and charges:** is unfavourable \$1.591m to YTD budget and \$3.647m to Annual budget respectively.
 - The closure of Council's leisure and function centres have resulted in minimal income since the COVID-19 lockdowns from 15 July 2021 to November 2021 (lockdown 5 & 6). The September forecast for the Ivanhoe Aquatic Centre has been calculated based on achieving 10% of the fees in November, 50% from December to March and 70% in the last quarter. In addition, the Netball Stadium is expected to operate as usual from January 2022.
 - The transfer station has also experienced a reduction in demand on commercial activities due to COVID-19 restrictions, resulting in an unfavourable YTD variance of \$0.285m and a forecast variance of \$0.423m.
 - The Olympic Leisure Centre is expected to remain closed until the last quarter of the year due to the significant emergency works to be undertaken for the building. This closure resulted in a reduction in fee revenue as well as labour cost (refer Note 6). The net operating outcome is estimated to be \$0.352m of savings for Council (excludes the rectification works).

5. **Contributions income:** is unfavourable \$0.625m to YTD budget with the COVID-19 restrictions temporarily delaying works in the construction sector resulting also in a delay in invoicing and receipt of Public Open Space contributions. As works continue it is expected the delays will have minimal impact on the full year forecast.

6. **Employee costs:** the YTD variance \$0.214m favourable to budget as a result of:

- Vacant positions: With the COVID-19 restrictions changing during the year all vacant positions are reviewed to achieve the best practicable operational outcomes. Some vacant positions have been backfilled through the use of agency staff as appropriate. The additional agency cost (refer Note 7) trends above budget and is offset through a corresponding reduction in employee costs during the year.
- COVID-19 has required extensive additional plans, assessments and implementation of revised practices.
- Where feasible staff have been relocated from those area experiencing restricted service provision. Management has worked closely with impacted staff on providing redeployment opportunities, helping people stay connected and working in different types of roles across Banyule.

The operating forecast variance is mainly driven by:

- The closure of the Leisure Centres as a result of the unpredicted and extended COVID-19 lockdown from 15 July 2021 to November 2021 (\$1.302m) and the Olympic Leisure Centre due to significant emergency works to the structure of the building (\$0.450m)
 - The total savings from vacant positions and staff turnover, except for leisure Centres are forecasted to be \$1.193m (budgeted \$0.750m in 2021/22). Some vacant positions are being backfilled using agency staff. The vacant EFT saving expected is currently being fully offset through a corresponding additional agency cost (\$0.945m) forecast during the year. The higher than anticipated agency usage and the savings in employee costs will be analysed further and reported in the December 2021 report.
 - The COVID impact on employment cost has been offset by:
 - Unexpended grants (\$0.506m) mainly for Maternal & Child Health.
 - The budget for Food and Garden Organics Kerbside was budgeted for in Capital Works. The costs have been determined to be operating costs or initiatives, and will cannot be capitalized. The amount of \$0.300m has been identified to date for transfer from the Capital Budget to Operating/Initiatives Budget. An unfavourable variance.
 - After considering Home care staff individual circumstances a redundancy payment (\$0.104m) incurred in late July instead of June 2021.
 - \$0.190m of unbudgeted Workcover cost (majority of this cost is offset through income reimbursements).
7. **Materials and services:** year to date is \$0.905m favourable to budget mainly due to the impact from the COVID-19 lockdowns 5 & 6, where deliveries and services were postponed and or rescheduled. The full-year forecast is \$3.698m unfavourable to budget due to the use of agency, \$0.944m (above budget), unexpected provision of waste contamination charges of \$0.500m, expensed capital works cost, \$0.755m (originally capitalised), and last year initiatives and unspent grant carry-forward projects, \$1.726m in total.

Variance Table - 30 September 2021:

Banyule City Council	YTD Actual	YTD Budget	YTD Variance	Forecast	Annual Budget	Annual Variance
	\$000	\$000	\$000	\$000	\$000	\$000
Agency	1,242	274	(968)	2,072	1,127	(944)
Consultancy	176	351	175	1,404	1,322	(82)
Contractor	2,908	3,456	548	14,492	13,933	(559)
Initiatives	407	783	376	4,735	3,624	(1,112)
Other Materials and services	5,745	6,519	775	27,180	26,179	(1,001)
Total*	10,478	11,383	906	49,883	46,185	(3,698)

*rounding

- Agency cost YTD variance is \$0.968m unfavourable, marginally offset by Workcover reimbursements, savings from employee benefits and cost capitalisation are yet to be posted for the first quarter. Agency is used to cover short term vacancies in staff and additional workload, and the employee costs forecast has reflected these permanent savings.
- Initiative expenditures are tracking favourable against the YTD budget. The timing of initiative projects utilising service providers and contractors are not always known when setting the budget. The forecast is \$1.112m higher than the Annual Budget mainly due to the last year's carry-forward initiative projects, \$1.040m, and \$0.161m YMCA Macleod running costs related to the Economic Support Package which is budgeted under Other Expenses.
- The YTD variance of Contractor and Other Materials & Services are mainly caused by COVID lockdown through significant changes to the service provision of most outdoor services such as Parks & Gardens, Graffiti Removal and Fleet Operations. Contractor cost at Leisure Centres, Community Program cost and training cost across the Council were also significantly impacted (refer section 2.4). The forecast has been updated to reflect unspent grant carry forwards and an increase in service demand for routine tree maintenance.
- The forecast variance of Contractor (\$0.559m) and Other Materials & Services (\$1.001m) is attributed to:
 - The provision of waste contamination charges (\$0.500m). Council's green waste contract stipulates a contractual limit of 3% contamination. In 2021 this limit was exceeded (understood to be the result of residents in COVID-19 lockdowns - spending more time at home and the dispersal of their green and general waste incorrectly). Exceeding the contamination limit has resulted in a higher price per tonne being charged. It is estimated to be additional \$0.500m cost to Council.
 - The Food Organics & Garden Organics (FOGO) Kerbside Collection project - approximately \$0.755m of the FOGO project cost has been reclassified to this expense category from Capital, after assessment of the detailed the project plan. Another \$0.300m from the project has been forecast to employee cost (non-capitalised).
 - \$0.316m of unexpended grants carried forward from last financial year.

8. **Other expenses:** is \$0.681m unfavourable to YTD budget and \$0.411 to forecast, to fund the instalments 1 and 2 of the business components of the Special Rate and Charges Schemes across the Trader Associations covering the year 2021/22 as part of the Economic Support Package reallocation
9. **Grants - Non-recurrent Capital:** is \$1.707m unfavourable to the YTD budget due to the timing of capital project funding. And the \$2.692m forecast favourable variance is mainly driven from Capital grants carried forward from 2020/21. Refer to Note 2

2.2 Financial Sustainability

The current assessment of the Financial Sustainability of the Organisation is measured against the VAGO indicators.

September 2021	Net Results	Adjusted Underlying Results	Liquidity	Internal Financing	Indebtedness	Capital Replacement	Renewal Gap
Forecast	5.34%	(5.44%)	1.99	59.96%	16.30%	3.35	3.12

- The adjusted underlying result measures an entities ability to generate surpluses in the ordinary course of business. It is calculated as **(Adjusted underlying surplus or deficit) / (Adjusted underlying revenue)**. It specifically excludes non-recurrent capital grants, other contributions to capital expenditure (including Open Space Contributions) and non-monetary asset contributions (Banyule receives none).
 - The 'red' Adjusted Underlying Results (deficit) will be managed through continuing to maintain the operational returns and maximising revenue from commercial activities and property sales over the next few years.
 - Council budgeted for a deficit in both 2020/2021 and 2021/2022 to provide significant financial support to ratepayers, businesses and community via the COVID-19 Banyule Economic Support Package.
 - In a normal year, Council aims for 5% or greater against the ratio.
- The 'red' Internal Financing for 2021/22 measures Banyule's ability to finance capital works using the cash generated by operating cash flows.
 - The capital works expenditure that is forecast to be funded from operating cash flow is 59.96% for 2021/22 after approximately \$20-25m budgeted revenue from sale of properties now anticipated to be settled after the current financial year.
 - Internal Financing ratio of 75% or greater is considered financially sustainable.

2.3 Council Resolutions: impact on financial performance

The table below lists 2021/22 resolutions carried by Council as of 30 September 2021, which will impact the financial statements.

Resolution	Description	EFT	Impact on Forecast	\$'000
CO2021/136	Reduction in the 2021 Winter Seasonal Fees for sport clubs		User fees & charges	0.078
CO2021/159	Youth Spaces Plan		Materials	0.050
CO2021/164	Economic Support Package (ESP)		Various	1.727
CO2021/191	Christmas Day Gathering for Isolated/Underprivileged People		Materials	0.015
			Total Operating	1.870
CO2021/193	Bring Forward Olympic Leisure Centre – co design		Capital Expenditure	0.200
CO2021/151	Defer Macleod Park Pavilion to 2022/23		Capital Expenditure	(0.800)
			Total Capital Work Expenditure	(0.600)

2.4 COVID-19 – Impact on Forecast

- The COVID-19 unexpected lockdowns 5 & 6 (commenced on the 15 July 2021) have significantly impacted the economy, business, ratepayers and communities within Banyule.
- The September 2021 forecast is projected based on the assumption that the current lockdown affects various Council businesses until the end of the second quarter this year. This assumption will be assessed and reviewed each month.
- Due to COVID-19 current lockdowns a financial impact has been estimated for the financial year based on the current roadmap. Banyule businesses are likely to incur \$3.637m net unfavourable results (Income loss \$4.874m and expenditure savings \$1.237m).
- As of 30 September 2021, the key areas forecasted to be significantly impacted include:

Business units	Gross impact income favourable/ (unfavourable)	Gross impact expenditure favourable/ (unfavourable)	Net financial impact net saving / (net cost)
Leisure Centres-BLFM	(2,740,590)	1,515,479	(1,225,111)
Transport Engineering	(1,070,780)	80,000	(990,780)
Waste Management & Recycling	0	(500,000)	(500,000)
Transfer Station	(423,000)	50,000	(373,000)
Municipal Laws	(298,921)	0	(298,921)
Development Planning	(100,000)	0	(100,000)
Halls	(115,619)	22,420	(93,199)

- **Leisure and Aquatic Centres:** (Nets Stadium and Ivanhoe aquatic centres) have also been significantly impacted by the restrictions and closed from 15 July 2021 until approximately November 2021.
 - Reduced income (\$2.740m or 60% of the total budgeted aquatic and leisure centre fees and charges) has been forecasted for September 2021 based on the closure of the centres until the beginning of November 2021. The September forecast has been calculated based on casual fees and limited capacity to maintain social distancing. Projection is to achieve 10% of the budget fees in November, 50% from December to March and 70% in the last quarter. In addition, the Netball Stadium is expected to operate as usual from January 2022. Forecast will be updated as restrictions ease and the return of the memberships direct debits.
 - Expenditure savings are forecasted to be \$1.515m, mainly derived from labour savings during closure offset by employee's redeployments.
- **Transport Engineering:** has been heavily impacted by the COVID-19 lockdown by reducing the volume of parking fees and infringements.
 - Loss of Parking infringement revenue \$0.937m (25% of the total budgeted Parking Infringement). The forecast is based on the reduction of enforcement activities until November 2021 when the restrictions are eased and gradually recovering throughout 2022.
 - The parking fees are projected to reduce by \$0.134m (10% of the total budgeted Parking Meters fees) driven by a lower demand on parking facilities during COVID restrictions.
 - Savings on expenses is \$0.080m, the loss of income does not directly drive associated pro-rata expenditure savings as most of the contract expenditure is fixed.
- **Waste Management & Recycling:** a provision of \$0.500m contamination charges, refer to Note 7 in the Income Statement.
- **Transfer Station** is experiencing a reduction in demand on commercial activities due to lockdown 5 & 6 restrictions to business and resulting in a loss in Public Tipping income of \$0.423m (28% of total budgeted transfer station tipping fees). It is forecasted to have limited savings from reducing waste disposal due to the increase in kerbside collection from residents being at home due to COVID.
- **Municipal Laws:** statutory fees have been impacted (15% of the Municipal Laws income) by COVID-19 lockdown and the quarantine requirements in July, when the enforcement activities were paused for two weeks. In addition, the business focus has been on education for compliance rather than enforcement.

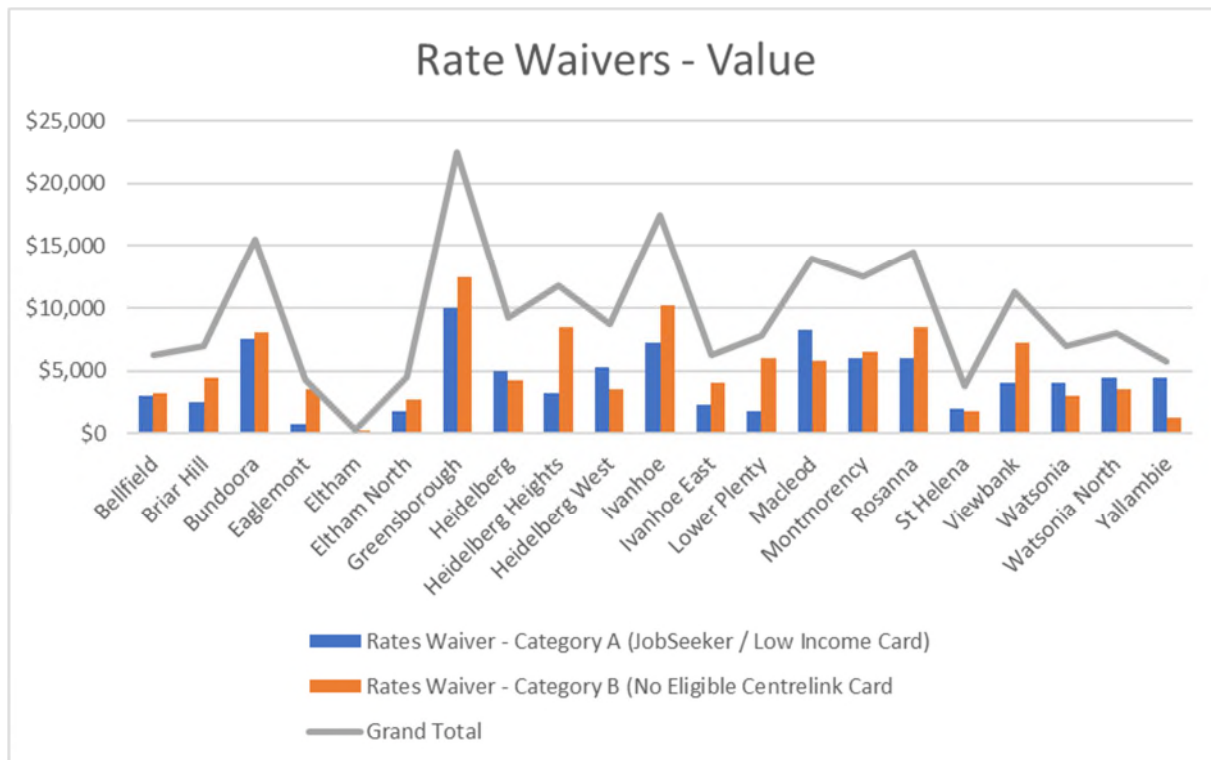
2.5 COVID -19 Economic Support Package (ESP)

- Council has explored additional options to provide appropriate and timely assistance to the community, ratepayers and local businesses in 2021/22 who may experience hardship associated with the adverse economic implications of COVID-19. At the meeting held on 30 August 2021, Council resolved the 2021/22 ESP to be increased to \$3.540m, which comprises:
 - the current 2021/22 \$1.500m Economic Support Package initiative to ratepayers, businesses, and community, as outlined in the Budget 2021-2025. At Council meeting 4 October 2021, Council resolved (CO2021/201) to allocate \$0.181m from the 1.500m ESP to support the business operation at Macleod Recreation and Fitness Centre – YMCA.
 - the \$0.314m operational budget funding in 2021/22 from carry over funding of the prior year's Economic Support Package, and
 - further funding to support the Banyule community and local business through expanding, extending and providing additional initiatives to the value of \$1.727m as below:

The additional support	Expenditure
Fund instalment 1 and 2 of the business components of the Special Rate and Charge Schemes across the 10 Trader Associations covering the year 2021/22 (excluding Rosanna)	599,508
Provide a 6-month rent waiver for highly impacted commercial properties where Council is the landlord	150,000
Provide rent relief to eligible tenants under the Victorian Government Commercial Tenancy Relief Scheme, by application	15,000
Business investment funding to continue to fast track permit applications	100,000
Fund Gift Cards and/or vouchers that support shopping local	58,000
Continue to deliver on the Rediscover Local strategy	100,000
Broaden COVID -19 Business Grants eligibility	-
Waive from 50% to 100% of the 2021 Winter season ground and pavilion hire fees (excluding utilities)	155,153
Increase the funding of the current Community Grants Program – major grants pool	50,000
Waive 100% the 2021/22 fees (excluding utilities) for leased clubs – bowls, croquet, tennis, scouts	13,000
Waive 6 months of rental fees for Shop 48	146,200
Fund our 7 Neighbourhood houses for service enhancement	70,000
Provide additional funding to support Greenhills Neighbourhood House to continue the food relief and sustainability programs	40,000
Fund the extension of the 'Chillin in Banyule' program for further a 9-months to provide for local musicians to be programmed into local businesses	10,000
Fund an Arts and Culture COVID Relief program to support our local creative sector	20,000
Support businesses that have been impacted to successfully re-open and reinvigorate once the COVID-19 restrictions ease.	200,000
Total	1,726,861

- As of 30 September, \$1.299m of the Economic Support Package has been funded including forgone income and expenses.
- Banyule through this package aims to achieve the best possible direct support to those in financial hardship within the municipality (Banyule’s ratepayers, communities and business owners).
- As at 13 October 2021, 619 rates waivers applications were granted equivalent to \$198,250:
 - Category A – JobSeeker/Low Income Card - 189 applications \$89,500
 - Category B – No Eligible Centrelink Card – 434 applications \$108,750

Rates waived by Suburb



3 Capital Works Expenditure

As at 30 September 2021 a total of \$5.899m has been spent on capital works. The Forecast for Capital works expenditure is forecast to be \$74.402m including \$9.284m of carry forward projects from the previous financial year. The adopted 2020/21 capital budget is \$66.745m

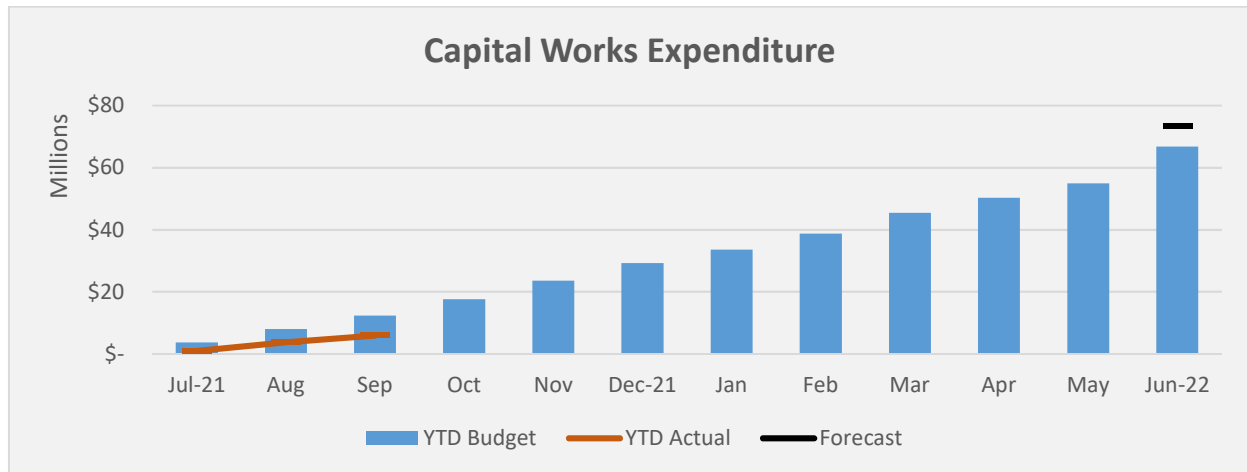


Table 2 – Statement of Capital Works

	YTD Actual \$000	YTD Budget \$000	YTD Variance \$000	Forecast \$000	Annual Budget \$000	Annual Variance \$000
Infrastructure						
Roads, streets and bridges	1,986	2,825	838	14,948	15,262	314
Drainage	222	0	(222)	1,941	1,514	(427)
Parks and gardens	713	1,527	814	11,446	9,999	(1,447)
Playgrounds	44	245	201	630	630	0
Total infrastructure	2,965	4,597	1,631	28,965	27,405	(1,560)
Property						
Freehold buildings	2,375	3,306	931	26,484	21,039	(5,445)
Total property	2,375	3,306	931	26,484	21,039	(5,445)
Plant and equipment						
Motor vehicles	151	1,480	1,329	5,990	5,952	(38)
Plant and equipment	359	1,627	1,269	5,981	7,034	1,053
Furniture and fittings	48	50	2	235	235	0
Total plant & equipment	558	3,157	2,600	12,206	13,221	1,015
Other assets						
Intangible assets	0	1,257	1,257	5,497	5,030	(467)
Art collection	1	15	15	150	50	(100)
Total capital works expenditure	5,899	12,332	6,434	73,302	66,745	(6,557)

4 Investment Activity

The current short-term term deposit interest rates held by Council are in the range of 0.39% to 0.75%. The current weighted average return, 0.44%, is expected to continue to decrease (November 2020 RBA cash rate decreased from 0.15% to 0.10%).

The budget against actual cash as depicted in the graph below results from a higher cash opening balance than budget projections as of 30 June 2021. Most of this variance comprises:

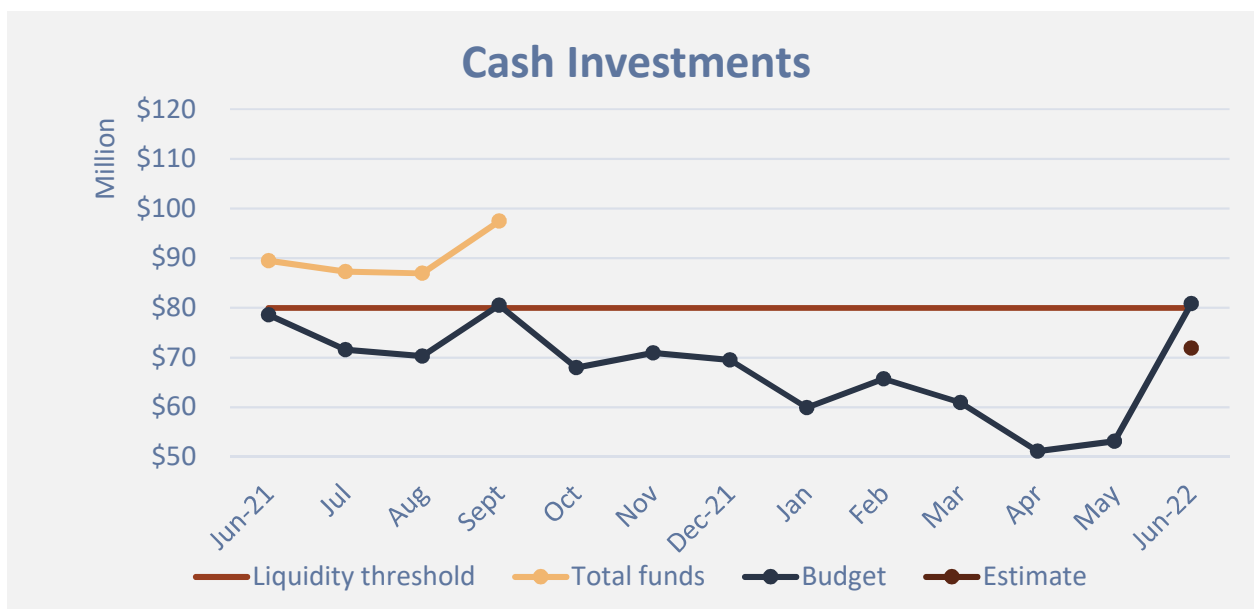
- Significant lower rate waiver applications than provisioned
- Capital Works expenditure tracking below the budgeted deliver date
- Unbudgeted Capital Works grants (unearned income assessment in progress)

The duration of the term deposits ranges between 8 to 12 months. Banyule City Council aims to spread maturities throughout the year to match cash outflows. Income from rates will supplement other inflows from which to pay staff salaries and supplier invoices during the year.

All cash investments are directly invested by Council in Australian financial institutions in accordance with our investment policy, using the Standard & Poor's (S&P) short term credit rating.

Rate instalment payment dates are in September, November, February & May. The usual trend of higher cash receipts in these months is depicted in the graph below. Council plans to pay off a loan in mid-October, which will offset cash receipts in November.

The estimated Cash balance at 30 June 2022 has been re-set to just above \$70m after a recent assessment of the status of all property projects. This re-set will see the forecast of approximately \$20m – \$25m of cash related to these property projects (budgeted to be received within the current financial year) postponed to a subsequent year.



Note: Liquidity threshold represents the liquidity position 2:1 to cover budgeted short-term liabilities for the year end 30 June 2022.

The portfolio diversification of investments is outlined in the chart below:

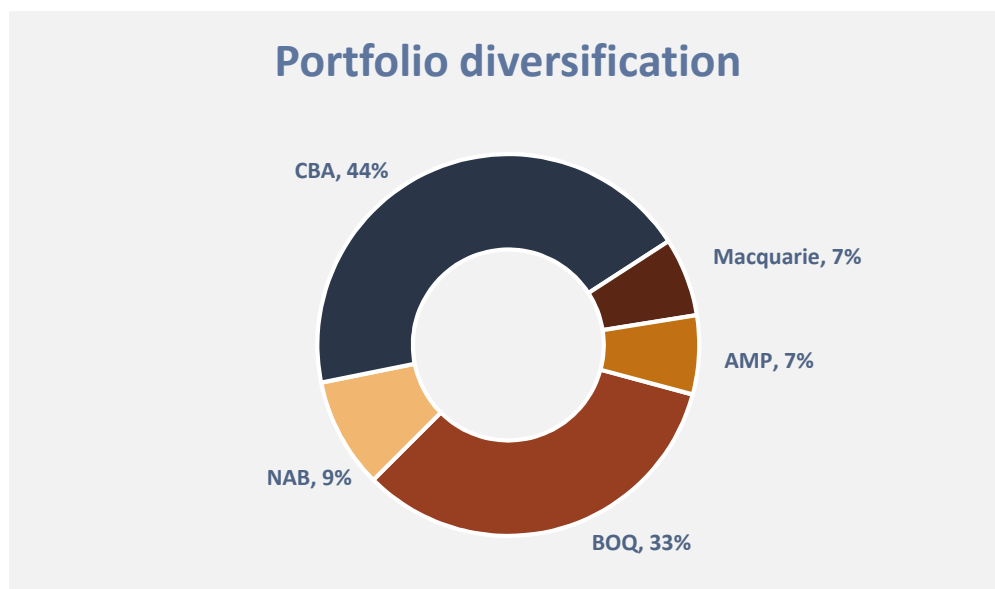


Table 3 – investment portfolio and financial institutions

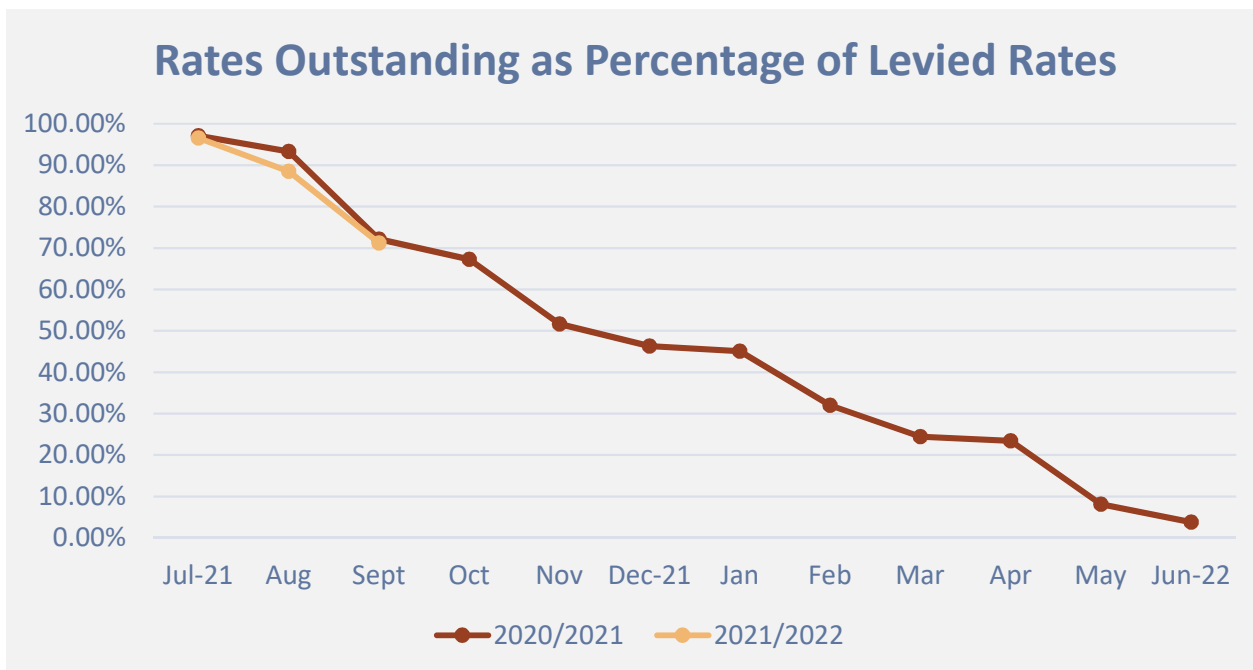
S&P rating	Banks	Investment portfolio	Maximum % holding in a single Financial Institution	Maximum % holding in a single credit rating level
A 1 +	CBA	44%	50%	
	NAB	9%	50%	
Total A1+		53%		100%
A 1	Macquarie	7%	50%	
Total A1		7%		100%
A 2	BOQ*	33%	30%	
	AMP	7%	30%	
Total A 2		40%		50%

***investment Policy Breach:** BOQ Term Deposits were locked-in for nine months when the total Term Deposit holding was above \$100m in 2020/2021. No new Term Deposits will be invested into BOQ. The earliest maturity date for BOQ is December 2021 where the holding in BOQ will revert back to below 30%.

5 Other Financial Information

5.1 Rates Outstanding

For the 2021/22 financial year Banyule City Council has levied in total \$110.268m in rates revenue (includes waste charges from the schedule of fees and charges and excludes the fire services property levy). The total outstanding balance as of 30 September 2021 is \$78.662m, 71.24% of the current year levied rate income.



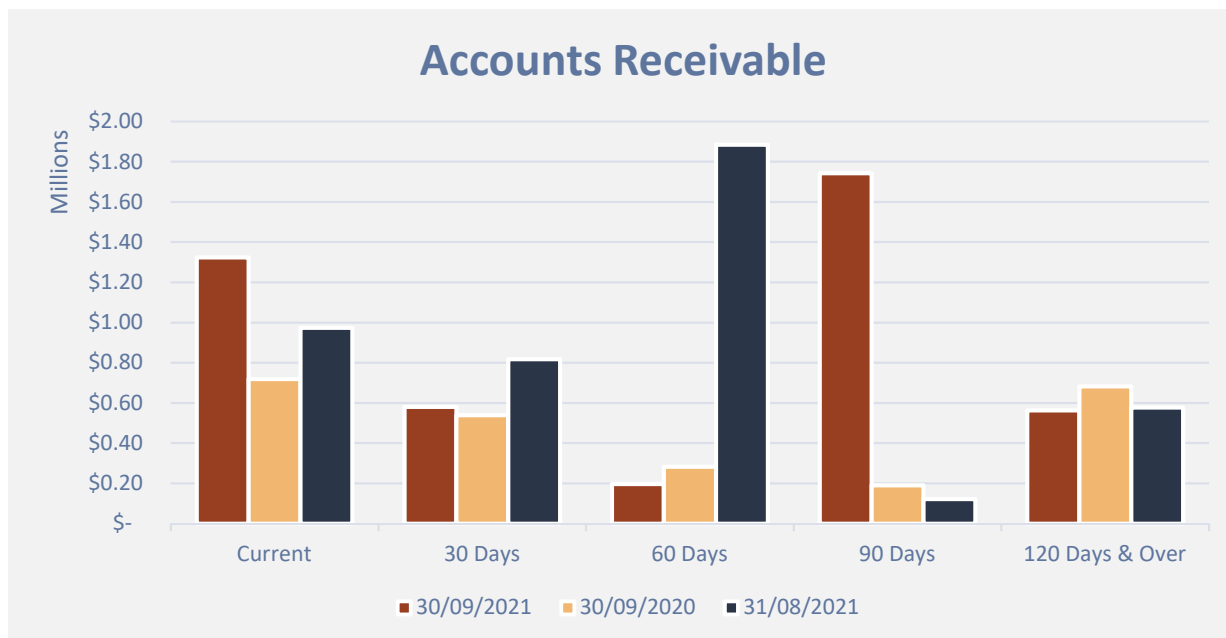
Council endorsed the waiver of a proportion of 2021/22 general rates due to COVID-19 financial hardship. Owner-occupiers of residential properties are eligible to a partial-waiver of either \$250 or \$500 for the 2021/22 rate year, depending on whether they hold an eligible Centrelink card. Eligibility for the \$500 waiver is restricted to those holding a JobSeeker or Low-Income category card through Centrelink. As of 13 October 2021, 619 applications for waivers have been granted year to date, 189 for JobSeekers or Low-Income category equivalent to \$89,500 and 434 for No eligible Centrelink card equal to \$108,750.

This financial year, rates notices were issued towards the end of July, which is almost a month earlier than last year when rates notices were sent in August after the budget adoption was delayed.

In the 2020/21 financial year, Department of Families, Fairness and Housing properties rates were paid in a lump sum early in the year. This was a deviation from the normal process, where rates are normally paid by instalments. It is uncertain whether payments will be made as a lump-sum payment this year or via instalments. This amount is approximately \$2m of rates income.

5.2 Accounts Receivable

The accounts receivable function of Council raises revenue and collects payments for Children's centres, Aged & Disability services, Health Department, Leisure bookings, Banyule BPI and sundry accounts. (This function does not include revenue for the Planning Department, Animal Registrations and Parking Infringements as these are currently decentralised).



As of 30 September 2021, the total outstanding debtors' balance was \$4.405m (August 2021: \$3.984m), the outstanding balance is mainly driven by:

- Current balance made of the quarterly fixed contribution invoice (\$0.510m) to WaterMarc service provider and invoice issued for the Working for Victoria Project Milestone #3 (\$0.266m)
- 90-days balance includes the fixed contribution invoice (\$1.602m) issued to the WaterMarc service provider as per the contract.

5.3 Other Financial Statements

Table 4 - Balance Sheet

	2021/22 30 September \$'000	2021/22 31 August \$'000
Assets		
Current assets		
Cash and cash equivalents *	22,473	8,960
Trade and other receivables	93,735	115,807
Other financial assets*	75,000	78,000
Inventories	48	48
Assets held for sale	12,657	12,657
Other assets	1,672	1,672
Total current assets	205,585	217,144
Non-current assets		
Trade and other receivables	200	200
Investments in associates and joint ventures	3,567	3,567
Property, infrastructure, plant and equipment	1,678,031	1,677,778
Right-of-use assets	1,074	1,074
Intangible assets	636	660
Investment Property	28,847	28,847
Total non-current assets	1,712,355	1,712,126
Total assets	1,917,940	1,929,270
Liabilities		
Current liabilities		
Trade and other payables	11,220	11,159
Provisions	12,887	12,988
Interest-bearing loans and borrowings	8,476	9,027
Trust funds and deposits	4,292	4,292
Lease Liabilities	474	474
Unearned Income	11,090	11,965
Total current liabilities	48,439	49,905
Non-current liabilities		
Provisions	1,163	1,163
Interest-bearing loans and borrowings	20,255	20,450
Trust funds and deposits	1,009	1,009
Lease Liabilities	560	560
Total non-current liabilities	22,987	23,182
Total liabilities	71,426	73,087
Net assets	1,846,514	1,856,183
Equity		
Accumulated surplus	609,734	619,403
Reserves	1,236,780	1,236,780
Total equity	1,846,514	1,856,183

* The balance of 'cash and cash equivalents' and 'other financial assets' is \$97.47m. In September, as planned, additional cash is set aside for paying off the loan in October.

Table 5 – Statement of Cash Flows

	2021/22 30 September \$'000	2021/22 31 August \$'000
	Inflows (Outflows)	Inflows (Outflows)
Cash flows from operating activities		
Receipts:		
Rates and charges	32,278	11,596
Grants - operating	2,968	2,216
Grants - capital	674	47
Statutory fees and fines	1,550	1,137
User fees and charges	5,458	3,778
Contributions - monetary	700	661
Interest received	167	165
Rental income	736	582
Other receipts	297	222
Payments:		
Employee costs	(21,978)	(16,521)
Materials and services	(12,995)	(9,124)
Utility charges	(1,035)	(627)
Other payments	(3,134)	(2,105)
Net cash provided by operating activities	5,686	(7,973)
Cash flows from investing activities		
Payments for property, infrastructure, plant and equipment	(5,899)	(3,767)
Proceeds from sale of property, plant and equipment	52	50
Net (purchases)/redemption of financial assets	8,000	5,000
Net cash (used in) investing activities	2,153	1,283
Cash flows from financing activities		
Borrowing costs - interest	(557)	(376)
Repayment of borrowings	(2,336)	(1,590)
Interest paid - lease liabilities	(10)	(4)
Repayment of lease liabilities	(125)	(42)
Net cash (used in) financing activities	(3,028)	(2,012)
Net increase/(decrease) in cash and cash equivalents	4,811	(8,702)
Cash and cash equivalents at the beginning of the financial year	17,662	17,662
Cash and cash equivalents at the end of the month	22,473	8,960



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