



## **Ordinary Meeting of Council**

***Olympia, Ibbott & Hawdon Rooms; Level 4, 1 Flintoff Street, Greensborough***

***15 June 2020***

### **ATTACHMENTS**

#### **3.2 Draft Reconciliation Action Plan - For Public Exhibition**

Attachment 1. Draft Banyule Reconciliation Action Plan (RAP) .....3

#### **5.10 2 Cavanagh Road, Lower Plenty - Proposed Tree Removal Associated with New Baseball Pavilion - P219/2020**

Attachment 1. Native Vegetation (Clause 52.17) Assessment .....51

Attachment 2. Advertised Documents.....53

Attachment 3. Advertised Plans.....137

#### **5.11 161 Grimshaw Street, Greensborough - Townhouse Development (Six dwellings) - P857/2019**

Attachment 1. Technical Consideration .....151

Attachment 2. Advertised Documents.....155

Attachment 3. Advertised Plans.....279

Attachment 4. Amended Plans Post Advertising.....293

#### **5.13 12-16 Mountain View Road, Montmorency and 1 Allens Road, Montmorency - Proposed Part Land Exchange**

Attachment 1. Land Exchange Survey Plan No 8342 .....307





## Reconciliation Action Plan

### *Mam-badool Djerring*

Let's Work Together (Woi-wurrung language)

**INNOVATE**

**July 2020 - 2022**

*Banyule City Council is proud to acknowledge the Wurundjeri Woi-wurrung people as traditional custodians of the land and we pay respect to all Aboriginal and Torres Strait Islander Elders, past, present and emerging, who have resided in the area and have been an integral part of the region's history.*



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### ARTWORK FOR BOOKLET COVER

#### Fire, Water, Land

Original artwork piece created by Judy Nicholson, Wurundjeri Woi-wurrung artist.

*"Before man mastered the fire, the diet consisted mainly of seeds, plants and fruits, but much of the plants could not be digested. By heat-treating them, more plants could be eaten, and new nutrients were available. The heat killed parasites and made it easier to digest meat. Something that led to a higher calorie and nutritional intake, which made it easier to survive and have more children."*

Judy Nicholson 2020



The short-finned eels and the Australian raven both feature in this picture and are recognised by the Wurundjeri Woi-wurrung as being historically significant animals to Banyule Flats.

The Australian Raven is known as Whaa and is the Wurundjeri Woi-wurrung people's moiety.

Banyule Flats was also an important area of annual eel spear fishing for the Wurundjeri Woi-wurrung People.

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## Acknowledgement of Traditional Owners

Banyule Council proudly acknowledges the **Wurundjeri Woi-wurrung** people as the Traditional Custodians of the land which Council operates on. We pay our respect to all Aboriginal and Torres Strait Islander Elders, past, present and emerging, who have resided in the area and have been an integral part of the region's history.

Council has a long tradition of working with the Wurundjeri Woi-wurrung people and our *Statement of Commitment to Indigenous Australians* (2009) and successive action plans support the progress we have made together.

Council meets with Wurundjeri Woi-wurrung Cultural Heritage Aboriginal Corporation four times per year. These consultation meetings provide an opportunity for Council and Wurundjeri Woi-wurrung consultative members to share and discuss Banyule Aboriginal community projects and developments.

## Message from Wurundjeri Woi-wurrung Cultural Heritage Aboriginal Corporation

*As the Traditional Owners of the area, the Wurundjeri/Woiwurrung people, we acknowledge that Banyule Council have consulted with us widely in producing this document and they have shown respect and understanding in regard to working with Traditional Owners and other Aboriginal and Torres Strait Islander people.*

*Wurundjeri Woi Wurrung Cultural Heritage Aboriginal Corporation are proud to be associated with like-minded people at Banyule Council who understand that we must accept and acknowledge the wrongs of the past, so we can all move forward together in the spirit of reconciliation.*

*Local governments are in a unique position, and they also have a responsibility to care for the Country and the people within their municipality in order to form a real community that is inclusive and respectful for all, but particularly to those who are the First Peoples of this Country.*

*We are pleased to have had some involvement in Banyule Council developing their first Innovate Reconciliation Action Plan, and we compliment the Councillors and Council staff involved in the production of it.*

Sincerely, Wurundjeri's consultation team Elders,  
**Aunty Gail Smith and Aunty Julieanne Axford**

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## Language statement

Throughout this document the term 'Aboriginal', 'First Nations' or 'First Nations peoples' is used to refer to all people of Aboriginal and Torres Strait Islander descent.

Council recognises the diversity of Aboriginal people living throughout the municipality and we respect the rights of all Aboriginal and Torres Strait Islander people to define themselves.

All references to Traditional Owners or Custodians in this document are in context with the Banyule municipality only and refer to Aboriginal people who are descendant of the Wurundjeri Woi-wurrung People.

## Banyule Statement of Commitment



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## Executive summary

Council's Reconciliation Action Plan (RAP) defines the shared approach Council will take with Aboriginal and Torres Strait Islander people to develop innovative strategies for advancing reconciliation in our workplace and across Banyule.

Our plan is developed in partnership with Aboriginal and Torres Strait Islander people to ensure Council decisions impacting their lives, extended families and communities, are decided upon through shared decision-making, fairness, respect and trust.

Our RAP serves to embed Council's commitment to reconciliation throughout our business and the municipality. It outlines the many ways we will work with Banyule Aboriginal and Torres Strait Islander communities to develop shared goals to tackle inequity issues, create meaningful pathways towards self-determination for Aboriginal people, and improve social and economic well-being, civic participation and respect for cultural heritage in Banyule.

Council's RAP follows two successive Aboriginal and Torres Strait Islander plans implemented by Council since 2014. Similarly, our RAP has been developed in accordance with Council's Inclusion, Access and Equity Framework (IAEF).

The IAEF serves an important function for directing the way Council tackles equity issues and promotes diversity across Banyule, the five goals of the IAEF include:

1. Ensure Council facilities, activities and services are accessible, inclusive and equitable.
2. Work in partnership with local services to increase inclusion and address service gaps.
3. Work in partnership to build the capacity of disadvantaged groups to be involved in community life.
4. Education, celebration and awareness raising contributing to building inclusive and equitable communities.
5. Advocate on behalf of and with our community to reduce discrimination and disadvantage.

Banyule City Council recognises and holds much respect for the diversity that exists within Banyule Aboriginal and Torres Strait Islander communities. We believe our RAP proudly reflects the strong commitment we have for supporting and embracing people of all backgrounds and identities to participate and contribute to their fullest capacity.

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## Content

1. Acknowledgement of Traditional Owners
2. Banyule Statement of Commitment
3. Executive summary
4. Message from the Mayor
5. RAP support partners
6. Introduction
7. Vision for reconciliation
8. Our Reconciliation Action Plan 2020 – 2022
9. Council's reconciliation commitments
10. What is Reconciliation and why do we need a plan?
11. Reconciliation Action Plans
12. RAP themes
13. RAP framework
14. Five dimensions of reconciliation
15. Strategic setting of RAP in Council
16. RAP development
17. Community and staff engagement and consultation
18. RAP working group
  - Banyule Aboriginal and Torres Strait Islander Advisory Committee
  - RAP champions
  - RAP evaluation and review
19. Banyule Aboriginal and Torres Strait Islander communities
20. Banyule Aboriginal and Torres Strait Islander Plans, Achievements and Outputs
21. Legislative and policy context
  - Banyule Council Plan context
  - Victorian and Australian Government context
22. Implementation of RAP under IAEF Framework
23. Banyule City Council's *Innovate* RAP
24. Evaluation and Measurement table
25. Appendix – use of terms



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## Message from the Mayor

Banyule Council is committed to contributing to a just, equitable and reconciled Australia.

Our Reconciliation Action Plan (RAP) defines this commitment and outlines how we will work in partnership with Aboriginal and Torres Strait Islander people to create shared goals to tackle inequity issues and develop meaningful pathways towards self-determination for Aboriginal and Torres Strait Islander people. Our plan is developed in partnership with Aboriginal people to ensure Council decisions that impact Aboriginal people's lives are decided upon through shared decision-making, fairness, respect and trust.

We acknowledge and extend our respect to Wurundjeri Woi-wurrung Traditional Custodians, Elders past, present and emerging leaders. We recognise and respect the deep and continuous connection the Wurundjeri Woi-wurrung people have for the land Council operates on. This respect extends to all First Nations peoples living or working in Banyule and we value and appreciate the diversity that exists within Banyule Aboriginal and Torres Strait Islander communities.

Aboriginal and Torres Strait Islander histories, practices and culture are embedded in this land and we stand in support of increasing cultural awareness across the municipality. We also accept the important role Council must play to influence societal change and attitudes in Banyule towards Aboriginal and Torres Strait Islander people. Through Council's RAP we will support and facilitate opportunities for Banyule staff, residents and community to gain a fuller account of our shared history and the impact colonisation has had on Aboriginal and Torres Strait Islander people. We will work with Aboriginal communities and partners to increase cultural awareness and respect in our organisation and more broadly across the municipality. We will promote and take measures to protect Aboriginal cultural heritage sites and other places of cultural significance in Banyule.

Reconciliation is a journey we must all travel and Council is strongly committed to addressing the work that still needs to be done as a nation, across all sectors of society and as individuals. As a local government, we recognise the path towards reconciliation requires truth-telling, justice, healing and reducing gaps in Aboriginal disadvantage. We also recognise by developing respectful relationships with Aboriginal and Torres Strait Islander people, we strengthen our ability to include Aboriginal voice, input and cultural perspectives into Council's policies, plans and strategies. It is imperative we initiate and develop strategies to increase investment and promotion of Aboriginal services, programs and businesses.

Finally, and importantly, Council will work with Aboriginal communities to raise awareness of racism, constitutional recognition and Aboriginal human rights. We invite you to join us as we take action to advance reconciliation in Banyule.

Cr Alison Champion

**Banyule Mayor**

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Message from

**Reconciliation Australia**

*Council will only get this statement once the RAP has been approved and endorsed by Rec Australia.*



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JULY 2020 - 2022

## RAP support partners

**Banyule Aboriginal & Torres Strait Islander Advisory Committee**

*We, the Aboriginal members of the Banyule Aboriginal and Torres Strait Islander Advisory Committee acknowledge and pay respect to this body of work, its authors and to those who lend it their support with a desire for truth in their hearts and minds.*

*We recognise Australian history cannot be changed and in order to best address the abhorrent wrongs of the past, we must all work together in the spirit of solidarity and peace.*

*Through Council's RAP we seek truth-telling and what it can bring to our People and all Australians.*

**Reconciliation Banyule**

*Banyule City Council's first Innovate Reconciliation Action Plan (RAP) is a positive act to accelerate the Reconciliation process in this municipality. Reconciliation Banyule commends Council for taking this critical step to progress Reconciliation with our First Peoples.*



*Local Government has a unique opportunity to show leadership because of its connectedness to its community, and its responsibility for land use planning and caring for country. Through the focus on Respect, Relationships and Opportunities the RAP sets out to show how our community can continue the Reconciliation process to tell truths, right past wrongs and recompense for the unjust acts in our history.*

*We compliment Councillors, Council staff and BATSIAC for their commitment to bring this Innovate RAP to reality. With open hearts and minds we can learn our way along new paths together. We look forward to a future working together with our First Peoples and Local Government offering real leadership to the residents in the City of Banyule.*

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## Introduction

Banyule Council's journey towards reconciliation has gained considerable strength and momentum over the past few years.

We are extremely proud of the positive relationships we have built with First Nations peoples, communities, businesses and services across Banyule. We have the deepest respect and appreciation for the ongoing guidance we receive from BATSAC, Wurundjeri Woi-wurrung Traditional Owners and reconciliation partners.

Our steps towards introducing a Reconciliation Action Plan (RAP) are well-considered and have been driven by two consecutive Aboriginal and Torres Strait Islander plans developed by Council since 2014.

Both these plans set an important precedent for the RAP and similarly were designed in consultation with Aboriginal communities to outline Council's commitment to working in partnership with Aboriginal and Torres Strait Islander communities.

They have enabled Council to deepen its appreciation and understanding of the importance of working collaboratively with Aboriginal people and increased our understanding of First Nations peoples' cultures, connection to country and the long-standing approaches taken to sustain culture and communities.

We acknowledge Council still has much to learn and we recognise with a RAP we can create a meaningful pathway to strengthen our partnerships with Aboriginal communities and work collaboratively to improve outcomes across a broad range of areas including social and economic well-being, civic participation and cultural heritage.

We recognise there are many historical challenges in the relationship between governments and Australia's First Nations peoples. Through our RAP we will work towards reducing the many barriers that prevent Aboriginal people from being able to make decisions that impact themselves, their families and extended communities.

As Council takes this important next step on its reconciliation journey, we accept the road ahead may be a long one and we acknowledge for true reconciliation to exist, Council needs to support and recognise the benefits of advancing self-determination for Aboriginal people.

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The United Nations Declaration on the Rights of Indigenous Peoples defines self-determination as the ability for Indigenous people to freely determine their political status and pursue their economic, social and cultural development.

Through our RAP we will create avenues for First Nations communities and organisations to have a respectful platform to inform the way Council plans, delivers, evaluates and measures services to Aboriginal and Torres Strait Islander people.

Our RAP will pave the way for Aboriginal and Torres Strait Islander people to gain control of the decisions that affect their lives by providing genuine opportunities to engage with Council around a shared purpose to improve access, equity and inclusion for all.

We believe through Council's RAP, we will harness the ability to better facilitate opportunities for Aboriginal people to have their voices and ideas included in Council's projects.

Extensive Aboriginal community engagement and consultation has been conducted in all stages of constructing Council's RAP and Council has appointed BATSAC to oversee the RAP.

We will also continue to seek guidance from Wurundjeri Woi-wurrung Traditional Owners, reconciliation partners and extended First Nations community leaders and networks.

As we move together on this path towards reconciliation, Council welcomes ongoing community participation and input on our RAP.

We invite all who live, work, play and visit Banyule to join us on this journey as we strengthen our respect for Aboriginal history and culture, build relationships based on shared goals and create opportunities to support progress for all Aboriginal and Torres Strait Islander people.

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## Vision for reconciliation

Banyule Council is committed to a just, equitable and reconciled Australia.

We are in strong support of just and respectful relations between Aboriginal and Torres Strait Islander people and non-Indigenous Australians.

In the spirit of reconciliation Council will listen to and work in partnership with Aboriginal and Torres Strait Islander people to ensure Council decisions that impact Aboriginal people's lives are decided upon through shared decision making, fairness, respect and trust.

Council will create pathways towards self-determination and progress actions to build capacity, inclusion, access and equity for all Aboriginal and Torres Strait Islander people.

## Our Reconciliation Action Plan 2020-2022

We recognise true reconciliation is only possible if we work collaboratively to develop respectful relationships with Aboriginal and Torres Strait Islander people. That's why, over many months, we have been working in collaboration with key stakeholders including Banyule Traditional Custodian Elders and representatives from the Wurundjeri Woi-wurrung Cultural Heritage Aboriginal Corporation, Aboriginal community partners, BATSIAC, Local Aboriginal Networks (LANs), RAP specialists, Aboriginal service stakeholders and reconciliation networks to develop our draft RAP. Working with these vital stakeholders ensures from the outset, that the construction of our RAP has been guided and developed through the lens of Aboriginal people, embedding Aboriginal voice, input and cultural perspectives into this plan.

Our RAP will be implemented over a two-year period, between 2020 and 2022 and outlines how we will work in partnership with Aboriginal and Torres Strait Islander communities.

Our RAP focuses attention on strategies to address the barriers faced by Banyule's Aboriginal and Torres Strait Islander communities and seeks to create more opportunities for participation and involvement. These strategies aim to bring all people within Banyule together, to foster respect and acceptance. In this way, the RAP will benefit the whole community and we accept it requires the participation of everyone in community to be successful.

The RAP is one of four plans that are based on Council's Inclusion, Access and Equity Framework (IAEF) and it further aligns with the Council Plan (2017-2021) 'People' objective for Strong, Healthy and Inclusive communities.

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## Inclusion Access and Equity Framework (IAEF)

As with previous Council Aboriginal and Torres Strait Islander plans, our RAP has been developed in consultation with Aboriginal people and in accordance with the goals and objectives of Council's Inclusion, Access and Equity Framework (IAEF).

The IAEF contains the following five goals that inform Council of the key aims for supporting diverse communities and the desired outcomes which these communities are seeking:

### 1. Ensure Council facilities, activities and services are accessible, inclusive and equitable.

This strategy focuses on how we work with our own staff and organisation, and on our own services to respond to the needs of diverse communities. It is Council's desire that the services we provide, and the way we work as an organisation, recognises and responds to the diverse needs of our community.

**Intended outcomes:** People do not face barriers in using Council services, facilities and activities.

### 2. Work in partnership with local services to increase inclusion and address service gaps.

This strategy focuses on how we work with other key service providers to try and make sure our diverse community has good access to relevant services that are inclusive.

**Intended outcomes:** People do not face barriers to accessing local services and opportunities.

### 3. Work in partnership to build the capacity of disadvantaged groups to be involved community life.

This strategy focuses on building the capacity of individual community members and communities to assist them to lead local solutions.

**Intended outcomes:** Diverse communities are resilient and engaged in community life.

### 4. Education, celebration and awareness-raising to contribute to building inclusive and equitable communities.

This strategy focuses on how we work to increase support and develop wider community understanding, appreciation and pride regarding our diversity.

**Intended outcomes:** The community values diversity and there is reduced prejudice.

### 5. Advocate on behalf of and with our communities to reduce discrimination and disadvantage.

Many of the issues facing our community are outside of the direct control of Council. This strategy is about how we advocate on issues that impact on our local community, for issues beyond Council or the local community's direct control.

**Intended outcomes:** People's rights are protected and promoted.

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## Council's reconciliation commitments

Banyule Council has a long-standing commitment to reconciliation which is grounded in public declarations such as Council's Statement of Commitment to Indigenous Australians (2009), a Banyule Aboriginal heritage study and consecutive Aboriginal and Torres Strait Islander plans implemented by Council since 2014.

### Statement of Commitment to Indigenous Australians (2009)

The Banyule Council Statement of Commitment to Indigenous Australians (2009) gives Council's commitment to protecting and celebrating Aboriginal heritage by:

- Promoting, protecting and preserving identity and culture.
- Respecting and promoting the customs and traditions of all First Nations peoples, especially the local custodians, the Wurundjeri Woi-wurrung.
- Recognising and valuing Aboriginal society and culture as an important part of Australian history.
- Supporting the rights of the Wurundjeri Woi-wurrung people to provide advice and participate in Council planning and decision-making.

### Aboriginal heritage study

An Aboriginal heritage study on Aboriginal archaeology (pre-European contact) was prepared in 1999. Over 50 Aboriginal heritage sites were identified in Banyule. Most are beside major waterways such as Darebin Creek and the Yarra and Plenty Rivers. The study was undertaken with the guidance of senior Wurundjeri Woi-wurrung Elders.

### Banyule Aboriginal and Torres Strait Islander plans

Banyule Aboriginal and Torres Strait Islander plans (2014-2017) (2017-2021) were created to strengthen Aboriginal community inclusion, access and equity. Overseen by BATSAC, these plans have provided valuable foundations for Council's RAP. As such, relevant actions contained within the Banyule Aboriginal and Torres Strait Islander plan (2017-2021) have been included in Council's 2020-2022 RAP to ensure continuity of actions requiring Council's long-term attention.



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JULY 2020 - 2022

## What is reconciliation and why do we need a plan?

In the context of Australia's national identity, reconciliation is about working collectively to strengthen relationships between Aboriginal and non-Aboriginal Australians. It's about acknowledging Australia's true history and taking the time to walk, talk and work together with Aboriginal and Torres Strait Islander people to acknowledge and address past wrongs. Reconciliation is an important journey we can all travel; To reduce division in our communities and find a just and equal society where Aboriginal and Torres Strait Islander cultures and heritage are a proud part of our shared national identity.

Like all journeys, you need a map to get there and Reconciliation Action Plans (RAP) are that map.

These nationally recognised plans enable organisations to make their contribution to a reconciled Australia.

## Reconciliation action plans

Reconciliation action plans allow organisations to contribute to a reconciled Australia. They emphasise the public commitments an organisation will make to improve understanding and attitudes towards Aboriginal people. They also highlight the ways in which an organisation will work with Aboriginal people to improve opportunities and reduce disadvantage.

## RAP themes

Reconciliation action plans include three overarching themes – respect, relationships and opportunities.

These themes are considered the core pillars to which organisations assign their RAP actions and the following descriptions inform organisations of the type of actions to place under each pillar:

<b>Respect</b>	<b>Relationships</b>	<b>Opportunities</b>
Actions relating to how the organisation will support a broader understanding of and respect for Aboriginal and Torres Strait Islander cultures.	Actions on how the organisation will build, strengthen and support relationships between the broader Australian community and Aboriginal and Torres Strait Islander people.	Actions relating to how the organisation will increase equal opportunities and participation for Aboriginal and Torres Strait Islander people.

## RAP framework

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Further to the three key RAP focus areas of respect, relationships and opportunities, [Reconciliation Australia](#) provides all organisations wanting to advance reconciliation with a structured RAP framework to suit the stage they are at on their reconciliation journey.

There are four types of RAP frameworks an organisation can develop; these are reflect, innovate, stretch or elevate.

Our RAP is an Innovate RAP and we seek to meet the following key objectives and expectations set out by Reconciliation Australia:

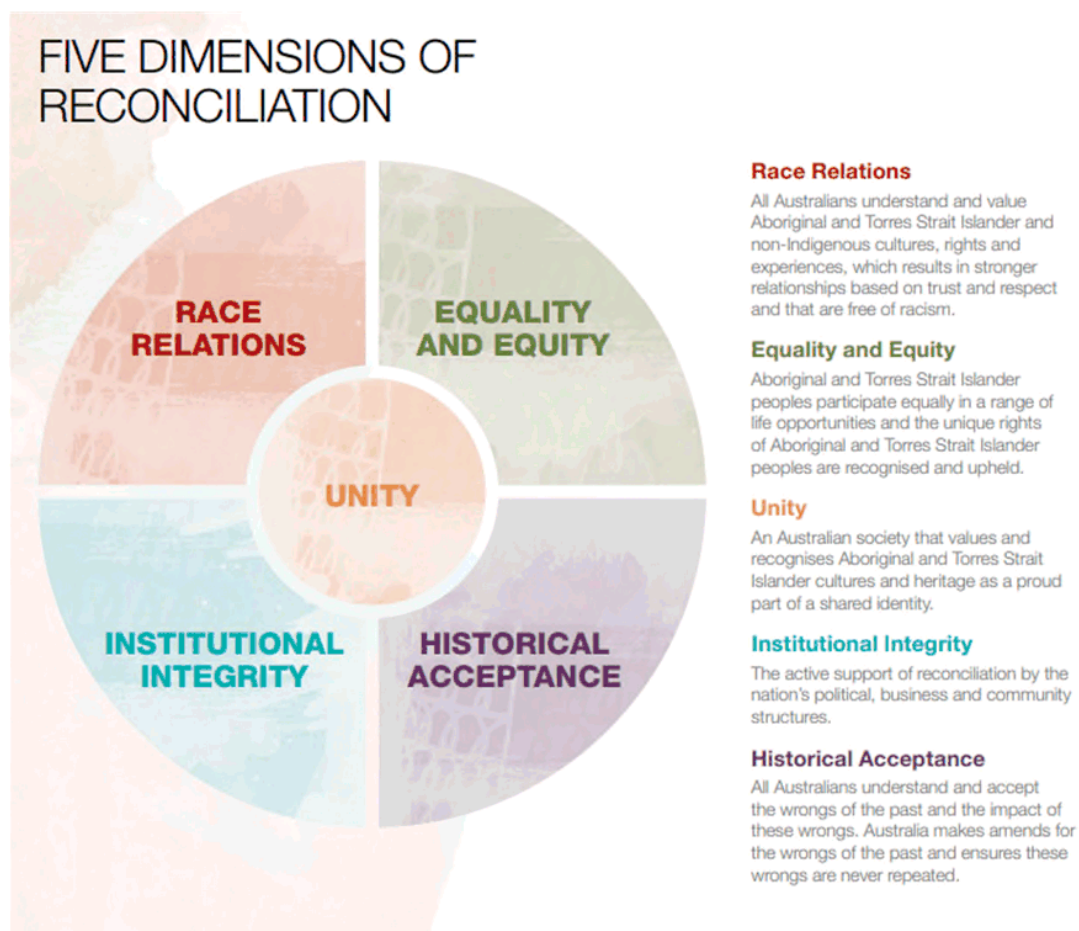
1. RAP commitments should allow the organisation to be aspirational and innovative in order to help the organisation to gain a deeper understanding of its sphere of influence and establish the best approach to advancing reconciliation.
2. An Innovate RAP should focus on:
  - Developing and strengthening relationships with Aboriginal and Torres Strait Islander people;
  - Engaging staff and stakeholders in reconciliation; and
  - Developing and piloting innovative strategies to empower Aboriginal and Torres Strait Islander people.
3. Organisations need to report to Reconciliation Australia by September each year and publicly report on RAP progress to external stakeholders.

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Reconciliation Australia's vision of national reconciliation is based on [five critical dimensions](#):

Race relations, equality and equity, institutional integrity, unity and historical acceptance.

These five dimensions do not exist in isolation. They are interrelated and Australia can only achieve full reconciliation if we make progress in all five.



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## RAP development

Council's RAP has been developed through extensive community engagement, consultation, research, specialist support and knowledge sharing.

The steps undertaken have included:

- Wurundjeri Woi-wurrung Traditional Custodian engagement and consultation.
- Workshop sessions with Banyule Aboriginal and Torres Strait Islander Advisory Committee.
- Workshop with Banyule Aboriginal community members and services.
- Reconciliation networks (national, state and local) engagement and consultation.
- Banyule Council staff meetings, briefings and presentations.
- Review of relevant national, state and local policies and plans.
- Aboriginal community engagement and consultation.
- Local Aboriginal Network (LAN) broker engagement and consultation.
- Aboriginal business and service engagement and consultation.
- Reviewing and complying to Reconciliation Australia's criteria of an Innovate RAP.
- Contracting services of reconciliation action plan specialists.
- Review of Banyule's Aboriginal and Torres Strait Islander demographics.
- Evaluation of the Aboriginal and Torres Strait Islander plans 2014–2017 and 2017-2021.
- Public exhibition on Council's online platform *Shaping Banyule* (June-July 2020).

## Community and staff engagement and consultation

In the design and development of Council's RAP, extensive community and stakeholder consultation has been undertaken to ensure we meet both our reconciliation commitments to Aboriginal and Torres Strait Islander people and our obligations within Reconciliation Australia's Innovate RAP objectives.

Banyule Traditional Custodians, Wurundjeri Woi-wurrung Elders, have been respectfully engaged on our draft RAP developments since we declared our intention to progress a RAP in November 2018 and have continued to be involved and informed on a quarterly basis.

Banyule's Aboriginal and Torres Strait Islander Advisory Committee (BATSAC) has been a constant guiding force throughout all development stages of the RAP and will remain the primary group to oversee, monitor and evaluate our RAP progress for the duration of the RAP, between 2020-2022.

More broadly, we conducted meetings and workshops with Aboriginal residents, Aboriginal Victorians (from First Nations within and outside of Victoria), RAP specialists, Aboriginal service stakeholders, Reconciliation Networks and Local Aboriginal Networks (LANs).

## INNOVATE RECONCILIATION ACTION PLAN



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JULY 2020 - 2022

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Internally, through a mix of individual and group meetings, we engaged with Council staff and business units accountable for progressing RAP deliverables, to ensure staff understand RAP expectations and feel appropriately resourced and supported to achieve the desired RAP outcomes. This process has further supported organisational cultural capacity building and the linking of divisional Aboriginal strategic priorities to the RAP.

### RAP Working Group:

The Banyule Aboriginal and Torres Strait Islander Advisory Committee (BATSAC) will serve the role of Council's RAP working group and will be the governing body of the RAP.

All committee members are informed of their responsibility to support Council's RAP, via BATSAC's terms of reference, presented to all committee applicants and during the member appointment process.

### Banyule Aboriginal and Torres Strait Islander Advisory Committee

Members of BATSAC include residents, community leaders from Banyule's Aboriginal and Torres Strait Islander communities, local services and organisations. Committee members hold their positions for a period of two years.

The collective aim of BATSAC is to provide Council with advice and information on inclusion, access and equity issues facing Aboriginal and Torres Strait Islander communities and to develop and implement Council's Aboriginal and Torres Strait Islander plans and Reconciliation action plans.

### RAP champions

Several members from Banyule Council's Community Development and Social Planning Team will oversee RAP developments internally. The current internal team members include a Reconciliation Projects Development Officer, Aboriginal Community and Social Planner and the Community and Social Planning Coordinator.

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## RAP evaluation, review and reporting

Banyule Council is committed to supporting an Aboriginal-led evaluation and review process of all RAP developments.

BATSIAC will oversee RAP developments and fulfil the role of Council's RAP working group.

Council will work collaboratively with BATSIAC to ensure RAP development information and resources can be appropriately reviewed and measured against the following (see [Evaluation & Measuring table](#)):

- Council's IAEF goals and strategies
- Reconciliation Australia's *Five Dimensions of Reconciliation*
- Council plan themes and strategies

Reconciliation Australia also requires Banyule Council to report on its efforts to develop innovative strategies for advancing reconciliation in Council's workplace and across the municipality.

Key to satisfying Reconciliation Australia's Innovate RAP reporting requirements, Council and BATSIAC will work together to meet the following:

1. Complete and submit Reconciliation Australia's annual RAP Impact Measurement Questionnaire.
2. Report on RAP Progress to Council staff and senior leaders on a quarterly basis.
3. Publicly report on Council's RAP achievements, challenges and learnings annually.
4. Optionally take part in Reconciliation Australia's biennial Workplace RAP Barometer.

As per BATSIAC's terms of reference, BATSIAC will meet on a bi-monthly basis to review RAP developments and provide appropriate support and guidance to assist with RAP decision-making and the implementation of the plan.

Council will also work with BATSIAC to receive ongoing guidance on the mechanics of Aboriginal-led evaluation and review processes to strengthen Council's cultural capabilities and systems.

## INNOVATE RECONCILIATION ACTION PLAN



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JULY 2020 - 2022

### Banyule Aboriginal and Torres Strait Islander communities

Aboriginal and Torres Strait Islander communities are as diverse as any other community. Within Banyule there are two main groups of people. The first group are the Traditional Custodians, the Wurundjeri Woi-wurrung people, who have lived on the lands of Banyule for more than 35,000 years. The second group consists of Aboriginal and Torres Strait Islander people from different First Nations' groups across Australia – who have come to live in Banyule.

Banyule's estimated resident population for 2019 is 131,631, with the population forecast to grow to 148,095 by 2036. In the 2016 Census, 706 Banyule residents identified as Aboriginal or Torres Strait Islander, up from 619 in the 2011 Census. This represents 0.6% of Banyule's total population and is marginally higher than the proportion for Greater Melbourne (0.5%).

It should be noted that the Aboriginal and Torres Strait Islander population is historically under-counted in the Census, therefore the actual population is likely to be higher. Indeed, Banyule Community Health has more than 1500 Aboriginal and Torres Strait Islander clients.

Banyule's Aboriginal and Torres Strait Islander population is relatively young with a median age of 25 years compared to 39 years for the non-Aboriginal and Torres Strait Islander population. The largest number of Aboriginal and Torres Strait Islander residents live in the suburb of Heidelberg West, a culturally diverse area with socio-economic disadvantage.

There are clear and often significant differences between the socio-economic status of Aboriginal and Torres Strait Islander residents and other residents, as shown in the table below.

Selected statistics	Aboriginal and Torres Strait Islander persons/households	Other persons/ households
Education		
Completed Year 12 or equivalent	47%	66%
One family households		
Couple family with children	26%	35%
Single parent family	28%	10%
Housing tenure		
Owned outright	16%	38%
Owned with a mortgage	26%	35%
Rent social housing	21%	4%
Rent through real estate agent	24%	16%
Income		
Median total person weekly income	\$498	\$730
Median total household weekly income	\$1,203	\$1,659

Source: ABS Community Profiles - 2016 Census - Banyule LGA

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## Banyule Aboriginal and Torres Strait Islander Plans (2014-2021)

### Achievements and outputs:

The Aboriginal and Torres Strait Islander plans developed by Council since 2014 have helped to create multiple achievements and outputs. Some of these include:

- Establishment of Banyule Aboriginal and Torres Strait Islander Advisory Committee (BATSAC) and ongoing coordination support since 2014.
- Annual quarterly consultation sessions with Wurundjeri Woi-wurrung Cultural Heritage Aboriginal Corporation.
- Recruitment of Banyule Aboriginal Community and Social Planner.
- Supporting the establishment, management and new governance structures of the Barrbunin Beek Gathering Place - an Aboriginal-run gathering place in Heidelberg West.
- Barrbunin Beek is the result of a successful partnership between Council, Banyule Community Health and Darebin Community Health.
- Barrbunin Beek hosts a growing number of regular weekly activities including Sista Circle Women's group, Nhalinggu Bagung Art Group, Ngurungaeta Men's Group and Food Share.
- Annual Nhalinggu Bagung (Come Gather) Aboriginal art exhibition.
- Created two new positions to support cultural education and the running of Barbunnin Beek Aboriginal Gathering Place.
- Supporting the transition to an Aboriginal controlled governance structure for Barbunnin Beek Aboriginal Gathering Place.
- Cultural education program for 28 Maternal and Child Health Nurses as part of Aboriginal families' referral process.
- Traditional Owner acknowledgement plaques installed in over 150 Council buildings.
- Introduction of regular Aboriginal and Torres Strait Islander stories and activities at Yarra Plenty Regional Libraries.
- In partnership with Wurundjeri Woi-wurrung Cultural Heritage Aboriginal Corporation, conducted cultural walking tours in Sills Bend in Heidelberg.
- Increased engagement and procurement of services from Aboriginal businesses and suppliers.
- Increased investment and participation in Council cultural awareness activities.
- Aboriginal guest speakers at councillor meetings.
- Ongoing councillor participation in BATSAC meetings.



**INNOVATE RECONCILIATION ACTION PLAN**

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**JULY 2020 - 2022**

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- Acknowledgement of Wurundjeri Woi-wurrung Traditional Custodians and Banyule First Nations peoples in Council staff email signatures.
  - Acknowledgement of Wurundjeri Woi-wurrung Traditional Custodians and Banyule First Nations peoples at the beginning of meetings, including Council meetings.
  - Aboriginal and Torres Strait Islander people are one of the groups supported by Council's Inclusive Employment Program.
  - Increase in Sorry Day, Reconciliation and NAIDOC week activities and community participation, including events and activities for primary and secondary schools, libraries and Neighbourhood Houses.
  - Hosted two Treaty forums that were broadcast live on Aboriginal radio station 3KND. The forums were hosted in partnership with Yarra Plenty Regional Libraries, Reconciliation Banyule, Reconciliation Victoria and Darebin Council.
  - Aboriginal performers and culture are included in the programming of Council's festivals and events.

## Legislative and policy context

This policy review may exclude some federal and state strategies and policies, as policy agendas are subject to change.

Council officers have comprehensively captured current Federal and State policy agendas and will continue to monitor developments in line with RAP commitments.

### International Content

- *International Convention on the Elimination of All Forms of Racial Discrimination 1965*
- *International Convention on the Economic, Social and Cultural Rights 1966*
- *International Convention on Civil and Political Rights 1966*
- *United Nations Declaration on the Rights of Indigenous People 2007*
- *United Nations World Conference on Indigenous People 2014*

### Australian Government Context

- *Human Rights and Equal Opportunity Act 1986*
- *Racial Discrimination Act 1975*
- *Council of Australian Governments (COAG) Closing the Gap 2008*
- *Commonwealth Indigenous procurement policy 2019*
- *Indigenous Advancement Strategy (IAS) 2014 and IAS Guidelines 2019*
- *National Aboriginal and Torres Strait Islander Education Strategy 2015*
- *National Aboriginal and Torres Strait Islander Health Plan 2013-2023*
- *National Anti-Racism Strategy 2012*

**INNOVATE RECONCILIATION ACTION PLAN****Mam-badool Djerring** Let's work together**JULY 2020 - 2022****Victorian Government Context**

- *Victorian Aboriginal Local Government Action Plan 2016-2020*
- *Victorian Aboriginal Affairs Framework 2018-2023*
- *Victorian Aboriginal Economic Strategy 2013-2020*
- *Self-determination Reform Framework Aug 2019*
- *Local Government Bill 2019*
- *Victorian Charter of Human Rights and Responsibilities 2006*
- *Victorian Equal Opportunity Act 2010*
- *Aboriginal Heritage Act 2006 and Aboriginal Heritage Regulation 2018*
- *Native Title Act 1993*
- *Yarra River Protection, Wilip-gin Birrarung murrong Act 2017*
- *Traditional Owners Settlement Act 2010*
- *Traditional Owner voices report, Oct 2019*
- *Tharamba Bugheen Victorian Aboriginal Business Strategy 2017-2021*
- *Koolin Balit Aboriginal Health Strategy 2012-2022*
- *Korin Korin Balit Djak: Aboriginal Health, Wellbeing and Safety Strategic Plan 2017-2027*
- *Balit Murrup: Aboriginal Social and Emotional Wellbeing Framework 2017-2027*
- *Dhelk Dja: Safe Our Way Agreement 2018*
- *Marrung Aboriginal Education Plan 2016-2026*
- *Advancing the Treaty Process with Aboriginal Victorians Act 2018*
- *Victorian Government Stolen Generations Redress Scheme 2020*
- *Racial and Religious Tolerance Act 2001*
- *Victorian Local Aboriginal Networks Five Year Plan 2016-2020*

**INNOVATE RECONCILIATION ACTION PLAN**



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**JULY 2020 - 2022**

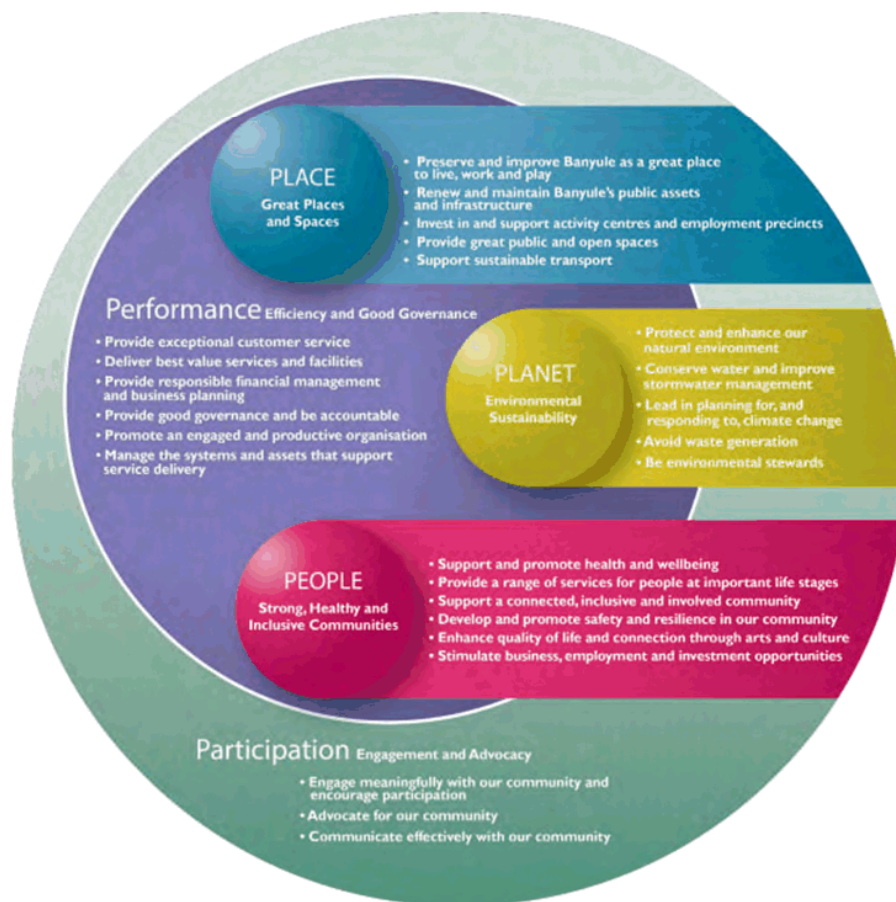
**RAP link to Council Plan**

The purpose of Council's Plan 2017-2021 is to set the strategic direction for Council responsibilities over a four-year period. It establishes the vision, objectives and key directions that guide Council's work under five themes: People, Planet, Place, Participation and Performance.

It outlines priorities and helps guide the services Council provides to communities.

Council's RAP is in line with the Council Plan 2017-2021 and it directly links to the People and Participation objective and key direction.

The following diagram gives an overview of Council's objectives and key directions.



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## Victorian and Australian government context:

### Victorian Aboriginal Local Government Action Plan 2016-2020

The Victorian Aboriginal and Local Government Action Plan (VALGAP) provides a framework to help Councils engage with Aboriginal communities and promote reconciliation.

The VALGAP is an important resource for Victorian Councils. It recognises, celebrates and shares good practice and presents a practical framework to help Councils.

In line with the three key themes within Banyule Council's Innovate RAP, VALGAP provides a framework for Victorian local governments to achieve the following:

- Improve relationships with Aboriginal communities
- Promote reconciliation
- Engage Aboriginal people in planning, decision-making, employment, programs and services.

### Closing the gap

In 2008, various levels of Australian Governments agreed to take urgent action to close the gap between the life outcomes of Aboriginal and Torres Strait Islander people and other Australians.

To drive action, the following six targets were created, and outcomes are reported annually:

1. Close the life expectancy gap within a generation.
2. Halve the gap in mortality rates for Aboriginal and Torres Strait Islander children under five within a decade.
3. Ensure all Aboriginal and Torres Strait Islander four-year-olds in remote communities have access to early childhood education within five years (by 2013).
4. Halve the gap for Aboriginal and Torres Strait Islander students in reading, writing and numeracy within a decade (by 2018).
5. At least halve the gap in Aboriginal and Torres Strait Islander Year 12 attainment or equivalent attainment rates by 2020.
6. Halve the gap in employment outcomes between Aboriginal and Torres Strait Islander Australians and other Australians within a decade (by 2018).

Achieving these targets requires a significant effort and collaboration by all levels of government and as the closest level of government accessible to community, local government plays a key role in facilitating important discussions, developing partnerships and supporting locally identified project opportunities to help address closing the gap targets and reduce gaps within our communities.

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## Implementation of RAP under IAEF Framework

The strategic setting where the RAP will sit within Council is as one of four plans based on Council's Inclusion, Access and Equity Framework (IAEF). The other plans are our Disability plan, Multicultural plan and Lesbian, Gay, Bisexual, Transgender, Intersex, and Queer Plus (LGBTIQ+) plan. The IAEF expresses our commitment to our diverse communities and provides a framework to guide the way that we will work to promote and foster inclusion, access and equity.

### Implementation process

The implementation plan below outlines the Inclusion Access and Equity Framework (IAEF) strategies to be implemented over the life cycle of the RAP and it highlights the IAEF goals Council will be aiming to achieve alongside the delivery of its RAP actions and deliverables.

The RAP will be supported in Council's annual budget process and RAP actions and deliverables have been allocated across Council departments. The RAP does not list all actions Council does to support Aboriginal and Torres Strait Islander communities.

An Innovate Reconciliation Action Plan (RAP) has a two-year duration and commences when the RAP is formally endorsed by Reconciliation Australia.

IAEF goal	IAEF strategies to be implemented over two years of RAP
<p>1. Ensure Council facilities, activities and services are accessible, inclusive and equitable.</p> <p>Intended outcome: People do not face barriers in using Council services, facilities and activities.</p>	<ol style="list-style-type: none"> <li>1. Implement staff education and awareness training.</li> <li>2. Promote and improve access to public meeting places that support our diverse communities.</li> <li>3. Offer services, facilities and opportunities that enable equal access and participation and reduce potential for isolation and exclusion. This includes supporting equal access to civic participation.</li> <li>4. Develop and promote inclusive employment practice.</li> <li>5. Improve communication and access to information through the use of a broad range of communication mediums.</li> <li>6. Review Council forms, publications and website to be inclusive and reduce potential for isolation and exclusion.</li> <li>7. Improve Council's communication processes by using inclusive language, content and imagery that represents our diverse communities.</li> </ol>
<p>2. Work in partnership with local services to increase inclusion and address services gaps.</p>	<ol style="list-style-type: none"> <li>1. Support local services and groups to engage with our diverse communities and increase community harmony.</li> <li>2. Work in partnership with community groups, sporting clubs and organisations to ensure equal access for our diverse communities.</li> </ol>

<p><b>IAEF goal</b></p> <p><u>Intended outcome:</u> People do not face barriers to accessing local services and opportunities.</p>	<p><b>IAEF strategies to be implemented over two years of RAP</b></p>
<p>3. Work in partnership to build the capacity of disadvantaged groups to be involved community life</p> <p><u>Intended outcome:</u> Diverse communities are resilient and engaged in community life.</p>	<ol style="list-style-type: none"> <li>3. Promote the provision of health services and practices that cater for our diverse communities.</li> <li>4. Support and promote initiatives that showcase the positive contribution that our diverse communities make to economic participation through employment and businesses.</li> <li>5. Work with local services to encourage equitable employment opportunities.</li> <li>1. Support and recognise businesses that show initiative and good practice in including our diverse communities.</li> <li>2. Support local services and groups to engage with and provide welcoming environments for our diverse communities to increase community harmony.</li> <li>3. Support our diverse communities to access funding and other opportunities as they may arise.</li> </ol>
<p>4. Education, celebration and awareness raising contributing to building Inclusive and equitable communities.</p> <p><u>Intended outcome:</u> The community values diversity and there is reduced prejudice.</p>	<ol style="list-style-type: none"> <li>1. Ensure Banyule's events calendar celebrates our diverse communities and considers the diversity in their planning and delivery.</li> <li>2. Acknowledge and promote the contributions from our diverse communities.</li> <li>3. Support and promote events and activities that celebrate cultural events and diversity, for example Reconciliation Week.</li> <li>4. Develop communication initiatives and projects that promote the contribution of our diverse community, target discrimination and promote anti-racism messages.</li> </ol>
<p>5. Advocate on behalf of and with our community to reduce discrimination and disadvantage.</p> <p><u>Intended outcome:</u> People's rights are protected and promoted.</p>	<ol style="list-style-type: none"> <li>1. Extend and enhance partnerships, projects and advocacy efforts that address the needs of our diverse communities.</li> <li>2. Develop partnerships, projects and advocacy efforts that address the needs of our diverse communities.</li> </ol>

**INNOVATE RECONCILIATION ACTION PLAN**

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**JULY 2020 - 2022**

We are working towards reconciliation and we now have an action plan to help us get there.

Join us as we take this important step to make our communities more just and equitable.

Banyule City Council's Reconciliation Action Plan 2020-2022



## Banyule City Council Innovate Reconciliation Action Plan

Our plan defines the shared approach Council will take with Aboriginal and Torres Strait Islander People to develop innovative strategies for advancing reconciliation in our workplace and across Banyule.

### 1. RESPECT

Council is deeply committed to promoting respect for Aboriginal and Torres Strait Islander cultures, histories, knowledge and rights and our commitment is embedded in our Council Plan, under the People theme and *Strong Health and Inclusive communities'* strategies.

Action	Deliverables	Responsibility	Timeline	Council IAEF Goal & Strategy	Reconciliation 5 Dimensions
1.1 Provide and promote Aboriginal & Torres Strait Islander resources.	1. Banyule Council to seek permission from Wurundjeri Wo-i-wurrung to have the Banyule Traditional Owner Acknowledgment written in Wo-i-wurrung (language of Wurundjeri people) and promoted by Council.  2. Review Banyule Traditional Owner Acknowledgment and Welcome to Country resources, procedures and protocols.  3. Review, add and maintain Aboriginal cultural resources for Banyule staff to access via the intranet.	Community and Social Planning in partnership with Wurundjeri Wo-i-wurrung.	July 2020-2022	IAEF Goal 1 IAEF Strategy 1.1.	<ul style="list-style-type: none"> <li>Historical acceptance</li> <li>Unity</li> </ul>
		Community and Social Planning, Aboriginal Social Planner	July 2020-2022	IAEF Goal 1 IAEF Strategy 1.1.	<ul style="list-style-type: none"> <li>Historical acceptance</li> </ul>
		Community and Social Planning, Aboriginal Social Planner	July 2020-2022	IAEF Goal 1 IAEF Strategy 1.1.	<ul style="list-style-type: none"> <li>Race relations</li> </ul>
1.2. Conduct annual Aboriginal cultural education sessions with Councilors.	1. All councilors to be provided with Cultural Awareness training.  2. Banyule Council to seek permission from Wurundjeri Wo-i-wurrung to deliver training	Governance	July 2020-2022	IAEF Goal 1 IAEF Strategy 1.1.	<ul style="list-style-type: none"> <li>Race relations</li> <li>Unity</li> <li>Historical acceptance</li> </ul>
		Governance, Community and Social Planning in partnership with Wurundjeri Wo-i-wurrung.	July 2020-2022	IAEF Goal 1 IAEF Strategy 1.1.	<ul style="list-style-type: none"> <li>Institutional integrity</li> <li>Unity</li> </ul>



**INNOVATE RECONCILIATION ACTION PLAN**  
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	to Councillors on how to read Acknowledgement in Wo-i-wurrung language.					<ul style="list-style-type: none"> <li>Historical acceptance</li> </ul>
	3. Aboriginal affairs issues (i.e. Treaty, January 26) to be presented to councillors as issues arise.	Community and Social Planning and Governance	July 2020-2022	IAEF Goal 1 IAEF Strategy 1.1.		<ul style="list-style-type: none"> <li>Institutional integrity</li> <li>Race relations</li> </ul>
1.3 Prepare cultural awareness training program for staff and leaders.	1. Aboriginal Cultural Awareness training for new and existing Banyule Council staff.	Community and Social Planning, Aboriginal Social Planner.	July 2020-2022	IAEF Goal 1 IAEF Strategy 1.1.		<ul style="list-style-type: none"> <li>Race relations</li> <li>Unity</li> <li>Historical acceptance</li> </ul>
	2. Aboriginal Mental Health Training to be delivered to relevant Council staff/divisions.	Community and Social Planning, Aboriginal Social Planner.	July 2020-2022	IAEF Goal 1 IAEF Strategy 1.1.		<ul style="list-style-type: none"> <li>Race relations</li> <li>Equality and equity</li> </ul>
1.4. Include and acknowledge First Nations languages, culture and people in the naming of Banyule places and spaces.	1. Review and update existing Council signage acknowledging Traditional Custodians across Municipality.	Community and Social Planning.	July 2020-2022	IAEF Goal 1 IAEF Strategy 1.7.		<ul style="list-style-type: none"> <li>Unity</li> <li>Historical acceptance</li> <li>Institutional integrity</li> </ul>
	2. Collaborate with Wurundjeri Wo-i-wurrung to create place name protocols for using Wo-i-wurrung language across Council and the municipality.	Community and Social Planning in partnership with the Wurundjeri Wo-i-wurrung Cultural Heritage Aboriginal Corporation.	July 2020-2022	IAEF Goal 1 IAEF Strategy 1.7.		<ul style="list-style-type: none"> <li>Unity</li> <li>Historical acceptance</li> </ul>
	3. Create a list of First Nations people of significance to be recognised in Banyule place names.	Community & Social Planning, Aboriginal Social Planner.	July 2020-2022	IAEF Goal 1 IAEF Strategy 1.7.		<ul style="list-style-type: none"> <li>Unity</li> <li>Historical acceptance</li> </ul>
1.5. Recognise, respect and protect Aboriginal	1. Collaborate with the Wurundjeri Wo-i-wurrung to protect and manage the shared heritage values of the Banyule Flats.	City Futures Manager/Coordinator and Environmental Operations Coordinator in partnership with	July 2020-2022	IAEF Goal 4 IAEF Strategy 4.2.		<ul style="list-style-type: none"> <li>Unity</li> <li>Historical acceptance</li> </ul>

<p>Cultural Heritage in Banyule.</p> <p>Strengthen Banyule's partnership with the Wurundjeri Woi-wurrung Cultural Heritage Aboriginal Corporation and Aboriginal Affairs Victoria to support the continued conservation and management of Wurundjeri cultural heritage in Banyule.</p>	<p>2. Collaborate with the Wurundjeri Woi-wurrung and Aboriginal Victoria to protect under the <i>Aboriginal Heritage Act 2016</i>, culturally significant trees currently listed on or nominated to the Banyule Significant Tree Register.</p>	<p>City Futures Manager/Coordinator in partnership with Wurundjeri Woi-wurrung Cultural Heritage Aboriginal Corporation and Aboriginal Victoria.</p>	<p>July 2020-2022</p>	<p>IAEF Goal 4 IAEF Strategy 4.2.</p>	<ul style="list-style-type: none"> <li>• Unity</li> <li>• Historical acceptance</li> <li>• Institutional integrity</li> </ul>
	<p>3. Investigate internal access requirements for Council to access to the Aboriginal Cultural Heritage Register and Information System and organise cross organisational access if required.</p>	<p>City Futures Manager/Coordinator.</p>	<p>July 2020-2022</p>	<p>IAEF Goal 4 IAEF Strategy 4.2.</p>	<ul style="list-style-type: none"> <li>• Institutional integrity</li> </ul>
	<p>4. As a Responsible Public Entity under the <i>Yarra River Protection (Wilip-gin Birrang murrn) Act 2017</i>, Banyule Council will continue its role in the Yarra Collaborative Committee, to develop, in partnership with the Wurundjeri Woi-wurrung Cultural Heritage Aboriginal Corporation, a Yarra Strategic Plan. The plan will deliver on the Traditional owner priorities and aspiration for the management of the river as a single living entity.</p>	<p>City Futures Manager/Coordinator, Environmental Operations Coordinator and Bushland Crew in partnership with Yarra Collaborative Committee and Wurundjeri Woi-wurrung Cultural Heritage Aboriginal Corporation</p>	<p>July 2020-2022</p>	<p>IAEF Goal 4 IAEF Strategy 4.2.</p>	<ul style="list-style-type: none"> <li>• Unity</li> <li>• Historical acceptance</li> <li>• Institutional integrity</li> </ul>
	<p>5. Develop cultural heritage educational resources to inform staff and Banyule community about Aboriginal heritage and culture in Banyule.</p>	<p>City Futures, Community Programs, Arts and Culture, Open Space Planning in partnership with Wurundjeri Woi-wurrung Cultural Heritage Aboriginal Corporation and</p>	<p>July 2020-2022</p>	<p>IAEF Goal 4 IAEF Strategy 4.2.</p>	<ul style="list-style-type: none"> <li>• Unity</li> <li>• Historical acceptance</li> <li>• Institutional integrity</li> <li>• Race relations</li> </ul>

	<p>6. Identify and facilitate interpretation of Aboriginal cultural heritage in place-making, public art, streetscape planting and urban design projects.</p>	<p>Banyule Aboriginal Advisory Committee.</p> <p>City Futures, Bushland Crew, Environmental Operations Coordinator, Open Space Planning Team in partnership with the Wurundjeri Wo: wurrung Cultural Heritage Aboriginal Corporation and Banyule City Council's Aboriginal and Torres Strait Islander Advisory Committee</p>	<p>July 2020-2022</p>	<p>IAEF Goal 4 IAEF Strategy 4.2.</p>	<ul style="list-style-type: none"> <li>• Unity</li> <li>• Historical acceptance</li> <li>• Institutional integrity</li> </ul>
<p><b>1.6.</b> Renew Banyule Council's Statement of Commitment to First Nations peoples.</p>	<p>1. Review, update and renew Banyule Council's Statement of Commitment to First Nations peoples.</p>	<p>BATSJAC, Community and Social Planning, Planning, People and Culture.</p>	<p>July 2020-2022</p>	<p>IAEF Goal 1 IAEF Strategy 1.5.</p>	<ul style="list-style-type: none"> <li>• Unity</li> <li>• Historical acceptance</li> <li>• Institutional integrity</li> <li>• Race relations</li> <li>• Equality and equity</li> </ul>
<p><b>1.7.</b> Increase awareness and support the improvement of cultural safety for Council Aboriginal Employees and Aboriginal people accessing Banyule Services.</p>	<p>1. Council to develop cultural safety strategies with guidance and recommendations from BATSJAC.</p> <p>2. Council to engage with and assess Employment Assistance Program (EAP) to ensure Aboriginal employee cultural safety and support.</p> <p>3. Council to establish a Banyule Aboriginal employees support network group.</p>	<p>Community and Social Planning, People and Culture, BATSJAC.</p> <p>Community and Social Planning, People and Culture, BATSJAC.</p> <p>Community and Social Planning, Planning, Aboriginal Social</p>	<p>July 2020-2022</p> <p>July 2020-2022</p> <p>July 2020-2022</p>	<p>IAEF Goal 3 IAEF Strategy 3.2.</p> <p>IAEF Goal 3 IAEF Strategy 3.2.</p> <p>IAEF Goal 3 IAEF Strategy 3.2.</p>	<ul style="list-style-type: none"> <li>• Equality and equity</li> <li>• Institutional Integrity</li> <li>• Race relations</li> <li>• Equality and equity</li> <li>• Institutional Integrity</li> </ul>

**INNOVATE RECONCILIATION ACTION PLAN**  
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**JULY 2020 - 2022**

		Planner, People and Culture (participation).				<ul style="list-style-type: none"> <li>Race relations</li> </ul>
<b>1.8.</b> Work with Wurundjeri Woi-wurrung Cultural Heritage Aboriginal Corporation for Traditional Owner cultural advice, training and support.	<ol style="list-style-type: none"> <li>Council to engage with Wurundjeri Woi-wurrung Elders in four consultation sessions annually to seek cultural advice and strategic guidance to ensure Council and the municipality is culturally inclusive.</li> <li>Council to keep Wurundjeri Woi-wurrung Cultural Heritage Aboriginal Corporation informed of BATSJAC meetings.</li> </ol>	Community and Social Planning.	July 2020-2022	IAEF Goal 4 IAEF Strategy 4.2.	<ul style="list-style-type: none"> <li>Unity</li> <li>Historical acceptance</li> <li>Institutional integrity</li> <li>Race relations</li> </ul>	
<b>1.9.</b> Engage with Banyule Aboriginal Elder residents from all First Nations.	<ol style="list-style-type: none"> <li>Host an annual consultation session with Banyule Aboriginal Elder residents to inform and receive input on Council Aboriginal strategies.</li> </ol>	Aboriginal Social Planner, BATSJAC, Community and Social Planning.	July 2020-2022	IAEF Goal 4 IAEF Strategy 4.2.	<ul style="list-style-type: none"> <li>Equality and equity</li> <li>Institutional integrity</li> <li>Race relations</li> </ul>	
<b>1.10.</b> Promote Aboriginal and Torres Strait Islander culture and human Rights to schools and Banyule community.	<ol style="list-style-type: none"> <li>Maintain currency of information presented on Aboriginal webpage on Council's website.</li> <li>Engage with Banyule schools to promote their participation in Reconciliation Week and NAIDOC Week themes and events.</li> </ol>	Community and Social Planning BATSJAC and Communications.  Community and Social Planning, Arts and Culture, YPR Libraries, Youth Services, BATSJAC.	July 2020-2022	IAEF Goal 1 IAEF Strategy 1.6.  IAEF Goal 4 IAEF Strategy 4.3.	<ul style="list-style-type: none"> <li>Institutional integrity</li> <li>Unity</li> <li>Equality and equity</li> <li>Institutional integrity</li> <li>Unity</li> <li>Historical acceptance</li> <li>Race relations</li> </ul>	
<b>1.11.</b> Develop partnerships to	<ol style="list-style-type: none"> <li>Raise awareness of Constitutional Recognition progress and developments.</li> </ol>	Community and Social Planning.	July 2020-2022	IAEF Goal 5 IAEF Strategy 5.1.	<ul style="list-style-type: none"> <li>Unity</li> <li>Historical acceptance</li> </ul>	

**INNOVATE RECONCILIATION ACTION PLAN**  
**Marn-baddool Djerring** Let's work together



continue to advocate for Constitutional Recognition and Victorian Treaty advancement.	2. Increase awareness and promotion of Victorian Treaty/ies advancement developments to Council staff and community.	Community and Social Planning.	July 2020-2022	IAEF Goal 5 IAEF Strategy 5.1.	<ul style="list-style-type: none"> <li>• Unity</li> <li>• Historical acceptance</li> </ul>
1.12. Support Yarra Plenty Regional Libraries (YPRL) and community facilities to develop a range of services and programs to promote Aboriginal culture and social connectedness.	1. Hold regular meetings with YPR Libraries to review, assess and increase Banyule Child Care (BCC) libraries with Aboriginal resources, activities, events and support needs.	Community and Social Planning.	July 2020-2022	IAEF Goal 1 IAEF Strategy 1.3.	<ul style="list-style-type: none"> <li>• Equality and equity</li> <li>• Unity</li> <li>• Institutional Integrity</li> </ul>



## INNOVATE RECONCILIATION ACTION PLAN

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JULY 2020 - 2022

### 2. RELATIONSHIPS

Council's strong commitment to building positive relationships between Aboriginal and Torres Strait Islander peoples and other Australians is embedded in our Council Plan, under the People theme and its *Strong Health and Inclusive Communities*' strategies.

Action	Deliverables	Responsibility	Timeline	Council IAEF Goal & Strategy	Reconciliation 5 Dimensions
<b>1.1.</b> Support and develop partnerships to enable Barburin Beek Aboriginal Gathering Place to become an Aboriginal Community Controlled organisation to strengthen Aboriginal self-determination and support ongoing Barburin Beek developments.	1. Council to lead the development of a new Aboriginal community-controlled governance structure for Barburin Beek Aboriginal Gathering Place.	Aboriginal Social Planner, Community and Social Planning.	July 2020-2022	IAEF Goal 1 IAEF Strategy 1.2.	<ul style="list-style-type: none"> <li>Equality and equity</li> <li>Institutional Integrity</li> </ul>
	2. Support implementation of the Barburin Beek new governance structure and strategic plan, including the appointment of staff.	Community and Social Planning with partners.	July 2020-2022	IAEF Goal 1 IAEF Strategy 1.2.	<ul style="list-style-type: none"> <li>Equality and equity</li> </ul>
	3. Support the hosting of a series of community meetings at Barburin Beek around key issues affecting Aboriginal communities (i.e. employment, justice, health, education, land).	Aboriginal Social Planner, Community and Social Planning.	July 2020-2022	IAEF Goal 1 IAEF Strategy 1.2.	<ul style="list-style-type: none"> <li>Equality and equity</li> <li>Race relations</li> <li>Historical acceptance</li> </ul>
	4. Develop strong partnerships to support ongoing developments and sustainable projects and programs at Barburin Beek.	Community and Social Planning.	July 2020-2022	IAEF Goal 1 IAEF Strategy 1.2.	<ul style="list-style-type: none"> <li>Equality and equity</li> <li>Institutional Integrity</li> </ul>
<b>1.2.</b> Identify gaps in Aboriginal service provision and engage	1. Establish regular meetings for Council staff servicing Aboriginal people to meet and discuss service strategies and customer needs.	Community and Social Planning.	July 2020-2022	IAEF Goal 2 IAEF Strategy 2.1.	<ul style="list-style-type: none"> <li>Equality and equity</li> <li>Institutional Integrity</li> <li>Race relations</li> </ul>

**INNOVATE RECONCILIATION ACTION PLAN**  
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<p><b>1.3.</b> Work with Aboriginal and Torres Strait Islander artists and community/arts groups to promote and support Aboriginal arts and culture.</p>	<p>2. Develop partnerships with external service stakeholders servicing Aboriginal people to share and exchange knowledge (i.e. mainstream or Aboriginal controlled organisations).</p>	<p>Aboriginal Social Planner, Community and Social Planning, Staff servicing ATSI communities.</p>	<p>July 2020-2022</p>	<p>IAEF Goal 2 IAEF Strategy 2.1.</p>	<ul style="list-style-type: none"> <li>Equality and equity</li> <li>Institutional integrity</li> <li>Race relations</li> </ul>
	<p>1. Develop resources for working with Aboriginal artists and artworks, specifically to protect artists' intellectual property and develop guidelines for understanding and managing Aboriginal cultural appropriation.</p>	<p>Arts and Culture, Community and Social Planning.</p>	<p>July 2020-2022</p>	<p>IAEF Goal 4 IAEF Strategy 4.1.</p>	<ul style="list-style-type: none"> <li>Unity</li> <li>Equality and equity</li> <li>Institutional integrity</li> </ul>
	<p>2. All major Council festivals to include an Aboriginal cultural component.</p>	<p>Arts and Culture, Community and Social Planning.</p>	<p>July 2020-2022</p>	<p>IAEF Goal 4 IAEF Strategy 4.1.</p>	<ul style="list-style-type: none"> <li>Institutional integrity</li> <li>Unity</li> <li>Equality and equity</li> </ul>
	<p>3. Develop a program to support Aboriginal artists and related community groups to build capacity and access economic opportunities.</p>	<p>Arts and Culture, Community and Social Planning.</p>	<p>July 2020-2022</p>	<p>IAEF Goal 4 IAEF Strategy 4.1.</p>	<ul style="list-style-type: none"> <li>Equality and equity</li> <li>Institutional integrity</li> </ul>
	<p>4. Host an Indigenous Remembrance Day event to recognise and honour First Nations soldiers.</p>	<p>Aboriginal Social Planner, Community and Social Planning (Lead) Arts and Culture (support only).</p>	<p>July 2020-2022</p>	<p>IAEF Goal 4 IAEF Strategy 4.1.</p>	<ul style="list-style-type: none"> <li>Historical acceptance</li> <li>Race relations</li> <li>Unity</li> </ul>
<p>5. Inclusion and presence of Aboriginal culture within Ivanhoe Library and Cultural Hub.</p>	<p>Arts &amp; Culture.</p>	<p>July 2020-2022</p>	<p>IAEF Goal 4 IAEF Strategy 4.1.</p>	<ul style="list-style-type: none"> <li>Institutional integrity</li> <li>Unity</li> <li>Equality and equity</li> </ul>	

**INNOVATE RECONCILIATION ACTION PLAN**  
**Marn-baddool Djerring** Let's work together



<p><b>1.4.</b> Conduct events during Reconciliation Week to increase awareness across the organisation and municipality.</p>	<p>1. Collaborate with internal/external stakeholders to host and support Reconciliation week and NAIDOC week events for Council staff and Banyule residents, organisations and community.</p>	Community and Social Planning, Arts and Culture.	July 2020-2022	IAEF Goal 4 IAEF Strategy 4.1.	<ul style="list-style-type: none"> <li>Historical acceptance</li> <li>Race relations</li> <li>Unity</li> </ul>	
	<p><b>1.5.</b> Increase and promote Banyule Aboriginal community consultation, inclusion and issues.</p>	<p>1. Provide opportunities for Council's Mayor and CEO to better understand Aboriginal community issues, including meetings with Aboriginal community members.</p> <p>2. Increase the promotion of Aboriginal stories in the Banyule Banner publication.</p>	Aboriginal Social Planner, BATSIAAC.	July 2020-2022	IAEF Goal 4 IAEF Strategy 4.2.	<ul style="list-style-type: none"> <li>Race relations</li> <li>Institutional Integrity</li> <li>Equality and equity</li> </ul>
	<p>3. Increase Aboriginal community voice and participation in Council Climate Change initiatives.</p>	Environment Team, BATSIAAC, Barburin Beek, Aboriginal Social Planner, Community and Social Planning.	July 2020-2022	IAEF Goal 4 IAEF Strategy 4.2.	<ul style="list-style-type: none"> <li>Institutional Integrity</li> <li>Unity</li> </ul>	
<p><b>1.6.</b> Continue to support and extend resources to the Banyule Aboriginal and Torres Strait Islander Advisory Committee (BATSIAAC).</p>	<p>1. Council is committed to providing ongoing support and resources to BATSIAAC to enable them to provide advice to Council on Inclusion, Access and Equity issues facing Aboriginal people, and on the implementation and review of Council's RAP 2020-2022.</p>	Community and Social Planning, Aboriginal Social Planner.	July 2020-2022	IAEF Goal 5 IAEF Strategy 5.1.	<ul style="list-style-type: none"> <li>Institutional Integrity</li> <li>Equality and equity</li> <li>Unity</li> </ul>	
	<p><b>1.7</b> Continue to build and strengthen relationship with Reconciliation Banyule.</p>	<p>1. Establish a partnership Agreement between Council and Reconciliation Banyule.</p>	Community and Social Planning.	July 2020-2022	IAEF Goal 5 IAEF Strategy 5.1.	<ul style="list-style-type: none"> <li>Institutional Integrity</li> </ul>




  
**INNOVATE RECONCILIATION ACTION PLAN**  
**Marn-baddool Djerring Let's work together**  
**JULY 2020 - 2022**

<b>1.8.</b> Participate in state and local Aboriginal advocacy groups.	1. Council will actively participate in and host local government regional network meetings.	Community and Social Planning, Aboriginal Social Planner.	July 2020-2022	IAEF Goal 5 IAEF Strategy 5.2.	<ul style="list-style-type: none"> <li>• Historical acceptance</li> <li>• Unity</li> <li>• Race relations</li> </ul>
	2. Council staff will attend and participate in Local Aboriginal Network (LAN) Meetings.	Aboriginal Social Planner, Social Enterprise and Local Jobs.	July 2020-2022	IAEF Goal 5 IAEF Strategy 5.2.	<ul style="list-style-type: none"> <li>• Race relations</li> <li>• Institutional Integrity</li> </ul>
	3. Council staff to attend and participate in at least one annual Reconciliation Victoria meeting.	Community and Social Planning.	July 2020-2022	IAEF Goal 5 IAEF Strategy 5.2.	<ul style="list-style-type: none"> <li>• Institutional Integrity</li> </ul>

### 3. OPPORTUNITIES

Council has a dedicated Inclusion Access & Equity Framework which highlights our commitment to increasing access, inclusion and participation of Aboriginal and Torres Strait Islander peoples, organisations and communities. Our Council Plan also highlights this commitment, under the People and Participation themes and the *Strong Health and Inclusive communities* and *Engagement and Advocacy* strategies.

Action	Deliverables	Responsibility	Timeline	Council IAEF Goal & Strategy	Reconciliation 5 Dimensions
1.1. Promote funding opportunities to support Aboriginal leadership development, access and participation.	1. Identify and promote Council grants and funding to increase Aboriginal participation, including cultural awareness, leadership, sport and recreational activities and opportunities.	Community and Social Planning, Banyule Community Liaison Officer.	July 2020-2022	IAEF Goal 3 IAEF Strategy 3.3.	• Equality and equity
	2. Identify and promote external funding opportunities to support Aboriginal leadership and participation.	Community and Social Planning, Banyule Aboriginal Social Planner.	July 2020-2022	IAEF Goal 3 IAEF Strategy 3.3.	• Equality and equity
	3. Identify and promote organisations that can support Aboriginal communities with skill development opportunities and grant writing support.	Postcode 3081, Banyule Aboriginal Social Planner, Community and Social Planning.	July 2020-2022	IAEF Goal 3 IAEF Strategy 3.3.	• Equality and equity
1.2. Investigate and create Aboriginal employment pathways and opportunities.	1. Continue campaign to attract and recruit Aboriginal job seekers into Council's Inclusive Employment Program (IEP).	Local Jobs	July 2020-2022	IAEF Goal 1 IAEF Strategy 1.4.	• Equality and equity
	2. Support Aboriginal people to access work experience, student placements and structured workplace learning programs at Council.	Local Jobs, Banyule Aboriginal Social Planner.	July 2020-2022	IAEF Goal 1 IAEF Strategy 1.4.	• Equality and equity

<p><b>1.3.</b> Investigate, develop and implement strategies for Aboriginal youth.</p>	<p>3. Host an Aboriginal employment event. Invite Aboriginal Employment Service Providers, guest speakers and local Banyule businesses to participate and network at event.</p>	<p>Community and Social Planning, Local Jobs, Economic Development, People and Culture.</p>	<p>July 2020-2022</p>	<p>IAEF Goal 1 IAEF Strategy 1.4.</p>	<ul style="list-style-type: none"> <li>Equality and equity</li> </ul>
	<p>4. Continue to survey Council staff on Aboriginal cultural awareness and invite staff participation in Council's Aboriginal strategic projects.</p>	<p>Community and Social Planning, People and Culture.</p>	<p>July 2020-2022</p>	<p>IAEF Goal 1 IAEF Strategy 1.4.</p>	<ul style="list-style-type: none"> <li>Unity</li> <li>Historical acceptance</li> </ul>
	<p>1. Meet with and support staff from local organisations, at least quarterly, to discuss and support the wellbeing of ATSI young people.</p>	<p>Youth Services Team</p>	<p>July 2020-2022</p>	<p>IAEF Goal 2 IAEF Strategy 2.2.</p>	<ul style="list-style-type: none"> <li>Equality &amp; Equity</li> </ul>
	<p>2. Attend and provide support in the delivery of at least two youth events at Barburin-Beek Aboriginal Gathering Place in partnership with local organisations.</p>	<p>Youth Services Team</p>	<p>July 2020-2022</p>	<p>IAEF Goal 2 IAEF Strategy 2.2.</p>	<ul style="list-style-type: none"> <li>Equality and equity</li> <li>Race relations</li> </ul>
<p>3. Ensure Aboriginal and Torres Strait Islander young people are represented at the Banyule Youth Summit, including I delivering a consultation session pre-summit specifically for Aboriginal young people in conjunction with Banyule Community Health.</p>	<p>Youth Services Team</p>	<p>July 2020-2022</p>	<p>IAEF Goal 2 IAEF Strategy 2.2.</p>	<ul style="list-style-type: none"> <li>Equality and equity</li> <li>Race relations</li> </ul>	
<p>4. Deliver a range of accessible, inclusive, unstructured recreational opportunities that mitigate as many barriers as possible with the aim to promote positive wellbeing and social connectedness.</p>	<p>Youth Services Team</p>	<p>July 2020-2022</p>	<p>IAEF Goal 2 IAEF Strategy 2.2.</p>	<ul style="list-style-type: none"> <li>Equality and equity</li> <li>Race relations</li> </ul>	

**INNOVATE RECONCILIATION ACTION PLAN**  
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<p><b>1.4.</b>                  Increase the participation of Aboriginal families in early years services with a focus on Maternal and Child Health and Kindergarten.</p>	<p>5. Work in partnership with relevant services and stakeholders to establish an after-school-hours Aboriginal Youth diversionary program.</p>	<p>Youth and Family Services, Koorie Education Support Officers (KESOs), Postcode 3081.</p>	<p>July 2020-2022</p>	<p>IAEF Goal 2 IAEF Strategy 2.2.</p>	<ul style="list-style-type: none"> <li>Equality and equity</li> </ul>
	<p>1. Maintain processes and systems to ensure Aboriginal children have priority of access to four-year old kindergarten positions.</p>	<p>MCH Family Support, Early Years</p>	<p>July 2020-2022</p>	<p>IAEF Goal 2 IAEF Strategy 2.2.</p>	<ul style="list-style-type: none"> <li>Equality and equity</li> </ul>
	<p>2. Promote early start kindergarten and make available reserved places to accommodate Aboriginal children who require education and care.</p>	<p>MCH Family Support, Early Years</p>	<p>July 2020-2022</p>	<p>IAEF Goal 2 IAEF Strategy 2.2.</p>	<ul style="list-style-type: none"> <li>Equality and equity</li> </ul>
	<p>3. Promote collaboration between early years professionals (MCH, educators, playgroup facilitators, allied health) to support Aboriginal children to access services that address the family's health, wellbeing, learning and development goals.</p>	<p>MCH Family Support, Early Years</p>	<p>July 2020-2022</p>	<p>IAEF Goal 2 IAEF Strategy 2.2.</p>	<ul style="list-style-type: none"> <li>Equality and equity</li> </ul>
	<p>4. Continue to deliver maternal child health services in partnership with Banyule Community Health Service to address the maternal and child health needs of Aboriginal families.</p>	<p>MCH Family Support, Early Years</p>	<p>July 2020-2022</p>	<p>IAEF Goal 2 IAEF Strategy 2.2.</p>	<ul style="list-style-type: none"> <li>Equality and equity</li> </ul>
<p>5. Continue to work in partnership with Banyule Community Health Service and Mercy Hospital to deliver a supported playgroup for Aboriginal families and make best use of Aboriginal specific parenting resources (smalltalk).</p>	<p>MCH Family Support, Early Years</p>	<p>July 2020-2022</p>	<p>IAEF Goal 2 IAEF Strategy 2.2.</p>	<ul style="list-style-type: none"> <li>Race relations</li> <li>Equality and equity</li> </ul>	

<p><b>1.5.</b> Increase access, inclusion and opportunities for Aboriginal suppliers.</p>	6.	Work with relevant stakeholders to develop a toolkit that supports Banyule early childhood services to identify and include Aboriginal books in their services.	MCH Family Support, Early Years	July 2020-2022	IAEF Goal 2 IAEF Strategy 2.2.	<ul style="list-style-type: none"> <li>• Unity</li> <li>• Historical acceptance</li> <li>• Race relations</li> </ul>	
	<p><b>1.5.</b> Increase access, inclusion and opportunities for Aboriginal suppliers.</p>	1.	Develop a research project into Council's social procurement practices with view to developing and adopting Aboriginal procurement targets.	Procurement, Community and Social Planning.	July 2020-2022	IAEF Goal 3 IAEF Strategy 3.1.	<ul style="list-style-type: none"> <li>• Equality and equity</li> </ul>
		2.	Host an Aboriginal supplier event.	Social Enterprise, Procurement, Community and Social Planning, Aboriginal Social Planner.	July 2020-2022	IAEF Goal 3 IAEF Strategy 3.1.	<ul style="list-style-type: none"> <li>• Equality and equity</li> </ul>
		3.	Council to research and build a business case to invest in Aboriginal supplier memberships.	Procurement, Social Enterprise	July 2020-2022	IAEF Goal 3 IAEF Strategy 3.1.	<ul style="list-style-type: none"> <li>• Equality and equity</li> </ul>
		4.	Aboriginal supplier panel and directory to be established to support Council business units to access suppliers.	Community and Social Planning, Aboriginal Social Planner, Procurement.	July 2020-2022	IAEF Goal 3 IAEF Strategy 3.1.	<ul style="list-style-type: none"> <li>• Equality and equity</li> </ul>
		5.	Explore tailored social enterprise partnerships to create local employment and training opportunities for Aboriginal job seekers.	Social Enterprise Team	July 2020-2022	IAEF Goal 3 IAEF Strategy 3.1.	<ul style="list-style-type: none"> <li>• Equality and equity</li> </ul>
<p><b>1.6.</b> Include and promote Aboriginal nominees in Banyule Awards</p>	1.	Identify Banyule Aboriginal residents, services and organisations making a positive contribution to the community and nominate them for Council and other local, state, national awards.	BATSJAC with support from Community and Social Planning.	July 2020-2022	IAEF Goal 4 IAEF Strategy 4.2.	<ul style="list-style-type: none"> <li>• Unity</li> <li>• Equality and equity</li> </ul>	

## Evaluation & Measurement Table 1

### Our shared approach:

Banyule Council in collaboration with BATSAC will review and evaluate all elements of our RAP against the following internal and external strategic measurements:

#### Council IAEF Goals and strategies

Actions and Deliverables	Strategic Measurement	Description	Reporting approach
All RAP Actions and Deliverables	<a href="#">IAEF Goals and Strategies</a>	Council's Inclusion Access and Equity Framework (IAEF) goals and strategies are embedded into the RAP to enable the whole of Council to achieve the IAEF goals alongside the RAP actions and deliverables.	The Community and Social Planning Team and BATSAC will review outcomes of RAP deliverables against the IAEF Goals and Strategies that have been designated to each RAP Action to determine if Council and Community objectives have been met.

#### Reconciliation Australia Five Dimensions of Reconciliation

Actions and Deliverables	Strategic Measurement	Description	Reporting approach
All RAP Actions and Deliverables	<a href="#">Five Dimensions of Reconciliation</a>	As per Reconciliation Australia's vision of national reconciliation based on <a href="#">five critical dimensions</a> : Race relations, equality and equity, institutional integrity, unity and historical acceptance. These five dimensions have been assigned to each RAP action and deliverable.	The Community and Social Planning Team and BATSAC will annually review outcomes of RAP deliverables against the Reconciliation Australia's five critical dimensions.

#### Council Plan

RAP Pillars	Strategic Measurement	Description	Reporting approach
Respect Relationships Opportunities	Council Plan Themes & Strategies	Each of the respective RAP Pillar themes align with themes and strategies within the Banyule Council Plan.	The Community and Social Planning Team and BATSAC to annually review RAP outcomes against Council Plan themes and strategies.



**INNOVATE RECONCILIATION ACTION PLAN**

**Marn-baddool Djerring** Let's work together

**JULY 2020 - 2022**

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## **Reconciliation Australia reports**

Council and BATSIAC will collectively meet Reconciliation Australia's annual RAP reporting requirements as follows:

1. **Complete Reconciliation Australia's annual RAP Impact Measurement Questionnaire.**
2. **Report on RAP Progress to all Council staff and senior leaders on a quarterly basis.**
3. **Publicly report on Council's RAP achievements, challenges and learnings annually.**
4. **Optionally take part in Reconciliation Australia's biennial Workplace RAP Barometer.**

BATSIAC will meet on a bi-monthly basis to review RAP developments and advise on decision-making.

## Appendix

### Use of Terms

Banyule Council recognises the diversity of Aboriginal and Torres Strait Islander people living throughout Banyule and we respect the rights of Aboriginal and Torres Strait Islander people to define themselves.

In this document, we use the term **Traditional owners and custodians** in context with Banyule to reflect Aboriginal people who are descendants of the Wurundjeri Woi-wurrung nation.

Council also recognises there are many Traditional owners and custodians that live in Banyule, who are descendants of many other First Nations peoples and language groups.

The term **Aboriginal** is used within this booklet to include all people of Aboriginal and Torres Strait Islander descent.

**First Nations peoples** refers to original peoples that for many thousands of centuries worked the land, sea and waterways and had their own specific names and languages prior to British colonisation of Australia.

#### **Traditional Owner corporations**

Reference to Traditional Owner Corporations within this document relates to the Wurundjeri Woi-wurrung Aboriginal Cultural Heritage Aboriginal Corporation.

Victorian Traditional Owner Corporations are comprised of Aboriginal people with cultural and traditional associations to their Countries. Traditional Owners have strong connections to Country across land, waters and sea, including cultural and natural resources. Traditional Owners are actively involved in caring for Country and managing and protecting Aboriginal Cultural Heritage. Banyule Council is committed to recognising Traditional Owners as the rightful decision-makers for their cultural heritage.

#### **Registered Aboriginal Parties**

One of the ways Aboriginal people express their ongoing connection to the land is through active involvement in the protection and management of cultural heritage places. Registered Aboriginal Parties are established under the *Aboriginal Heritage Act 2006*, which recognises Aboriginal people as the primary guardians and knowledge holders of Aboriginal cultural heritage. Registered Aboriginal Parties have significant statutory responsibilities.



**INNOVATE RECONCILIATION ACTION PLAN****Mam-badool Djerring** Let's work together**JULY 2020 - 2022**

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**Aboriginal Controlled Community Organisations**

An Aboriginal Community Controlled Organisation is an incorporated Aboriginal organisation, initiated, based in and governed by, the local Aboriginal community to deliver holistic and culturally appropriate services to the Aboriginal community that controls it.

**Local Aboriginal Networks**

Local Aboriginal Networks are made up of Aboriginal people who work together to provide a voice for their community, promoting partnerships and collaborative action at a local level. Local Aboriginal Networks are supported by Aboriginal Victoria and provide a strong foundation to build on the strengths of Aboriginal people.

**BATSIAC**

BATSIAC is used throughout this document to refer to members of the Banyule Aboriginal and Torres Strait Islander Advisory Committee. BATSIAC includes residents, community leaders from Banyule's Aboriginal and Torres Strait Islander communities, local services and organisations. The collective aim of BATSIAC is to provide Council with advice and information on inclusion, access and equity issues facing the Aboriginal and Torres Strait Islander communities and to support the development and implementation of Council's Aboriginal and Torres Strait Islander strategies and reconciliation action plans.



Clause 52.17 Native Vegetation

Native vegetation requirements and guidelines are stipulated in Clause 52.17 of The Scheme. A planning permit is required to remove, destroy or lop native vegetation, including dead vegetation.

The application is accompanied by a Biodiversity Assessment Report prepared by Applied Botany, Zoology and Ecological Consulting, dated March 2020.

The report uses the Native Vegetation Management System (NVIM) to indicate that this application follows the basic pathway. The extent of native vegetation meets the basic assessment pathway as the patch of native vegetation proposed for removal is less than 0.5 hectares in area.

The report highlights that the Council reserve has been highly modified due to its use for sporting facilities and recreation and the ground around the native tree patch is absent of understorey vegetation. As such, the patch on native vegetation is not considered to provide significant habitat for rare or threatened fauna. The vegetation itself is considered to be in poor condition given the land disturbance and lack of understorey vegetation.

A summary of the proposed vegetation removal is provided below.

Table 3. Summary of Assessed Native Vegetation losses (source DELWP 2020)

Description	
Location	1
Extent – Patch vegetation (hectares)	0.02
Number of Large trees in patches	0
Total number of scattered trees	0
Assessment Pathway	Basic
Strategic Biodiversity Value	0.260

Table 4. Offset targets for planned vegetation losses

Offset requirements		
Offset type	General habitat units (GHUs)	
Offset amount	0.002 GHUs	
Large Trees	0	
Offset Attributes		
Vicinity	The offset site must be located within the same Catchment Management Authority (CMA) boundary or the same municipal district as the native vegetation to be removed.	Port Phillip and Westernport CMA or Banyule City Council
Minimum Strategic Biodiversity Value (SBV) score	The SBV score of the offset site must be at least 80 per cent of the strategic biodiversity value score of the native vegetation to be removed	0.208

An offset is required as a result of the removal of native vegetation, this can be included as a condition on any permit issued. This includes securing general offsets of 0.02 general habitat units, with a minimum strategic biodiversity score of 0.260. Replacement trees will need to be provided either within the municipal boundary, or alternatively the Port Phillip and Westernport Catchment Management Authority (CMA) area. The exact offset amount will not be specified in the approval conditions as it is subject to change should further tree retention be feasible.





## NOTICE OF AN APPLICATION FOR PLANNING PERMIT

The land affected by the application is located at:

2 Cavanagh Road LOWER PLENTY

*(Insert the location of the land)*

The application is for a permit to:

Removal of native vegetation in the Environmental Significance Overlay (Schedule 1) and pursuant to Clause 52.17 'Native Vegetation'

*(Insert the use, development, or other matter applied for)*

The applicant for the permit is:

Banyule City Council

*(Insert name of applicant for the permit)*

The application reference number is:

P219/2020 PT1

*(Insert reference number)*

You can view the documents ONLINE at:

**Online at: [www.banyule.vic.gov.au/planningpublicnotices](http://www.banyule.vic.gov.au/planningpublicnotices)**

Alternatively, you can visit BANYULE CITY COUNCIL's OFFICE

at **1 Flintoff Street, Greensborough VIC 3088**

Monday to Friday, 8.30am to 5.00pm

to view the plans and documents on our online kiosk during office hours free of charge.

**Any person who may be affected by the granting of the permit may object or make other submissions to the Responsible Authority via post or Council's website.**

### Objection Submission Details

Lodge Online at: [www.banyule.vic.gov.au/planningpublicnotices](http://www.banyule.vic.gov.au/planningpublicnotices)

Or mail to: Banyule City Council

**PO Box 94, Greensborough VIC 3088**

Phone: (03) 9457 9808

**An objection must:**

- \* be sent to the Responsible Authority in writing
- \* include the reasons for the objection, and
- \* state how the objector would be affected.

**Please be aware Council must make available copies of every objection/submission received at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.**

The Responsible Authority will not decide on the application before:

*(Insert a date which is at least 14 days from the date the last notice under Section 32(1) of the Act is to be given)*

If you object, the Responsible Authority will tell you its decision

ADVERTISED PLAN

Application No. P219/2020

**29 May 2020** is made available for the sole purpose of enabling its consideration and review

as part of a planning process under the Planning Environment Act 1987.

The document must not be used for any purpose which may breach any copyright.



Received  
26/02/2020

## APPLICATION FOR TREE REMOVAL/PRUNING PLANNING PERMIT

Office use only:

\$.....  
AMOUNT                      RECEIPT NO.                      DATE RECEIVED                      APPLICATION NUMBER

Use this form to assist you in making an application and provide the information required by Section 47 of the Planning and Environment Act 1987 and Section 15 of the Planning and Environment Act Regulations 2005.

If you propose to use, develop or subdivide land, or have any questions in relation to this application for tree removal/pruning, you should discuss your proposal in detail with one of Banyule's development planners at 44 Turnham Avenue, Rosanna (Ph. 9457 9808) prior to lodging an application.

**STOP – Before completing this form:**  
**Did you know that you can save time by lodging this application on-line?**  
**If you wish to lodge online, please go to: <http://www.banyule.vic.gov.au/EARTH>**

**THE APPLICANT**

*Who is making this application?*

Give your full name or the name of the company making the application, as well as the full postal address, contact number and email address (if applicable).

Name	Alvin Lau		
Postal Address			
Email address:	alvin.lau@banyule.vic.gov.au	Telephone number during business hours:	0466 678 975

**THE LAND**

*What is the address of where the tree is located? Give the address of the land.*

2 Cavanagh Street, Lower Plenty VIC
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**THE PROPOSAL**

Give a full description of the location of the tree(s) to be removed or pruned, including species if known.

NUMBER OF TREES TO BE REMOVED: <b>8</b> COMMON NAME/SPECIES OF TREES IF KNOWN <b>Eucalyptus Melliodora</b>	JUSTIFICATION FOR REMOVAL: (If multiple trees, refer to site plan) <b>Encroachment due to pavilion construction and site constraints.</b>
NUMBER OF TREES TO BE PRUNED: <b>TBC</b> COMMON NAME/SPECIES OF TREES IF KNOWN: <b>Eucalyptus Melliodora</b>	JUSTIFICATION FOR PRUNING: (If multiple trees, refer to site plan) <b>Tree canopy not allowed to overhang structure, advice from Building Surveyor.</b>

**DANGEROUS ANIMALS**

Describe any aggressive animals that are currently located at this address which may impede a site inspection.

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-----	---

Amended 26/10/16

Received  
26/02/2020

**ACCESS**

*Will access need to be arranged to inspect the tree (i.e. tree is located in a secured backyard)?*

Access arrangement required?     yes     no

Contact person: **Alvin Lau**

Contact phone number: **0466 678 975**

**THE OWNER**

**A.** Is the owner the applicant?     Yes     No

*If No, provide the required details of the owner and complete either box B or C.*

Name: <b>Banyule City Council</b>	
Address: <b>2 Cavanagh Street, Lower Plenty VIC</b>	
Telephone number during business hours: <b>0466 678 975</b>	
<b>B.</b> I am the owner of the land. I have seen this application.	Owner's Signature  Date: / /
<b>C.</b> I/We the Applicant declare that I/We have notified the owner about this application.	Applicant's Signature <b>A. Lau</b>  Date: / / <b>26/02/2020</b>

**INFORMATION CHECKLIST**

*Have you supplied all the relevant information?*

**YOU MUST GIVE FULL DETAILS** of your proposal and provide one copy of a plan of the property indicating trees to be removed or pruned. If you do not give enough detail or give a suitable description of the proposal, you will be asked for more information. This **WILL DELAY** your application.

**HAVE YOU:**

- Answered all the questions on this form?
- Included payment to cover the application fee (195.10)?
- Attached copy of the plan of the property indicating trees to be removed/pruned (next page)?
- If requesting tree removal, you must indicate any replacement planting. **Replacement planting locations to be determined.**  
If no replacement planting is proposed, please provide a reason.
- Attached an independent arborist report if the proposal includes removal of more than 3 trees or any tree listed on Banyule's Significant Tree Register listed in the Environmental Significance Overlay (Schedule 4).

**DECLARATION TO BE COMPLETED FOR ALL APPLICATIONS:**

**REMEMBER** it is against the law to give false or misleading information. You may receive a heavy fine and your permit may be cancelled.

I declare that all the information I have given is true.	Applicant's Signature
Date: ...../...../..... <b>26/02/2020</b>	<b>A. Lau</b>

Send the completed form and all the documents to the Responsible Authority:

Banyule City Council  
PO Box 51  
IVANHOE VICTORIA 3079

Telephone (03) 9457 9808  
TTY (03) 9432 7211  
Facsimile (03) 9457 4705  
Email devplan@banyule.vic.gov.au

**Continued**

ADVERTISED PLAN  
Application No. P219/2020  
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**PLAN OF THE PROPERTY INDICATING TREES TO BE REMOVED/PRUNED**

*Sketch the layout of the site (see over page for an example of what is required.), indicating:*

- 1) *The location of (numbered) tree(s) to be removed or pruned*
- 2) *Distance of subject trees from a fixed object eg. house or fence*
- 3) *Accurate location of the dwelling, outbuildings and fences in relation to the property boundaries.*
- 4) *The location and name of the street frontage(s)*
- 5) *The approximate location of magnetic North*
- 6) *Access points and if access is readily available*

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See online application for all relevant documentation.

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*Continued*



Form Name: Application for a VICSMART Planning Permit  
Submission Time: February 25, 2020 5:09 pm

Received  
25/02/2021

**Need help with the application?**

Has there been a formal meeting or discussion with a Council officer with regard to the application? No

**The Land**

Street Number 2  
Street Name Cavanagh  
Formal Land Description Street  
Suburb/Locality Lower Plenty  
Postcode 3093  
<b>Formal Land Description - this information can be found on the certificate of title.</b> Lot Number  
Lot Number 3  
lot 50510

**The Proposal**

For what use, development or other matter do you require the permit? Removal of 8 x trees  
Have you clicked the above 'upload files' button? Have you clicked the above 'upload files' button?  
Estimated cost of development for which the permit is required 768000.00

**Existing Conditions**

Please provide details of the existing conditions Demolition of existing pavilion, and removal of 8 x trees

**Title Information**

Title information upload. [https://s3.amazonaws.com/files\\_formstack.com/uploads/2438135/44655518/584648643/44655518\\_20200225-glenauburn-title\\_certificate\\_landdata.pdf](https://s3.amazonaws.com/files_formstack.com/uploads/2438135/44655518/584648643/44655518_20200225-glenauburn-title_certificate_landdata.pdf)

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Does the proposal breach, in any way, an encumbrance on title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope? No

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25/02/2021

### Applicant and Owner Details

First Name	Alvin
Last Name	Lau
Organisation (if applicable)	Banyule City Council
Street Number	1
Street Name	Flintoff
Street Type.	Street
Suburb/Locality	Greensborough
City	Melbourne
State	Victoria
Post Code	3088
Email 1	alvin.lau@banyule.vic.gov.au
Phone	(03) 9433 7750

### Contact Persons Details

Is the contact person the same as the applicant? Yes

### Owner

Is the owner the same as applicant? Yes

### VICSMART Planning Permit fees

The development for which the permit is 199.90

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Application No. P219/2020

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Nominate the VicSmart planning permit requirement (there may be more than one). ?State VicSmart permit requirements are listed in Clause 59. Local VicSmart permit requirements are listed in the schedule to Clause 59

Minor subdivision, minor buildings and works, painting or tree lopping in a Heritage Overlay

**Received  
25/02/2021**

---

### Planning Privacy Collection Notice

Name	Alvin Lau
Signature	I agree
Date	25 Feb 2020

---

### Payment Due

Total due	199.90
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---

### Payment

Consultant Payment Choice	Client
Client Name	Alvin Lau
Client Phone	(03) 9433 7750
Client Email	alvin.lau@banyule.vic.gov.au

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Application No. P219/2020

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**REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958**

VOLUME 09260 FOLIO 733

Security no : 124081837425F

Produced 25/02/2020 04:59 PM

**LAND DESCRIPTION**

Lot 1 on Title Plan 214032G.  
PARENT TITLE Volume 08279 Folio 575  
Created by instrument G972599 17/02/1978

**REGISTERED PROPRIETOR**

Estate Fee Simple  
Sole Proprietor  
BANYULE CITY COUNCIL of 275 UPPER HEIDELBERG ROAD IVANHOE VIC 3079  
AN474321X 19/01/2017

**ENCUMBRANCES, CAVEATS AND NOTICES**

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

**DIAGRAM LOCATION**

SEE TP214032G FOR FURTHER DETAILS AND BOUNDARIES

**ACTIVITY IN THE LAST 125 DAYS**

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

**ADMINISTRATIVE NOTICES**

NIL

eCT Control 09848K BANYULE CITY COUNCIL  
Effective from 19/01/2017

DOCUMENT END

<a href="#">Home</a>	Account: <b>324745</b>	Authority Fee (GST exclusive): <b>\$0.00</b>	25/02/2020 04:59PM
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Application No. P219/2020

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[https://www.landata.vic.gov.au/landata.net/img\\_document\\_response?searchstring=9260/...](https://www.landata.vic.gov.au/landata.net/img_document_response?searchstring=9260/...) 25/02/2020

	Service Fee(GST exclusive):	\$0.00
	GST Payable:	\$0.00
	Total:	\$0.00

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25/02/2020

Your reference: Glenauburn Reserve  
©State Government of Victoria.

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TITLE PLAN		EDITION 1	TP 214032G
Location of Land Parish: NILLUMBIK Township: Section: Crown Allotment: Crown Portion:  Last Plan Reference LP50510 Derived From: VOL 9260 FOL 733 Depth Limitation: NIL		Notations      ANY REFERENCE TO MAP IN THE TEXT MEANS THE DIAGRAM SHOWN ON THIS TITLE PLAN	
Description of Land / Easement Information <b>ENCUMBRANCES REFERRED TO</b>  As to the land coloured blue and purple-hatched <u>THE EASEMENTS</u> (if any) existing over the same by virtue of Section 98 of the Transfer of Land Act  As to the land coloured purple and blue-cross-hatched <u>ANY EASEMENTS</u> affecting the same  As to the land coloured green and green-hatched <u>THE EASEMENT</u> to State Electricity Commission of Victoria created by Instrument A69061  As to the land coloured blue-hatched and the said land coloured blue-cross-hatched green-hatched and purple-hatched <u>THE EASEMENT</u> to Melbourne and Metropolitan Board of Works reserved by Transfer G972599  SEE SHEET 2 FOR DIAGRAM		THIS PLAN HAS BEEN PREPARED FOR THE LAND REGISTRY, LAND VICTORIA, FOR TITLE DIAGRAM PURPOSES AS PART OF THE LAND TITLES AUTOMATION PROJECT COMPILED 10/11/1999 VERIFIED BH	
LENGTHS ARE IN METRES	Metres = 0.3048 x Feet		Sheet 1 of 2 sheets

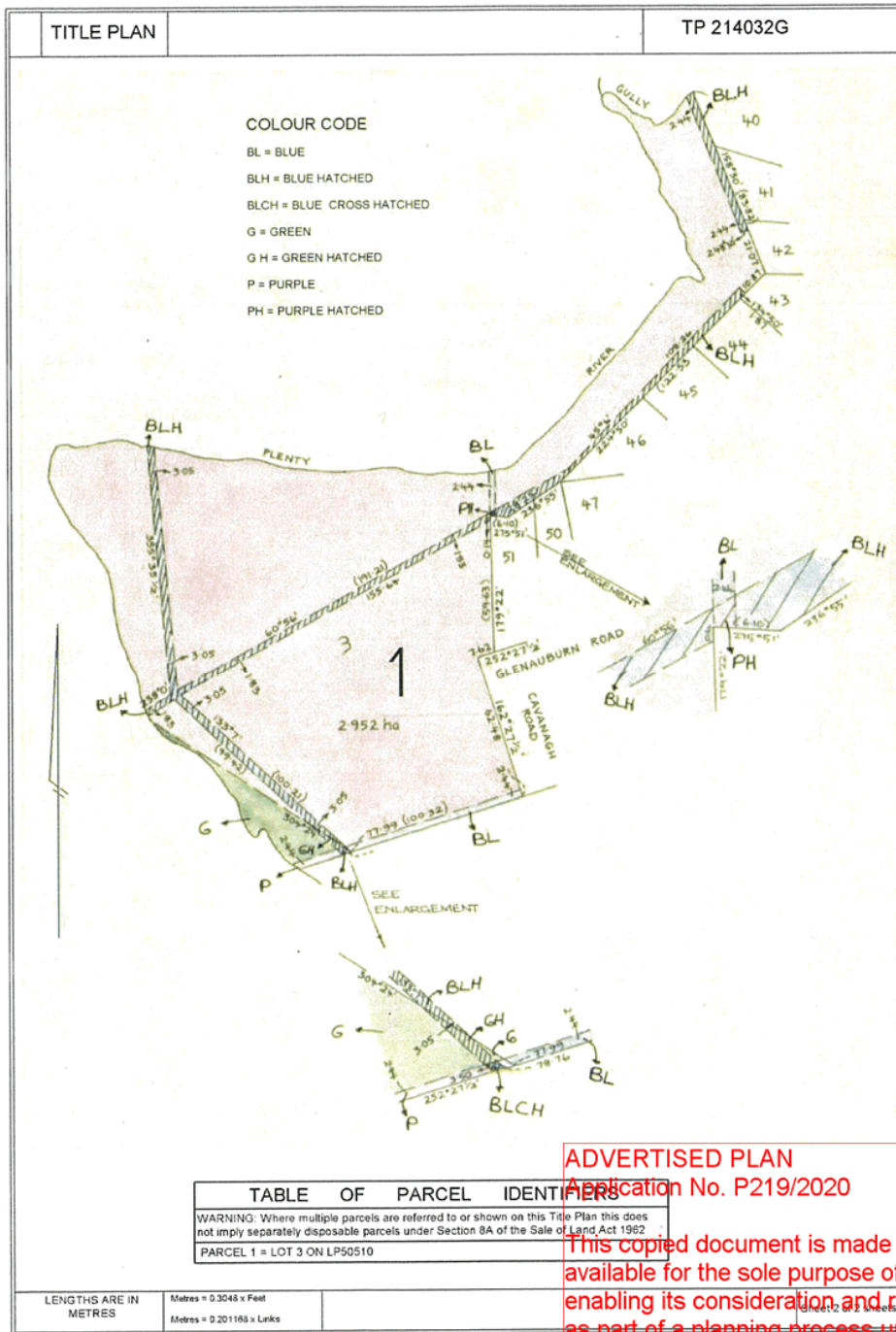
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Application No. P219/2020

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VICTORIA

REGISTER BOOK

VOL. 9260

FOL. 733  
25/02/2021

# Certificate of Title

UNDER THE "TRANSFER OF LAND ACT"

THE PRESIDENT COUNCILLORS AND RATEPAYERS OF THE SHIRE OF ELTHAM is now the --  
proprietor of an estate in fee simple subject to the encumbrances notified --  
hereunder in ALL THAT piece of land delineated and coloured red blue - - - - -  
blue-hatched blue-cross-hatched green green-hatched purple and purple-hatched-  
on the map on the sheet annexed hereto being Lot 3 on Plan of - - - - -  
Subdivision No.50510 Parish of Nillumbik County of Evelyn - - - - -

FOL.

VOL.

DATED the 17th day of February 1978

Assistant Registrar of Titles



## ENCUMBRANCES REFERRED TO

As to the land coloured blue and - - - - -  
purple-hatched - - - - -

THE EASEMENTS (if any) existing over the-  
same by virtue of Section 98 of the - - - - -  
Transfer of Land Act - - - - -

As to the land coloured purple and - - - - -  
blue-cross-hatched - - - - -

ANY EASEMENTS affecting the same - - - - -

As to the land coloured green and - - - - -  
green-hatched - - - - -

THE EASEMENT to State Electricity - - - - -  
Commission of Victoria created by - - - - -  
Instrument A69061 - - - - -

As to the land coloured blue-hatched and-  
the said land coloured blue-cross-hatched  
green-hatched and purple-hatched - - - - -

THE EASEMENT to Melbourne and - - - - -  
Metropolitan Planning and Assessment - - - - -  
Transfer G972599 - - - - -

ADVERTISED PLAN  
Application No. PD19/2020

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MEASUREMENTS ARE IN



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25/02/2020

PROPRIETOR  
BANYULE CITY COUNCIL  
275 UPPER HEIDELBERG RD.  
IVANHOE 3079

UB22875F 16/06/97

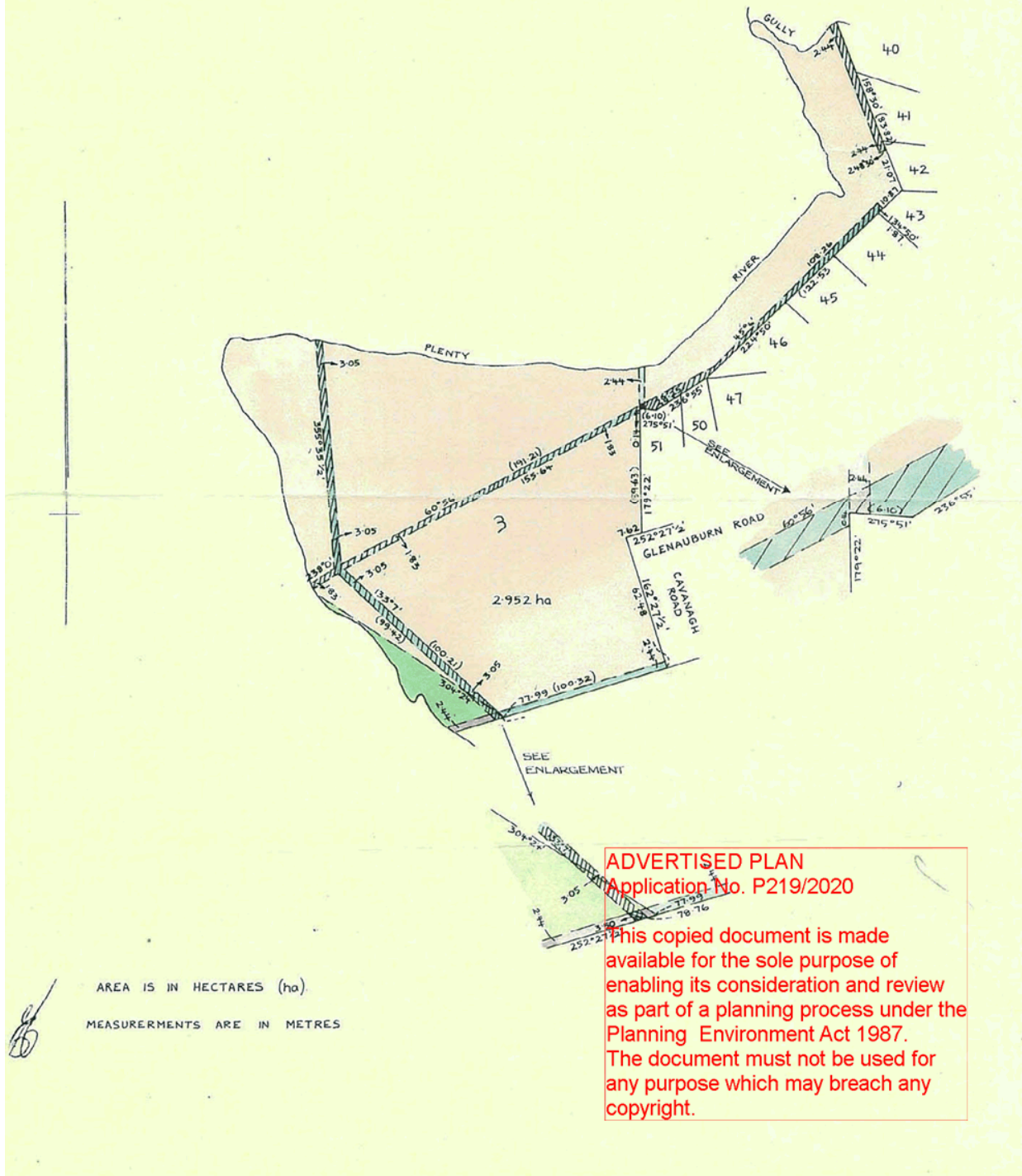


ADVERTISED PLAN  
Application No. P219/2020

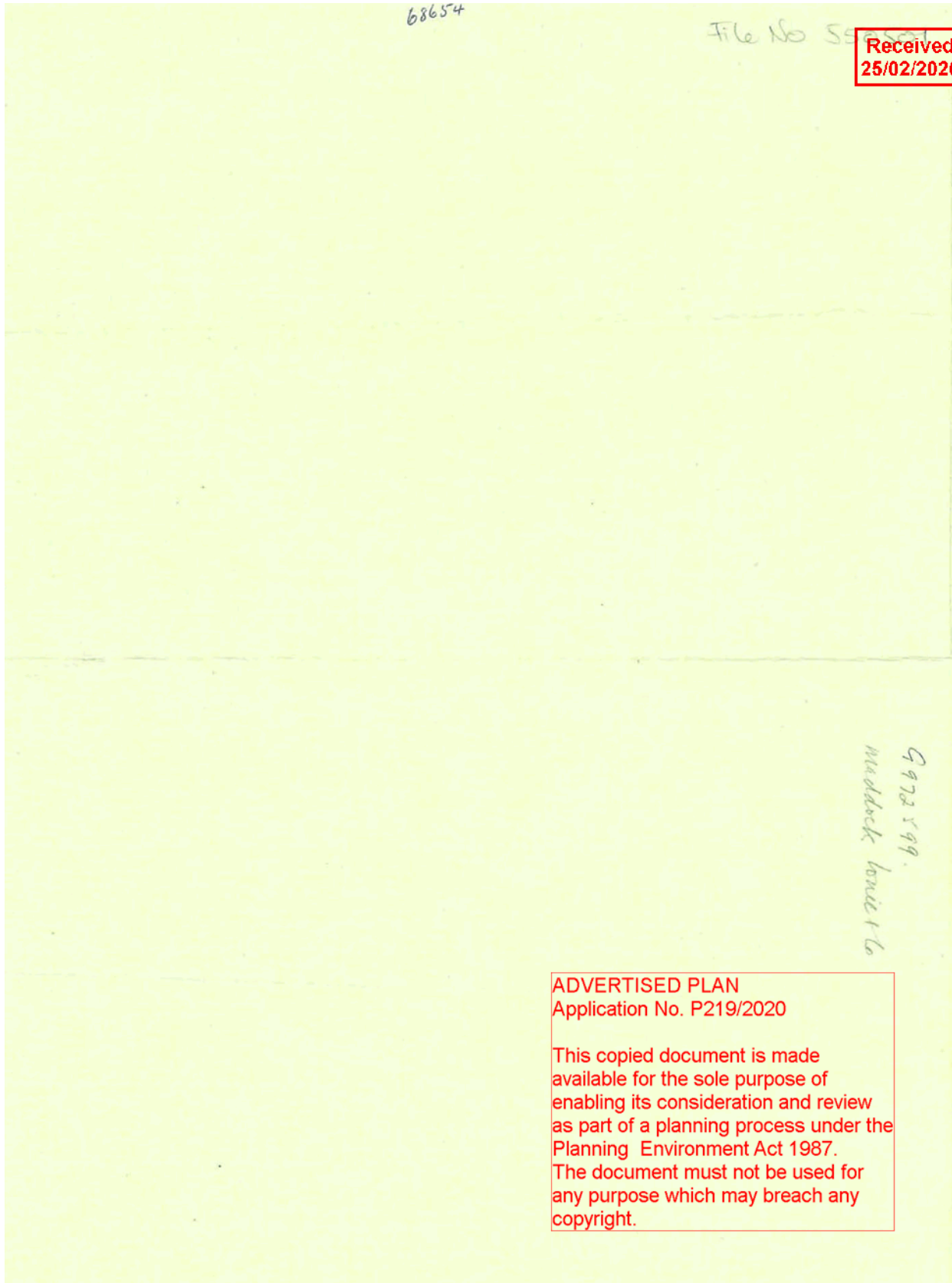
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ANNEXED SHEET REFERRED TO IN  
CERTIFICATE OF TITLE VOL. 9260 FOR 7399  
*Edmund*  
ASSISTANT REGISTRAR OF TITLES

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25/02/2021



AREA IS IN HECTARES (ha)  
MEASUREMENTS ARE IN METRES



21/1/15  
2/1/15

A 69061

A 69061

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No. N.X. 307

STATE ELECTRICITY COMMISSION OF VICTORIA  
E.O.

STATE ELECTRICITY COMMISSION OF VICTORIA  
VICTORIA.

*Ch. H. H. B. B. B.*

CREATION OF EASEMENT

*FOR COMMON*  
I, WE, GEORGE EDWARD JOHN GREEN Merchant and GLADYS PEARDON formerly of 22 Maittravers Road Ivanhoe but now of 22 Maittravers Road, Ivanhoe

(hereinafter referred to as "the Owners") being registered or entitled to be registered as the proprietors of an estate in fee simple in the land secondly hereinafter described subject to the encumbrances notified hereunder in consideration of the sum of FIVE POUNDS paid to ~~us~~ by the STATE ELECTRICITY COMMISSION OF VICTORIA (hereinafter called "the Commission") DO HEREBY TRANSFER AND GRANT unto the Commission and its successors and transferees the registered proprietor or proprietors for the time being of ALL THAT piece of land being ~~part of~~ Crown Allotment 38A Section A Parish of Narracan County of Buln Buln and being the whole of the land comprised in Crown Grant entered in the Register Book of the Office of Titles volume 5097 folio 351 ALL THAT the full and free right and liberty to and for it and them and its and their contractors servants agents and workmen to enter in and upon the land hereinafter described and to lay and erect thereon ~~with poles and wires~~ poles and wires ~~which poles shall be erected at such times as the Commission or its officers shall deem advisable and at such places as the Commission shall with its own surveyors deem to be the best and such wires and other apparatus and appliances as the Commission may require or desire (all of which poles wires apparatus and appliances are hereinafter referred to as "the said appliances") for the transmission of electricity (but so always that as to every line erected by the Commission on the land hereinafter described for the purposes of the transmission of electricity the lowest point of such line shall be ~~at least~~ <sup>about</sup> twenty two (22) feet above the surface of such land) AND ALSO to clear the land hereinafter described of obstructions including any buildings whatsoever and to carry out thereon such digging cutting and excavating as may be reasonably necessary for the bases or foundations of the said appliances and keeping the said bases or foundations free of the injurious accumulation of water AND ALSO from time to time to go pass and repass for all purposes aforesaid either with or without horses or other animals carts or other carriages through over and along ALL THAT piece of land delineated and coloured red on the plan drawn hereon being part of Lot 6 Block A on Plan of Subdivision No. 7606 and being part of Crown Portion 2, Parish of Nillumbik,~~

*Ch. H. H. B. B. B.*  
*Ch. H. H. B. B. B.*

1/2  
5742/208  
to  
5097/351

*Ch. H. H. B. B. B.*  
*Ch. H. H. B. B. B.*  
27/1/15

(which land is hereinafter referred to as the "servient tenement") AND ALSO to use the servient tenement and the said appliances for all purposes of and incidental to transmitting electricity AND ALSO to keep the servient tenement free of any buildings whatsoever and of obstructions (including any trees ~~or any structure~~ <sup>whatsoever</sup> or any structure ~~of any height~~ <sup>whatsoever</sup> ~~to transmitting electricity~~ <sup>to transmitting electricity</sup> safely and economically across the servient tenement at any time hereafter AND ALSO to maintain

FIG. 6-3, B.1.

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Application No. P219/2020

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*Edmund Green*  
*G.P. Green*  
*G.P. Green*  
*G.P. Green*

and to remove the said appliances PROVIDED ALWAYS that in the exercise of the foregoing powers of the Commission to maintain and to remove the said appliances the Commission shall do as little damage as may be and shall if required within two years from the exercise of the same make full compensation to the owner or the survivor of them or his or her heirs executors administrators or transferees for any damage sustained by him or them in consequence of such exercise of such powers such damage to be determined in default of agreement in manner provided in the *Lands Compensation Act 1928* AND PROVIDED FURTHER that the Commission will at all times hereafter keep indemnified the owner or the survivor of them and his and her heirs executors administrators and transferees from and against all damage injury or nuisance which may be caused or occasioned by the transmission of electricity on to or over the servient tenement through over or along the said appliances if such damage arise from any failure of the Commission to erect and maintain the said appliances in and according to a proper and safe manner and design in the light of present day knowledge or any cause being *vis major* the act of God or the act or neglect of any employee or agent or contractor of the Commission acting in the scope of his employment or in accordance with his authority AND PROVIDED FURTHER that nothing herein shall be deemed in any way to restrict limit or detract from any right power or authority of the Commission or its assigns under the State Electricity Commission Acts or any other Acts which now or hereafter may confer any rights duties powers or authorities on the Commission or its assigns.

Dated the *19<sup>th</sup>* day of *September* one thousand nine hundred and *55*.

Signed Sealed and Delivered by the said  
GEORGE EDMUND JOHN GREEN  
in the State of Victoria in the presence of

*Edmund Green*  
*Reg. Hovell (Comm. Affiliants)*  
*Gladys Peardon Green*  
*Reg. Hovell (Comm. Affiliants)*

Signed Sealed and Delivered by the said GLADYS PEARDON GREEN in the State of Victoria in the presence of -

The Common Seal of the State Electricity Commission of Victoria was hereto affixed by authority of the Commission in the presence of

*[Signature]* Chairman  
*[Signature]* Secretary

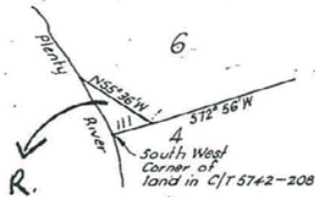


ENCUMBRANCES REFERRED TO -

Nil.

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**COLOUR CODE**  
Y=Yellow O=Orange BR=Brown  
G=Green R=Red BL=Blue P=Purple  
H=Hatched CH=Cross Hatched

Measurements are in Links

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25/02/2021

A memorandum of the within instrument  
was entered on the **15 NOV 1955**  
in the Register Book Vol. *5742* Fol. *208*

*S. J. W. Tardion*  
Assistant Registrar of Titles

STATE ELECTRICITY COMMISSION  
OF VICTORIA

CREATION OF EASEMENT.  
(No Track.)

STATE ELECTRICITY COMMISSION  
OF VICTORIA

to the

MR. G. & MRS. G. GREEN

Dated the \_\_\_\_\_ day of \_\_\_\_\_ 19\_\_

No. N.T. 307

By Authority:  
J. J. Gentry, Sec. Treas. Min.

MEMORIAL OF INSTRUMENT.

Nature of Instrument.	Time of its Production for Registration.	To Whom Given.	Number or Symbol Thereon.
Creation of Easement	The _____ day of _____ 19__	State Electricity Commission of Victoria	

*Assistant Registrar of Titles.*

I certify that a Memorial of the within instrument was entered, at the time last mentioned, in the Register Book, Vol. \_\_\_\_\_ Folio \_\_\_\_\_

ADVERTISED PLAN  
Application No. P219/2020

*Assistant Registrar of Titles.*  
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G972599

733/238/0005  
G972599

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25/02/2021



10-13 692223 17-FEB-78

MADDOCK, LONIE & CHISHOLM

REGD

VICTORIA  
TRANSFER OF LAND

MELBOURNE AND METROPOLITAN BOARD OF WORKS being registered as the proprietor of an estate in fee simple in the land hereinafter described subject to the encumbrances notified hereunder in consideration of the sum of EIGHT THOUSAND ONE HUNDRED AND FORTY DOLLARS (\$8,140.00) paid to it by THE PRESIDENT COUNCILLORS AND RATEPAYERS OF THE SHIRE OF ELTHAM DO HEREBY TRANSFER to the said THE PRESIDENT COUNCILLORS AND RATEPAYERS OF THE SHIRE OF ELTHAM All its estate and interest in ALL THAT piece of land being Lot 3 on Plan of Subdivision No. 50510, Parish of Nillumbik and being the whole of the land more particularly described in Certificate of Title Volume 8279 Folio 575 RESERVING to MELBOURNE AND METROPOLITAN BOARD OF WORKS and its successors the right to use that part of the land being transferred as is coloured blue on the Plan attached hereto for sewerage purposes.

DATED the 25<sup>th</sup> day of January 1978.

Handwritten notes on the left margin including:  
- REF: RED, BLUE, GREEN, PURPLE  
- BLUE HATCH, GREEN HATCH & PURPLE HATCH  
- CH. 8279-575 (PLAN)  
- BEING LOT 3 ON P.S. 50510  
- PARISH OF NILLUMBIK  
- SHIRE OF ELTHAM  
- THE COMMON SEAL OF MELBOURNE AND METROPOLITAN BOARD OF WORKS was affixed hereto in the presence of:  
- Chairman [Signature]  
- Member [Signature]  
- Secretary [Signature]  
- THE CORPORATE SEAL OF THE PRESIDENT COUNCILLORS AND RATEPAYERS OF THE SHIRE OF ELTHAM was hereto affixed in the presence of:  
- President [Signature]  
- Councillor Helen L. Hells  
- Shire Secretary [Signature]  
- REF: 2.952 Ha.  
- 17-4-78  
- subm 17/4/78  
- [Signatures]

THE COMMON SEAL OF MELBOURNE AND METROPOLITAN BOARD OF WORKS was affixed hereto in the presence of:  
Chairman [Signature]  
Member [Signature]  
Secretary [Signature]  
THE CORPORATE SEAL OF THE PRESIDENT COUNCILLORS AND RATEPAYERS OF THE SHIRE OF ELTHAM was hereto affixed in the presence of:  
President [Signature]  
Councillor Helen L. Hells  
Shire Secretary [Signature]

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Application No. P219/2020

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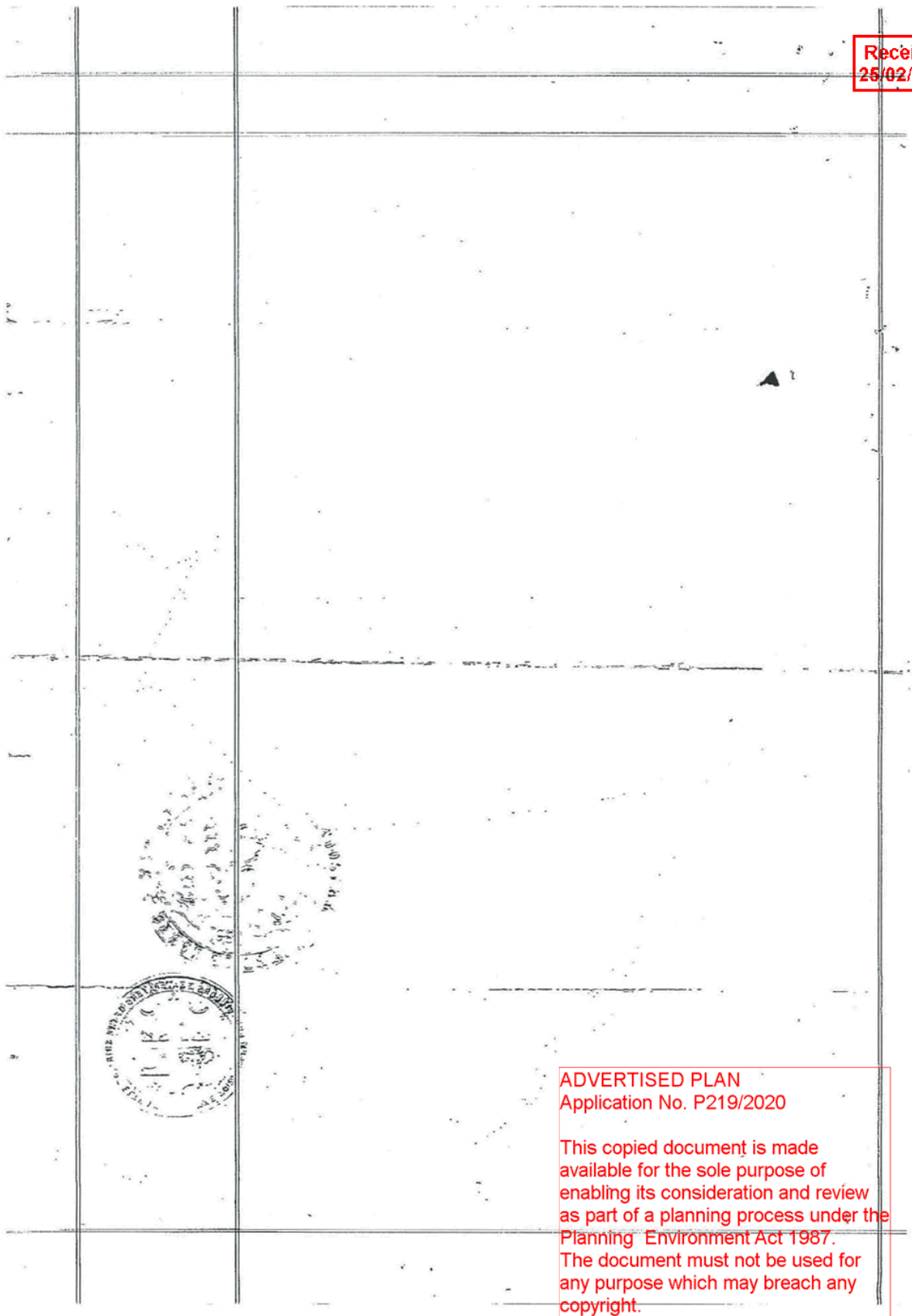
A memorandum of the within instrument has been entered in the Register Book.

ENCUMBRANCES REFERRED TO:

As to the whole of the said land: Any Easements affecting the same.



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25/02/2020

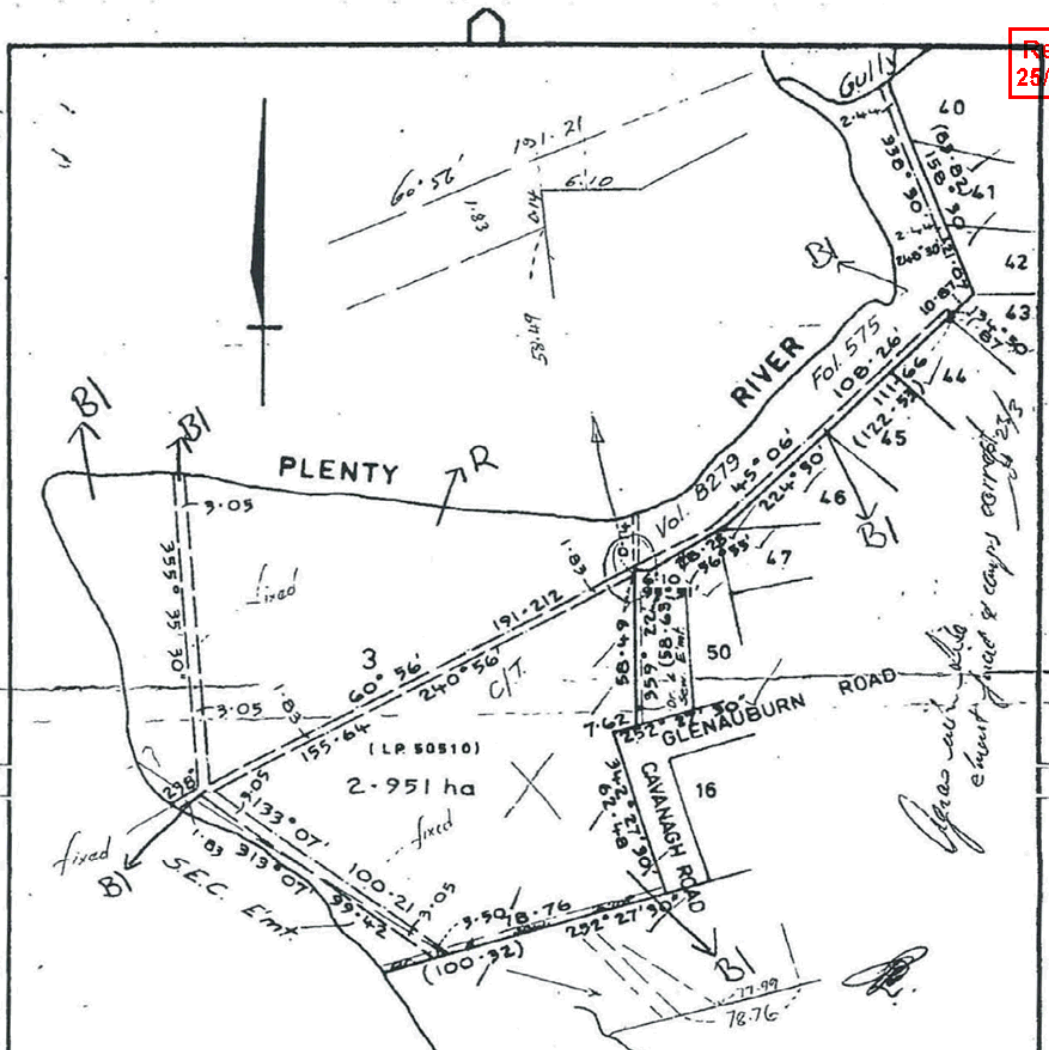


G972599, Page 2 of 6, Printed 09:31 23/05/2008, Search Enquiry 8174707, Customer 13500

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Application No. P219/2020

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Land to be transferred to the Shire of Eltham shown coloured red and blue.  
The land shown coloured blue is a sewerage easement.

**COLOUR CODE**  
Y=Yellow O=Orange BR=Brown  
G=Green R=Red BL=Blue P=Purple  
H=Hatched CH=Cross Hatched

LENGTHS ARE IN METRES.

MELBOURNE AND METROPOLITAN BOARD OF WORKS WATER SUPPLY SEWERAGE & DRAINAGE BRANCH SURVEY DIVISION PROPOSED PUBLIC OPEN SPACE				SCALE: 1 : 1920	
				MUNICIPALITY ELTHAM	
DRAWN	A.M.C. 10-10-77	CORRES.	733/238/0005	PLAN NO.	12E-SS 120-SW
CHECKED	R.O.S. 10.10.77	SEARCH	28/144		Prop. Ref. TP 353
TRACED		COMPS	AV-43 & DP-304		
CHECKED				CHIEF SURVEYOR	

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DATED 197

MELBOURNE & METROPOLITAN BOARD  
OF WORKS

- to -

THE SHIRE OF ELYHAM

TRANSFER OF LAND

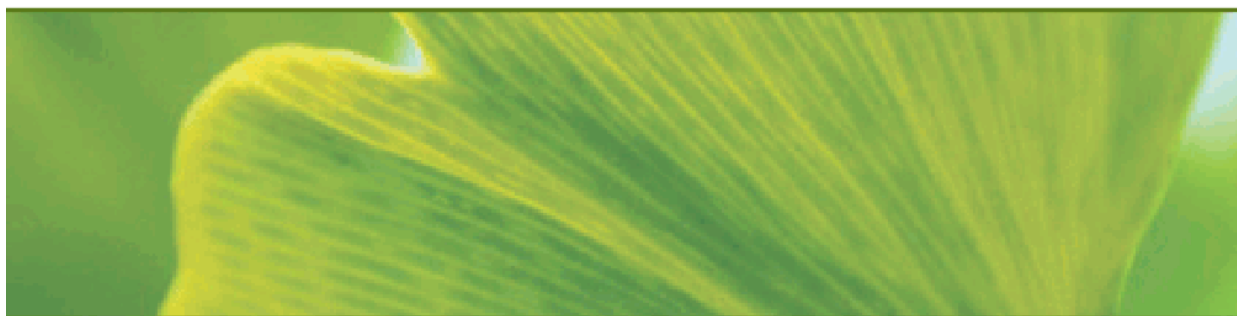
MADDOCK, IONIE & CHISHOLM  
Solicitors  
60 Market Street  
MELBOURNE, 3000  
62-5211 R:DV

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Web assuredtreecare.com.au

# Arborist Report



Prepared For: Alvin Lau, Banyule City Council

18th February 2020

Site Address:  
Glenauburn Park, 2 Cavanagh Street, Lower Plenty

Inspected By: Russell Shepherd  
Qualified Arborist (Dip. Hort. Arb.)  
T: 0411 257 793

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## Table of Contents

Purpose of Inspection	3
Scope of Report	3
Introduction	3
Data Sheet (Trees 1-3)	4
Data Sheet (Trees 4-6)	5
Data Sheet (Trees 7-9)	6
Data Sheet (Trees 10-12)	7
Data Sheet (Trees 13-14)	8
Discussion	9
Recommendations	10
Tree Number Location Plan	11
Tree Protection Fencing (approximate layout)	12
Tree Protection Zone Guidelines	13
Tree Protection Zone Guidelines (continued)	14
Tree Protection Zone Guidelines (continued)	15
Health Descriptors	16
Structure Descriptors	17
Retention Value Descriptors	17
Useful Life Expectancy (ULE)	18
Disclaimer	19

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## Purpose of Inspection

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This report is commissioned by Alvin Lai of Banyule City Council. This report assesses the health and structural condition of any trees in close proximity of a proposed development at Glenauburn Park, 2 Cavanagh Street, Lower Plenty.

## Scope of Report

---

Fourteen trees have been assessed as part of this report.

Assessment of the trees has been carried out from the ground using the Visual Tree Assessment (VTA) method. The diameter of the tree (DBH) has been measured at 1.4 meters high using a Diameter Tape. Calculations were undertaken to determine the Structural Root Zone (SRZ) and the Tree Protection Zone (TPZ).

The height and width of the trees are approximate and are to be used as a guide only. Health, Structure, Retention Value and Useful Life Expectancy (ULE) have been assessed using the descriptors provided. The trees approximate location is shown on a section of the proposed site plan and is included as a reference.

## Introduction

---

The property at Glenauburn Park, 2 Cavanagh Street, Lower Plenty is located to the northeast of Melbourne. The property is within the municipality of Banyule.

The proposal is for the demolition and replacement of the existing sports pavilion along Cavanagh Road, Lower Plenty. The proposed addition is to be within the existing building footprint and extend to the north. I have been advised that it is to be constructed on screw piles with the possibility of cantilevering part of the building up to 2m towards existing trees to the east if required.

I have also been advised to meet fire regulations there is to be no canopy overhanging the proposed new building footprint. A basic plan of the proposed building with a footprint of 14m x 25.4m was supplied for reference.

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### Data Sheet (Trees 1-3)

Description	Tree No. 1	Tree No. 2	Tree No. 3
Botanical Name	<i>Eucalyptus melliodora</i>	<i>Eucalyptus melliodora</i>	<i>Eucalyptus melliodora</i>
Common Name	Yellow Box	Yellow Box	Yellow Box
Origin	Indigenous	Indigenous	Indigenous
Age	Mature	Semi mature	Young
Height (m)	30	16	15
Width (m)	17	7	3
D.B.H (cm)	50	14	8
D.A.G (cm)	80	29	14
Health	Average	Stressed	Stressed
Structure	Average	Good	Poor
Retention Value	High	Low	Low
ULE	Long	Medium	Short
T.P.Z (m)	6.00	2.00	2.00
S.R.Z (m)	3.00	2.00	1.50
Comments	- Large tree with canopy over proposed building - Construction within SRZ	- Construction within TPZ	- Small suppressed tree. - Could be removed if required

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## Data Sheet (Trees 4-6)

Description	Tree No. 4	Tree No. 5	Tree No. 6
Botanical Name	<i>Eucalyptus melliodora</i>	<i>Eucalyptus melliodora</i>	<i>Eucalyptus melliodora</i>
Common Name	Yellow Box	Yellow Box	Yellow Box
Origin	Indigenous	Indigenous	Indigenous
Age	Young	Semi mature	Semi mature
Height (m)	11	12	9
Width (m)	2	6	4
D.B.H (cm)	12	26	18
D.A.G (cm)	14	44	33
Health	Good	Stressed	Good
Structure	Poor	Average	Average
Retention Value	Low	Low	Low
ULE	Short	Short	Medium
T.P.Z (m)	2.00	3.12	2.16
S.R.Z (m)	1.50	2.35	2.10
Comments	- Small suppressed tree with dead top - Could be removed if required	- Minor decay at base - Proposed construction within SRZ - Canopy overhanging proposed building - Recommend removal	- Canopy slightly overhanging proposed building footprint, can be pruned

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## Data Sheet (Trees 7-9)

Description	Tree No. 7	Tree No. 8	Tree No. 9
Botanical Name	<i>Eucalyptus melliodora</i>	<i>Eucalyptus melliodora</i>	<i>Eucalyptus melliodora</i>
Common Name	Yellow Box	Yellow Box	Yellow Box
Origin	Indigenous	Indigenous	Indigenous
Age	Semi mature	Mature	Dead
Height (m)	13	20	5
Width (m)	2	6	1
D.B.H (cm)	14	27	8
D.A.G (cm)	20	35	12
Health	Good	Stressed	Dead
Structure	Average	Average	Poor
Retention Value	Low	High	Low
ULE	Medium	Medium	Remove
T.P.Z (m)	2.00	3.24	2.00
S.R.Z (m)	1.68	2.12	1.50
Comments	- Small suppressed tree - Remove if required	- Slight lean towards road.	- Dead tree - Remove

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## Data Sheet (Trees 10-12)

Description	Tree No. 10	Tree No. 11	Tree No. 12
Botanical Name	<i>Eucalyptus melliodora</i>	<i>Eucalyptus melliodora</i>	<i>Eucalyptus melliodora</i>
Common Name	Yellow Box	Yellow Box	Yellow Box
Origin	Indigenous	Indigenous	Indigenous
Age	Semi mature	Mature	Mature
Height (m)	10	30	23
Width (m)	4	12	7
D.B.H (cm)	20	48	26
D.A.G (cm)	26	65	35
Health	Good	Good	Good
Structure	Poor	Good	Average
Retention Value	Low	High	Medium
ULE	Short	Long	Long
T.P.Z (m)	2.40	5.76	3.12
S.R.Z (m)	1.85	2.75	2.12
Comments	- Multi-stemmed at 0.5m high	- Close to existing building - Majority of canopy overhanging building	

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## Data Sheet (Trees 13-14)

Description	Tree No. 13	Tree No. 14
Botanical Name	<i>Corymbia maculata</i>	<i>Corymbia maculata</i>
Common Name	Spotted Gum	Spotted Gum
Origin	Indigenous	Indigenous
Age	Semi mature	Mature
Height (m)	16	24
Width (m)	5	12
D.B.H (cm)	22	35
D.A.G (cm)	36	55
Health	Stressed	Good
Structure	Average	Average
Retention Value	Low	High
ULE	Short	Medium
T.P.Z (m)	2.64	4.20
S.R.Z (m)	2.12	2.57
Comments	<ul style="list-style-type: none"> <li>- Stressed tree</li> <li>- Poor specimen</li> <li>- Remove to make space for development</li> </ul>	<ul style="list-style-type: none"> <li>- Close to existing dwelling</li> <li>- Protect during works</li> <li>- Minor deadwood in canopy</li> <li>- Prune overhang over proposed building footprint if required</li> </ul>

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## Discussion

Trees need to be in good condition with regards to health and structure to be considered worthy of retention. Major incursions into tree protection zones is a major contributing factor to tree death during and post construction.

The trees assessed as part of this report have stressed to good health with poor to good structure. Most of the trees are identified as Yellow Box (*Eucalyptus melliodora*) with 2x Spotted Gums (*Corymbia maculata*) to the south of the assessed area.

The proposed building is of a modular construction that will sit on screw piles. The footprint of the building will be mostly within the existing building footprint although it will stretch further to the north with a total length of 25.4m. It will be 14m wide in the east-west dimension.

The proposed demolition and construction is within the Tree Protection Zone of many of these trees. There is unlikely to be any significant roots under the footprint of the existing building and this needs to be taken into consideration.

Trees numbered 1, 5, and 11 have canopies hanging well over the footprint of the proposed building. These trees cannot be adequately pruned and will need to be removed to meet the recommended fire regulations of no overhang of the canopies over the new building.

One of the street trees located with an 'X' on the Tree Number Location Plan due to location was not assessed as part of this report. However the lowest branch to the west does overhang the existing building and will need to meet fire regulations.

Trees numbered 2, 6, 8, 10, 12 and 14 are in the best condition and should be retained. Tree 6 and 14 have canopies that overhang the building foot print although these can be easily pruned to meet fire regulations.

Other trees that are in poor condition, small or unlikely to survive the construction process should be removed. New trees should be carefully selected for their suitability on the site. There is opportunity to plant new trees elsewhere on the site if required.

It is recommended to mulch the root zones of the trees being retained and construct tree protection fencing as per Australian Standards. I recommend a cantilevered construction of the proposed building adjacent to trees 1 - 6 to ensure tree protection zone are maintained and the soil profile is protected.

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## Recommendations

Trees already with health or structural issues require careful consideration with regards to tree retention and preservation on development sites. Poor health and defects are easily compounded during the development process, often leading to plant death over a period of years. The slow decline from compounding factors can lead to tree death up to 15 years post development.

*'Construction impacts to trees are cumulative. Moreover, tree death is often a long, slow process due to multiple and compounding factors.'* (Matheny & Clark 1998)

In regards to the proposed development, only six trees (Trees numbered 2, 6, 8, 10, 12 and 14) are recommended to be retained. The proposed design is in close proximity to the trees along the east side of the proposed building footprint. Tree protection fencing is to be erected and mulching of root zones to be implemented as per Australian Standards.

To meet fire regulations or because some of the trees are small or in poor condition, eight trees (Trees numbered 1, 3, 4, 5, 7, 9, 11 and 13) are recommended to be removed. One tree located in the nature strip will require the lowest branch to the west removed to meet fire regulations.

Tree Protection Fencing will need to be located around the trees being retained as per Data Sheets and close to the proposed building footprint. As the construction method is to be modular all egress to the site should be from the north or south away from the trees being retained.

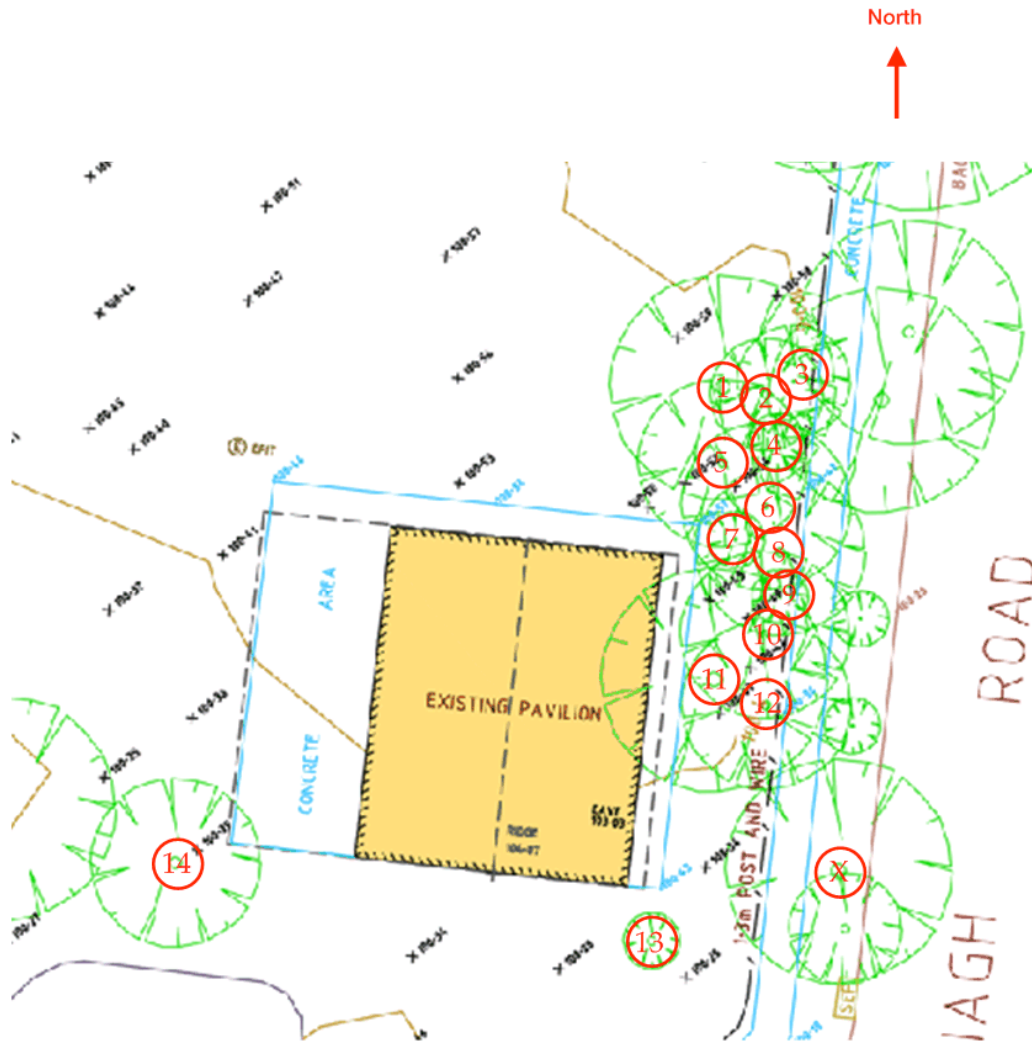
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## Tree Number Location Plan

Note: Tree locations are approximate only. Please refer to data sheets for tree species and additional information.



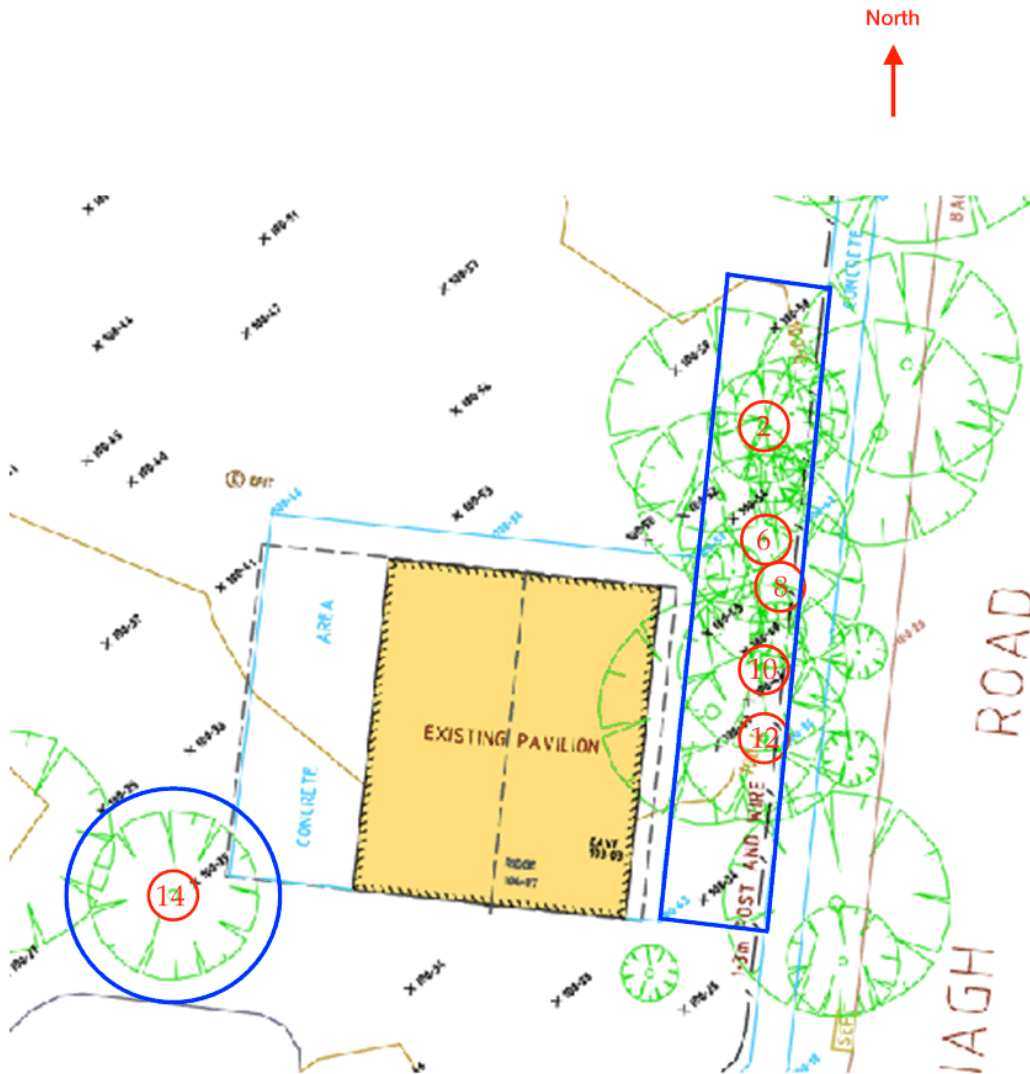
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### Tree Protection Fencing (approximate layout)



— = Approximate Tree Protection Fencing

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## Tree Protection Zone Guidelines

Before the commencement of construction, tree protection zones and vehicle no go zones need to be established. The TPZ's specified in this document are recommended radial measures from the centre of the tree out to the edge of the zone. All tree protection zones around trees being retained are to have a layer of quality mixed aggregate tree mulch spread to a depth of 75mm. The mulch is not to be heaped next to the trunk of any tree. This will help deter weeds and retain soil moisture during construction.

Tree protection zones are set up to minimise the disturbance and subsequent damage done to a tree during construction. The distances given are recommendations for maintaining adequate tree health while still allowing space for construction. The effects of compaction, root, stem or branch damage during construction is irreversible and in most cases leads to the death of the tree.

Below are guidelines on the setting out, restrictions and requirements of TPZ's:

### 1. Tree Protection Zones

The tree protection zone (TPZ) is a defined volume of soil necessary to maintain a healthy tree as well as structural stability. This does not exclude the extension or reduction of such a zone based on local conditions or actual observations on site as determined by an arborist.

The TPZ is a radial measure taken from the tree centre derived from Australian Standard AS4970-2009 - 'Protection of trees on development sites' unless otherwise defined.

The TPZ is not the defined minimum distance/quantity of root material required for minimal structural stability. This is defined as a Structural Root Zone (SRZ).

A TPZ is a 3 dimensional volume (depth of the soil in which a tree is growing and the space above ground occupied by the stem and crown) and is defined by a radial measure of the surface area.

The Tree Preservation Zone shall not be used for:

- storage of building materials
- storage of building refuse or rubbish
- wash down areas for tools or equipment
- mixing of materials such as plaster or cement products
- burning of any materials
- passage of vehicles or pedestrians

### 2. Structural Root Zones

The structural root zone (SRZ) is the area defined as a radial measure from the trunk that should leave the structural roots intact and the tree standing. This does not take into account the health of the tree.

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## Tree Protection Zone Guidelines (continued)

The structural root zone should only be used where a tree must be retained on the site and the roots may be damaged up to the edge of one side of this zone. This does not allow for construction up to this point, it is only a guide on maintaining structural integrity. The site must be looked at as a whole and a thorough assessment of the tree undertaken with regards to retention.

### 3. Protective Fencing

The minimum material type and construction shall be a 1.8 meter chain mesh fencing, held in place by concrete feet. If the conditions are such that it is more difficult to ensure the protection of the trees with the mesh barrier, then a semi-permanent structure of solid sheet cladding up to 2.4 meters high may be required. Fencing should comply with AS4687.

A weatherproof A3 sign is to be attached to the protective fencing that defines the purpose and function of the fencing as well as the contact details of the site manager and consulting arborist. All contractors on the site are to be made aware of the intention of the protective fencing and the desire to retain the trees on the development site. It is at the owner or site manager's discretion if a bond or fine is to be charged to the contractor, if the trees are damaged or the TPZ is breached with lasting effects on the health of the trees.

### 4. Soil Treatment, Traffic and Egress

Soil treatments required to aid in the preservation of trees on the site and/or new plantings are primarily concerned with the minimisation of soil disturbances such as compaction. The effect of compaction on trees may not be seen for a period of up to 10-15 years and is extremely difficult to alleviate.

The repeated passage of heavy equipment and materials can severely damage soil structure. Whilst the use of skid steer loaders is highly advantageous and efficient, precautions taken via the applications of surface treatments, defined traffic areas (including parking) and timing of activities with respect to weather conditions can help to minimise soil impacts.

The areas where contractors shall regularly locate plant, equipment, and vehicles, and traffic such equipment through the site, shall be overlaid with at least 150mm of wood chip/mulch, a geotextile fabric and rumble boards.

The traffic of machinery and pedestrians shall not enter or pass over/through the TPZ. In the event that construction requirements or passage of access is unavoidable and conflicts with a TPZ, then measures to minimise compaction of the root zone must be employed. The determination of specific requirements to achieve the minimum of soil compaction through such activities shall be by the arborist in consultation with the site manager.

The repeated passage of heavy equipment shall be kept to a minimum during periods of inclement wet weather and where the soil profile is approaching field capacity. This is especially important for equipment such as skid steer loaders and excavators.

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## Tree Protection Zone Guidelines (continued)

### 5. Root Cutting

Cutting of roots over 50mm in diameter shall not occur without an arborist present. All roots cut at the TPZ boundary shall be cut cleanly with a hand saw or secateurs and not be ripped or torn out by a backhoe, excavator or trencher. If trenching or excavation is required outside or closely associated with the TPZ boundary, then an air knife or shovel shall be used to aid in the clean cutting of the root material. Root pruning must be carried out in accordance with AS4373-2007 'Pruning of amenity trees'.

### 6. Water and Fertiliser Application

The application of water and fertilisers shall be performed only as required and determined by an arborist to satisfy the needs of the trees. Root pruned trees may require additional water supplied to aid in the transmission of root hormones and/or soil ameliorates.

### 7. Trenching

All levelling and trenching done on the site shall be done after the TPZ's have been set up. The work carried out will not enter or interfere with the TPZ fencing nor cause damage to the trees elsewhere on the site. No trenching shall be undertaken through a TPZ or within the drip line of a tree. If a service is required to travel through such a zone then the alignment should be set directly under the tree centre and be bored at a depth no less than 1 meter. Prior consultation with an arborist is necessary to determine the best action in such a case. No works of this nature are to be carried out without an arborist on site.

### 8. Material Storage

The construction site should determine prior to the delivery of materials, a secure drop of site that will avoid conflict with tree canopies, TPZ's, and excessive passage through the site. Building materials such as cement and other lime-based products in addition to fuels for equipment shall not be stored within 5 meters of TPZ's. Any potential run off from such materials must be contained and not permitted to encroach on the 5 meter limit.

### 9. Disposal and Storage of Refuse

The storage and disposal of building refuse shall be contained in suitable bins or vehicles and not be within a TPZ. Burning of material shall not occur within the TPZ or within 5 meters of the crown or trunk. If burning on site is to occur then consideration should be given to the the prevailing wind direction and local fire restrictions so as to avoid scorching or setting alight surrounding trees. Excessive heat will damage nearby trees.

There is to be no washing of tools or equipment in or near the TPZ or where the runoff can effect the soil in the TPZ. This runoff can lead to contamination in the soil or effect the soil pH causing adverse effects to plant health.

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## Health Descriptors

**Dead:** Tree is completely dead, non-functional crown (no green leaves), stem cambium completely dead, no evidence of root suckers or lignotuber sprouts.

**Poor:** Tree is presenting symptoms of strain (Shigo A.L. 1986), large quantities of crown die back extending from tip die back to major scaffolds. Persistent infections of pathogens, borers, fungal cankers and root disease. Irreversible condition ultimately leading to premature death. Any treatments may only be seen as temporary to achieve hazard reduction prior to removal.

**Stressed:** Tree is presenting symptoms of stress that may be due to seasonal biotic or abiotic conditions e.g. water stress, seasonal defoliators. The symptoms may include tip die back (less than 25mm diameter), crown thinning, defoliation, leaf discoloration, reduced leaf and/or internode length (less than 75% normal average size of non-stressed specimen) up to 50% of crown is epicormic or juvenile growth. These symptoms should be present over more than 25% of the total tree parts concerned. The condition is reversible.

**Good:** Tree is generally free of pests and diseases. Symptoms of any biotic or abiotic stress should be present over no more than 25% of the tree parts concerned. Internode length may be variable but generally consistent in length for the last 3 increments.

**Excellent:** Tree is virtually completely free from evidence of pests and disease organisms. Tree is exhibiting no signs of abiotic stress such as tip die back or loss of foliage. Growth is of typical coloration, size and quantity for that species at that location. Internode length is consistent or increasing from previous 3 increments. The tree crown appears complete and balanced.

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## Structure Descriptors

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**Extremely Defective (Bad):** Tree has pronounced structural weakness that may be due to poor growth development, fungal decay, mechanical damage or a combination of these and is presenting symptoms of instability and possible imminent failure of major structural components.

**Moderately Defective (Poor):** Tree has structural weakness that may be due to poor growth development, fungal decay, mechanical damage or a combination of these but is not at this time presenting symptoms of imminent failure of major structural components.

**Minimally Defective (Average):** Tree has some structural weakness but failure of which is not a major structural component and does not present any imminent symptoms of potential failure. Tree does not appear to be significantly degraded by fungus in any structurally significant component.

**Non-defective (Good):** Tree does not appear to have any notable structural weakness, symptoms of structural distress or indications of fungal decay.

## Retention Value Descriptors

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**High Value:** Tree has a considerable significance to the site and surrounding landscape. This may be due to the tree species or size. This will take into account the health and structure of the tree with respect to the longevity of the tree after development.

**Medium Value:** Tree has a moderate contribution to the site and surrounding landscape. This may be due to the trees lack of adequate health or structure. This will take into account the trees likelihood to not survive the construction process. It may require plant health treatments or remedial pruning to ensure the longevity of the tree after development.

**Low Value:** Tree has little or no contribution to the site and surrounding landscape. This may be due to its small size, poor health and structure, or a tree that could easily be replaced. This tree is unlikely to survive with plant health treatments through the development process.

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## Useful Life Expectancy (ULE)

- Long ULE:** Trees that appear to be retainable with an acceptable level of risk for more than 40 years.
1. Structurally sound tree located in positions that can accommodate for future growth.
  2. Storm damaged or defective trees that could be made suitable for retention in the long term by remedial tree care.
  3. Trees of special significance for historical, commemorative or rarity reasons that would warrant extraordinary efforts to secure their long term retention.

- Medium ULE:** Trees that appear to be retainable with an acceptable level of risk for 15 to 40 years.
1. Trees that may live between 15 and 40 years.
  2. Trees that may live for more than 40 years but would be removed to allow the safe development of more suitable individuals.
  3. Trees that may live for more than 40 years but would be removed during the course of normal management for safety and nuisance reasons.
  4. Storm damaged or defective trees that can be made suitable for retention in the medium term by remedial work.

- Short ULE:** Trees that appear to be retainable with an acceptable level of risk for 5 to 15 years.
1. Trees that may live between 5 and 15 years.
  2. Trees that may live for more than 15 years but would be removed to allow the safe development of more suitable individuals.
  3. Trees that may live for more than 15 years but would be removed during the course of normal management for safety and nuisance reasons.
  4. Storm damaged or defective trees that require substantial remedial work to reduce the risk of further failure and are only suitable for retention in the short term.

- Remove:** Trees with a high level of risk that would need removal within the next 5 years.
1. Dead trees.
  2. Dying or suppressed and declining trees through disease or inhospitable conditions.
  3. Dangerous trees through instability or recent loss of adjacent trees.
  4. Dangerous trees through structural defects including cavities, included bark, wounds or poor form.
  5. Damaged trees that are considered unsafe to retain.
  6. Trees that will become dangerous after remedial work for safety or other reasons.

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25/02/2021

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2. It is assumed that any property/project is not in violation of any applicable codes, ordinances, statutes or other government regulations.
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Planning Enquiries  
Phone: (03) 9490 4222  
Web: www.banyule.vic.gov.au

**Office Use Only**

Application No.:

Date Lodged: / /

# Application for an Amendment to a current Planning Application (Section 50 or 57A Application)

Use this form if you have an **existing** application with Council that you would like to change before Council makes its decision. This form can be used before or after an application has been notified, but not after Council has made a determination in respect of the application.

If you already have a permit, you cannot use this form. Instead, you will need the [Application to Amend a Planning Permit](#) form.

An application to amend a current application must include:

- This application form completed and signed;
- Three copies of the amended plans; and
- The relevant application fee, if a fee is applicable. You can find the relevant fee under [Planning Fees](#) on Council's website.

Please note if the application has already been notified, depending on the extent of the changes proposed, Council may require re-notification of the amended proposal before the application will be determined.

## The Land

Please provide the street address of the land.

Street No.:	Street Name:
2	Cavanagh Street
Suburb/Locality: Lower Plenty	Postcode: 3093

## The Current Planning Permit Application

Provide full details of the application being amended:

What is the reference number of the Planning Permit Application that is being amended?

What had you originally applied for?

Planning Permit Application No.:	P219 / 2020
What was the original proposal:	ADVERTISED PLAN Application No. P219/2020 Removal of trees along nature strip

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Development Planning	CD16784 Section 50 or Section 57A Application Form (amendment to current planning application)	Last updated: 04/07/2017	Page 1 of 3
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### The Amendment Proposal

This application is being lodged (tick one):

- Prior to notification commencing  
(Section 50 of the *Planning and Environment Act 1987*)
- After notification has commenced  
(Section 57A of the *Planning and Environment Act 1987*)

What changes are you seeking to make to the current application?

*Detail any changes sought to the plans or any other documents previously submitted with the Planning Permit Application.*

*Attach a supplementary page if more space is required.*

*Eg.*

1. *Removal of 1 dwelling from the multi dwelling development proposal (was previously 6 dwellings, now proposing 5).*
2. *The provision of new acoustic fencing and trellis to the west, south and east boundaries.*

The removal of trees here acknowledges Clause 52.17 as a permit trigger.

Why is the amendment to the current application required?

*State the reasons for the change.*

*Attach a supplementary page if more space is required.*

The removal of trees here acknowledges Clause 52.17 as a permit trigger.

### Contact details

Contact

*The person or organisation you want Council to correspond with regarding the amendment to the current application.*

Name: **Alvin Lau**

Organisation (if applicable): **Banyule City Council**

Postal Address: **Level 2, 1 Flintoff Street, Greensborough VIC 3088**

Postcode: **3088**

Contact phone:

Mobile phone: **0466 678 975**

Email: **alvin.lau@banyule.vic.gov.au**

Fax:

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Application No. P219/2020

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### Applicant details

Applicant

*The person or organisation who is seeking the Planning Permit.*

Same as contact. If not, complete the details below.

Name:				
Organisation (if applicable):				
Postal Address:				
				Postcode:

### Owners Consent

Has the owner of the land consented to the proposed changes?

Yes       No

### Declaration

Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit.

I declare all the information in this application is true and correct; and the owner (if not myself) has been notified of the amendment application.

Name:	Alvin Lau	
Signature	alvin.lau@banyule.vic.gov.au	<small>Digitally signed by: alvin.lau@banyule.vic.gov.au DN: CN = alvin.lau@banyule.vic.gov.au Date: 2020.04.07 09:18:10 +10'00'</small>
Date	07 / 04 / 2020	

### Lodgement

**Banyule City Council**  
Banyule Planning are now online - Any information now needs to be lodged through the website.

Lodge the completed and signed form and all documents online through the e-planning portal at:  
<https://www.banyule.vic.gov.au/Services/Planning/e-Planning/Submit-your-further-information>

For help or more information, please contact us:  
Email: [enquiries@banyule.vic.gov.au](mailto:enquiries@banyule.vic.gov.au)  
Telephone: (03) 9457 9808  
Fax: (03) 9499 9475  
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## Biodiversity Assessment Report: vegetation removal associated with sports pavilion redevelopment—2 Cavanagh Road Lower Plenty. Planning App. No. P219/2020



Prepared for Banyule City Council

Report 20022, Version 1.1  
March 2020

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March 2020

## Table of Contents

1	Introduction.....	5
1.1	Study area and surrounding context.....	6
2	Methods.....	8
2.1	Desktop review.....	8
2.2	Field assessment.....	9
2.3	Conservation status.....	9
2.4	Nomenclature and taxonomy.....	9
2.5	Survey limitations.....	10
3	Clause 52.17 - Guidelines for the removal, destruction or lopping of native vegetation (the Guidelines).....	10
3.1	Native vegetation offsets.....	11
3.2	Avoid and minimise Statement.....	11
4	Values.....	12
4.1	Flora.....	12
4.1.1	Ecological vegetation communities.....	14
4.1.2	Native remnant patch vegetation.....	14
4.1.2	Weeds.....	14
4.1.3	Scattered trees.....	14
4.1.4	Rare and threatened flora species.....	14
4.1.5	Determination of Listed Ecological Communities.....	15
4.2	Fauna results.....	15
4.1.4	Fauna habitat.....	15
4.1.5	Habitat types and assessment of quality.....	16
4.1.6	Habitat suitability for rare and threatened fauna.....	16
5	Vegetation quality assessment (habitat hectares).....	17
6	Native vegetation removal assessment pathway.....	18
7	Offset requirements.....	19
8	Avoidance and minimisation statement.....	20
9	Native vegetation offset strategy.....	20
10	Legislation and policy.....	22
	<i>Environment Protection and Biodiversity Conservation Act 1999</i> .....	22
	<i>Flora and Fauna Guarantee Act 1988</i> .....	22
	<i>Catchment and Land Protection Act 1994</i> .....	23
	<i>Wildlife Act 1975 and Wildlife Regulations 2002 (Victoria)</i> .....	23

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Application No. P219/2020  
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March 2020


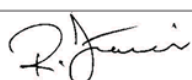

*Banyule City Council Planning Scheme*.....23  
    Clause 52.17 (the Guidelines 2017).....23  
    Zoning and Overlays.....25  
11 Recommendations .....29  
    Indigenous species selection guide for supplementary planting in riparian areas.....31  
12 Conclusion.....32  
References.....33  
Appendix 1. Planned tree removal, 2 Cavanagh Road, Lower Plenty, March 2020 (Source ATC  
2020) .....34  
Appendix 2. Application requirements for all applications for a permit to remove native vegetation  
(source: Table 4, DELWP 2017).....35  
Attachment 1. Application requirements for all applications for a permit to remove native  
vegetation (source: Table 4, DELWP 2017) .....37

ADVERTISED PLAN  
Application No. P219/2020

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March 2020

### Version Control

Version	Responsibility	Name	Date	Signature
1.0	Author/Field Assessment	Louise Rodda	30 March 2020	
1.1	GIS	Richard Francis	30 March 2020	
1.1	Author	Louise Rodda	3 April 2020	

Front cover image: View of study site located between existing pavilion and Cavanagh Road, Lower Plenty.

### Acknowledgements

Abzeco would like to acknowledge the following people for their assistance with this project:

- Alvin Lau, Project Engineer, Banyule City Council (Client) – for project information, provision of the arborists report and planning permit details.

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Application No. P219/2020

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March 2020

## 1 Introduction

Council is planning to redevelop and extend the existing pavilion to the north at Glenauburn Park, 2 Cavanagh Road, Lower Plenty (Appendix 1). The pavilion services the adjacent sports fields and surrounding public open space parklands.

An arborist assessment of 14 trees was undertaken on 18 February 2020 to inform the planning application. The assessment determined that eight trees will need to be removed to clear the construction footprint and meet fire regulations which require no canopy overhang over the new building (Assured Tree Care (ATC) 2020). The trees planned for removal are located between the existing pavilion and Cavanagh Street (ATC 2020) (Appendix 1) (Plate 1).

A planning application to undertake the works was submitted to Council (P219/2020). In response, on 13 March 2020, the Council Development Planning Team issued a request for further information (RFI).

The RFI included a request for a Biodiversity Assessment Report (Point 3. of the RFI) as follows:

3. As the vegetation nominated for removal is native to Victoria, provide a Biodiversity Assessment Report in accordance with the application requirements pursuant to Clause 52.17-2.

Abzeco was commissioned by Banyule City Council 12 March 2020 to produce a Biodiversity Assessment Report to address Item 3. of the RFI.

Under Clause 52.17-2 of the Banyule Planning Scheme, 'Application requirements' A planning application must comply with the requirements specified in the *Guidelines for the removal, destruction or lopping of native vegetation* (the Guidelines) (DELWP 2017) unless an exemption applies.

Under the Guidelines a planning application to remove native vegetation must follow one of three assessment pathways: *basic*, *intermediate* or *detailed*. The assessment pathway is determined by the extent and location of the planned vegetation removal which reflects the potential impacts on biodiversity. The information required to accompany a permit to remove native vegetation is determined by the assessment pathway of the application.

A preliminary desktop assessment using the Native Vegetation Management System (NVIM), an online tool managed by the Department of Environment, Land, Water and Planning (DELWP) (DELWP 2020a), indicates that the application will follow the basic pathway.

This report provides the information required to inform permit applications following the basic pathway including:

- A description of native vegetation to be removed (as defined under the Guidelines);
- Mapping of native vegetation to be removed
- Identification of the assessment pathway that must be followed;
- Topographic and land information relating to the planned vegetation removal area;
- Photographs of the vegetation to be removed;
- An *avoid and minimize* statement;

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March 2020

- Additional information around how vegetation responds to property vegetation plans, native vegetation precinct plans or the removal of vegetation to provide defensible space if applicable; and
- Determination of offset requirements and statement of availability to meet the offset targets for the planned vegetation removal.

The report also consider other legislative and policy matters relating to vegetation including zoning and overlays, the Commonwealth *Environment Protection and Biodiversity Conservation Act 1999* (EPBC Act), the State *Flora and Fauna Guarantee Act 1988* (FFG Act), the *Catchment and Land Protection Act 1994* (CaLP Act), the *Wildlife Act 1975* and *Wildlife Regulations 2002*.

The tree numbers used in the arborists report (ATC 2020) will be used in this report for consistency and clarity.



Plate 1. Trees planned to be removed, tree numbering follows arborists report (ATC 2020), 2 Cavanagh Road, Lower Plenty, March 2020

### 1.1 Study area and surrounding context

The eight trees planned for removal (the study area) are located at the south east corner of Glenauburn Park, 2 Cavanagh Street, Lower Plenty (Figure 1). The park is managed by Banyule City Council for public open space and recreation and includes storage sheds, childrens play

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Application No. P219/2020

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March 2020

equipment, grassed playing fields, a baseball diamond, cricket pitch and cricket nets which are serviced by the existing pavilion (Plate 2).



Plate 2. Study area surrounds showing recreational infrastructure onsite, 2 Cavanagh Road, Lower Plenty, March 2020

Residential housing flanks the eastern and southern boundaries. Access is via Cavanagh Road and the site is largely unfenced apart from sections of post and pipe park fencing (Plate 3).



Plate 3. Study area (circled) showing surrounding road, fencing, footpath and residential areas, 2 Cavanagh Road, Lower Plenty, March 2020

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March 2020

Beyond the playing fields there is an open parkland of scattered stands of indigenous and planted trees and mown lawns which extends to the Plenty River to the west and north west of the study area. The vegetation along the Plenty River is fairly contiguous along both banks.

The study area is under the jurisdiction of the Port Phillip and Westernport Catchment Management Authority (CMA), Banyule City Council and is located in the Highlands Southern Fall Bioregion (DELWP 2020b).

The study area is zoned Public Park and Recreation Zone (PPRZ) and Schedule to the PPRZ. It is covered by a Design and Development Overlay Schedule 8 (DDO8), Development Contributions Plan Overlay Schedule 1 (DCPO1) and an Environmental Significance Overlay Schedule 1 (ESO1) (DELWPD). The study site is part of an area of Aboriginal Cultural Heritage Sensitivity (DELWPD).

## 2 Methods

### 2.1 Desktop review

A desktop data review was undertaken of relevant databases to search for information on ecological values, legislation and planning matters applicable to the study area and immediate surrounds including:

- Flora and fauna records within 5km of the study area (referred to as the Data Review Area (DRA)) held in the Victorian Biodiversity Atlas (VBA) (DELWP 2020c) which includes species listed under the Victorian *Flora and Fauna Guarantee Act 1988* (FFG Act), the Advisory List of Rare and Threatened Plants in Victoria 2014 (VROTS) (DEPI 2014), the advisory list of threatened vertebrate fauna in Victoria (DSE 2013) and the Advisory List of Threatened Invertebrate Fauna Victoria 2009 (DSE 2009);
- A search for species and communities listed under the *Environment Protection and Biodiversity Conservation Act 1999* (EPBC Act) recorded within a 5km DRA using the Protected Matters Search Tool (PMST) (DAWE 2020);
- The location category to determine the assessment pathway under the Guidelines using the NVIM (DELWP 2020a);
- Ecological Vegetation Class (EVC) mapping/modelling (both extant and pre 1750) using NatureKit, an online tool maintained by DELWP (DELWP 2020b) and associated benchmarks (including EVC Conservation status) (DELWP 2020e);
- The Victorian Planning Schemes online to search for planning zones and overlays (DELWP 2020a) that apply to the study site;
- Details of other vegetation removal in the last five years (information obtained from the client);
- The arborists report of trees to be removed within the study area as assessed by the ATC (2020); and
- Available aerial photography of the study area.

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March 2020

## 2.2 Field assessment

The field assessment was undertaken on 25 March 2020 and the following data was collected:

- An inventory of vascular plant species including native species, rare and threatened plants and weeds;
- Identification and mapping of native vegetation that meets the definition of patch and/or scattered trees under Section 3.1 of the Guidelines including the extent (hectares); EVC; and EVC bioregional conservation status.

The Guidelines classify native vegetation<sup>1</sup> as follows:

A patch of native vegetation is:

- An area of native vegetation where at least 25% of the total perennial understory plant cover is native, or
- Any area with three or more native canopy trees<sup>2</sup> where the drip line of each tree touches the drip line of at least one other tree, forming a continuous canopy, or
- Any mapped wetland included in the current wetlands map available in DELWP systems and tools.

A scattered tree is:

- A native canopy tree that does not form part of a patch
- A Habitat Hectare assessment of native vegetation condition in accordance with the *Vegetation Quality Assessment Manual: Guidelines for applying the habitat hectares scoring method, Version 1.3* (DSE 2004);
- Large Trees (including those within patches and scattered trees). A large tree is a native canopy tree with a Diameter at Breast Height (DBH)<sup>3</sup> greater than or equal to the large tree benchmark for the relevant bioregional EVC;
- An assessment of habitat for rare or threatened flora and fauna identified during the desktop review; and
- Photos of the native vegetation to be removed.

## 2.3 Conservation status

Species significance was determined by reference to DELWP's advisory lists (DEPI 2014, DSE 2013, DSE 2009) and listings under the FFG Act 1988 and the EPBC Act 1999.

## 2.4 Nomenclature and taxonomy

Plant taxonomy and the use of common names follow the VBA (DELWP 2020) and the online version of Flora of Victoria (VicFlora 2020). Where names differ between these sources, the VBA

<sup>1</sup> Trees, shrubs, herbs and grasses – Victorian Planning Provisions—Definitions—Clause 72

<sup>2</sup> A native canopy tree is a mature tree (i.e. is able to flower) that is greater than 100mm in diameter found in the upper layer of the relevant vegetation type (DELWP 2017).

<sup>3</sup> DBH is the diameter of the main trunk of a tree measured over bark at 1.3 metres above ground level (DELWP 2017).

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March 2020

naming protocol is followed. Plant names include common name followed by the scientific name (in italics) when first mentioned in the text and thereafter are referred to by common name only. Where an asterisk (\*) precedes a plant or animal name, it signifies non-indigenous taxa, those species which have been introduced to Victoria or Australia. A hash (#) is used to denote Victorian native plant species that are not indigenous to a particular locality and may have the potential to become invasive.

## 2.5 Survey limitations

Biodiversity assessments generally do not provide an exhaustive list of flora and fauna species present in the study area. The flora survey was conducted in early Autumn (March), which is generally a sub-optimal period for the identification of most species, particularly spring-flowering herbs. Some flora species and lifeforms may have been undetectable at the time of the survey or unidentifiable due to lack of flowers or fruit. However, it was still possible to ascertain the extent and condition of the native vegetation and provide an indication of species diversity in the study area.

A fauna survey was not part of the project scope of works however incidental fauna observations were recorded and fauna habitat documented during the field assessment. Fauna surveys are included in the recommendations if indicated by the findings of the desktop review and field assessment.

## 3 Clause 52.17 - Guidelines for the removal, destruction or lopping of native vegetation (the Guidelines)

An application to remove, destroy or lop native vegetation must be classified as being in the Basic, Intermediate or Detailed assessment pathway, as defined in the Guidelines (DELWP 2017a). Each pathway reflects the potential impact on biodiversity in Victoria (DELWP 2017):

- **Basic** – limited impacts on biodiversity;
- **Intermediate** – could impact on large trees, endangered EVCs, and sensitive wetlands and coastal areas; and,
- **Detailed** – could impact on large trees, endangered EVCs, sensitive wetlands and coastal areas and could significantly impact on habitat for rare or threatened species.

The assessment pathway is determined by the DELWP modelled Location category (1, 2 or 3) and extent (hectares) of native vegetation proposed for removal (DELWP 2017). The total extent is the combined area in hectares of patches and any scattered trees.

The three Location categories are shown on the NVIM tool (DELWP 2020a) and indicate the potential risk to biodiversity from removing a small amount of native vegetation as follows (DELWP 2017):

- **Location 3** – includes locations where the removal of native vegetation could have a significant impact on habitat for native species.

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March 2020

- **Location 2** – includes locations that are mapped as endangered EVCs and/or sensitive wetlands and coastal areas (section 3.2.1) and are not included in Location 3; and,
- **Location 1** – includes all remaining locations in Victoria not included within Location categories 2 or 3.

The determination of the assessment pathway of a planning application is undertaken in accordance with Table 1 from the Guidelines (DELWP 2017).

**Table 1. Determining the assessment pathway (DELWP 2017a)**

Extent of native vegetation	Location 1	Location 2	Location 3
Less than 0.5 hectares and not including any large trees	Basic	Intermediate	Detailed
Less than 0.5 hectares and including one or more large trees	Intermediate	Intermediate	Detailed
0.5 hectares or more	Detailed	Detailed	Detailed

**Note:** \*The determination of the assessment pathway includes any other native vegetation that was approved to be removed, or that was removed without the required approvals, on the same property or on contiguous land in the same ownership as the applicant, in the five year period before the application for a permit is lodged (DELWP 2017).

The assessment pathway determines the information required to inform a planning application to remove native vegetation (DELWP 2017). Application requirements for all applications are provided in Appendix 2.

### 3.1 Native vegetation offsets

Offsets are required for any approved removal of native vegetation to offset the biodiversity loss from the removal of native vegetation. Offset requirements are stipulated as a condition on the relevant planning permit.

The Guidelines define two types of offsets, General and Species. General offsets are required for all approved removal of native vegetation. Species offsets apply under circumstances where there is proportional impact of the removal of native vegetation on modelled habitat for a rare or threatened species (DELWP 2017). Where both General and Species offsets are specified, both must be sourced to meet offset requirements.

DELWP calculates the offset requirements based on the native vegetation condition scores (from the field-based habitat hectare assessment or the NVIM tool) and modelled biodiversity information.

An application to remove native vegetation must include an offset strategy that identifies the required offset is available and how the offset will be secured if a permit is granted. Offsets can be secured by obtaining a credit extract from the Native Vegetation Offset Register or establishing and registering a new offset site (first or third party).

### 3.2 Avoid and minimise Statement

An avoid and minimise statement is required for all applications under the Guidelines (DELWP 2017). The statement should describe any actions taken to avoid and minimise impacts on the biodiversity and other values of native vegetation.

Emphasis is placed on the avoidance and minimisation of impacts on native vegetation that have the most biodiversity value (DELWP 2017).

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March 2020

Areas of higher value are generally those containing large, intact or high quality native vegetation (have a high condition score [0.60 or above] and Strategic Biodiversity Value score), areas supporting endangered EVCs, areas that contain large trees, sensitive wetlands or coastal areas, and/or are designated by modelled Location categories 2 or 3 (DELWP 2017).

Other values taken into consideration include the role of native vegetation in ensuring land and water protection, protection of landscape values and Aboriginal heritage values (DELWP 2017).

The following information should be provided in the statement where relevant:

- Strategic level planning – any regional or landscape scale strategic planning process that the site has been subject to that avoided and minimised impacts on native vegetation across a region or landscape;
- Site level planning – how the proposed use or development has been sited or designed to avoid and minimise impacts on native vegetation; and,
- That no feasible opportunities exist to further avoid and minimise impacts on native vegetation without undermining the key objectives of the proposal.

There are also instances where a statement outlining consideration of avoidance and minimisation of impacts on ecological values is required, such as under various Environmental Significance Overlays and Significant Landscape Overlays.

## 4 Values

### 4.1 Flora

The Council reserve is highly modified due to its land use history and ongoing management of sporting fields and a variety of outdoor recreational facilities. The playing fields consist of a mown lawn containing exotic grasses and herbs.

The study area has largely been cleared of all vegetation other than the existing canopy trees. The subject trees are located in a four-metre-wide area (between the footpath along Cavanagh Road and the concrete path abutting the pavilion) next to the public toilets in the pavilion.

Midway along the edge of the study area there is a pedestrian access point in the pipe and rail fence which allows access to the toilets and the park from the footpath along Cavanagh Road (Plates 4 and 5).

The ground has been laid bare probably due to foot traffic around the pavilion, canopy shading and public space maintenance (Plates 4 and 5). Understorey vegetation, litter and logs are absent from the study area.

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March 2020



Plate 4. Study area showing location of fence, footpath, road and access to public toilets in the study area, 2 Cavanagh Road, Lower Plenty, March 2020



Plate 5. Study area showing lack of understory in the study area, 2 Cavanagh Road, Lower Plenty, March 2020

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March 2020

Two indigenous vascular plant species were recorded within the study area including Yellow Box *Eucalyptus melliodora* and Red Box *E. polyanthemos* subsp. *vestita*. One non indigenous Victorian species was recorded onsite: Spotted Gum #*Corymbia maculata*.

#### 4.1.1 Ecological vegetation communities

##### *Valley Grassy Forest (EVC 47)*

The DELWP modelled EVC for the study area is Plains Grassy Woodland EVC 55 and the typical canopy species for that EVC is River-Red gum *E. camaldulensis*. The canopy species in the study site however was dominated by Yellow Box which is more consistent with Valley Grassy Forest EVC 47 and the site was assessed against this EVC. The conservation status of this EVC in the Highlands Southern Fall Bioregion is 'Vulnerable'.

The indigenous vegetation in the study area consisted of a stand of young nine Yellow Box and three Red Box canopy trees of varying ages. One of Red Box trees was dead and the remaining 11 trees ranged from poor to good health as detailed in the arborists report (ATC 2020).

#### 4.1.2 Native remnant patch vegetation

The canopy dripline of the seven trees planned for removal (trees 1, 3, 4, 5, 7, 9 and 11) (Plate 1) overlap with each other and one or more of the five trees (trees 2, 6, 8, 10 and 12) to be retained in the study area. As the canopies of the trees numbered 1-12 interconnect, they constitute a patch of native remnant vegetation as defined under the Guidelines (Figure 1). The extent of this patch is 0.22 hectares (ha). No large trees were recorded in the patch. The DBH of trees to be removed are provided in Table 5.

#### 4.1.2 Weeds

Tree number 13 (Plate 1) is the eighth tree planned for removal and tree number 14 is to be retained. These trees are not indigenous to this area (Spotted Gum #*Corymbia maculata*) (VicFlora 2020) so are not defined as native vegetation under the Guidelines.

No other weed species were recorded within the study area.

#### 4.1.3 Scattered trees

No scattered trees were recorded in the study area.

#### 4.1.4 Rare and threatened flora species

No flora species listed under the EPBC Act or FFG Act were recorded in the study area during the field visit.

One species on the Victorian Advisory list was recorded in the study area. #Spotted Gum which is not indigenous to the study area but is indigenous to the Tara Range North of Buchan in Victoria where it is classified as vulnerable (RBG 2020, DELWP 2020c).

The VBA 5km DRA search results include previous records of 72 species. The search identified species consisting of 10 EPBC Act listed species, 15 FFG Act listed species and 47 VROTS.

Other than Giant Honey-myrtle #*Melaleuca armillaris* subsp. *armillaris* classified as rare in Victoria in East Gippsland but not indigenous elsewhere in Victoria (VicFlora 2020, DELWP 2020c), there

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March 2020

are no recent records (in the last six years) of Commonwealth or State listed species within 5km of the study area. The high level of foot traffic, regular maintenance such as mowing makes it highly unlikely that any rare or threatened species or species habitat would persist in the study area.

The PMST report search results included four additional plant species that have not been previously recorded within 5km of the study site but are considered to have the potential to occur or have suitable habitat in the local area including: Rosella Spider-orchid *Caladenia rosella*, Round-leaf Pomaderris *Pomaderris vacciniifolia*, Maroon Leek-orchid *Prasophyllum frenchii*, Green-striped Greenhood *Pterostylis chlorogramma*, and Leafy Greenhood *Pterostylis cucullata*.

Given the disturbance history at the site and total lack of understorey the study area is considered unlikely to support any Commonwealth or State-listed flora species or provide suitable habitat for rare or threatened species. As such, significant impacts to any Commonwealth and State-listed flora are considered unlikely. Targeted surveys for listed flora species are therefore not recommended as part of the proposed development.

#### 4.1.5 Determination of Listed Ecological Communities

The EPBC Act PMST report (DAWE 2020) identifies two listed threatened ecological communities as having the potential to occur within five kilometres of the study area including:

- Natural Damp Grassland of the Victorian Coastal Plains; and
- White Box-Yellow Box-Blakely's Red Gum Grassy Woodland and Derived Native Grassland

Vegetation within the study area does not correspond to the descriptions or condition thresholds of these or any other ecological community.

## 4.2 Fauna results

### 4.1.4 Fauna habitat

The quality and estimated value of habitat for fauna within the study area was determined by assessment against criteria developed by Abzeco (used in a number of previous studies) as described below.

#### *Habitat quality classification*

**Low:** Habitat areas classed as being of low quality are usually fragmented and have lost most structural elements such as tussock/hummock forming grasses or sedges, inter-tussock spaces, understory shrubs, logs, rocks and hollow-bearing trees. Connectivity with higher quality patches may be limited or absent. Such patches are generally weed infested, have little or no natural regeneration and remaining indigenous species are added to by invasive exotic species. No species of conservation significance are known or likely to occur in the area.

**Moderate:** Some structural elements have been lost, and invasive species may not be dominant over indigenous species but pose a significant threat. There is some connectivity with adjacent habitat of equal or greater quality. The patch may provide suitable habitat for fauna of conservation significance known or likely to occur in the area.

**High:** Most structural elements for fauna are present, understory species are generally healthy and most life forms may be present. The patch is part of a mosaic of reasonably contiguous

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March 2020

vegetation with connectivity to other areas of habitat. The patch provides suitable habitat for fauna of conservation significance known or likely to occur in the area, even if dominated by weeds.

#### 4.1.5 Habitat types and assessment of quality

Vegetation in the study area may provide some suitable habitat for a range of common vertebrate fauna species, and there is a possibility that it may also support fauna species of conservation significance. The study area effectively supports a single habitat type in the form of modified indigenous forest/woodland.

##### *Woodland*

Woodland vegetation throughout the site is highly modified as it is lacking ground and shrub layer diversity and structure and is considered to provide only low-moderate quality habitat. Most of the site supports a contiguous cover of canopy trees, however, the trees are young with no obvious spouts or hollows and do not appear to support any nests.

The trees are likely to provide foraging opportunities when in flower for a wide range of common bird species typically found in the area. The trees may also provide foraging opportunities for common fauna species such as Common Brushtail Possum *Trichosurus vulpecula* and Ringtail Possum *Pseudocheirus peregrinus*, however, most trunks show little evidence of use by arboreal mammals and there were no scats observed under the trees.

There is no biomass in the ground layer, with a near absence of leaf litter and no coarse woody debris, providing low quality habitat for reptiles, small mammals and invertebrates.

#### 4.1.6 Habitat suitability for rare and threatened fauna

No EPBC Act or State-listed fauna species were recorded during the current field assessment. The VBA contains previous records of 14 EPBC Act-listed species, 45 FFG listed species and 65 State-listed fauna species previously recorded within a five kilometre radius of the study area.

There are recent records (in the last six years) for 24 rare or threatened species 21 of which are birds. Based on habitat requirements for the range of threatened fauna species that are known to occur or have historically been recorded locally, these species are likely to inhabit the nearby Plenty River which provides more suitable habitat. A limited number of threatened fauna species may occasionally utilise habitat within the study area. The lack of understory vegetation, hollows, logs and litter makes it highly unlikely that the study area would provide any significant habitat for rare or threatened fauna.

The PMST report includes an additional 27 species that have not been recorded within 5km of the study site but may occur, or are likely to occur, or breeding is known to occur in the area. The list also includes species with habitat that may occur, is likely to occur or is known to occur within the area. A number of these species are migratory wetland and marine birds, species of fish, frogs and mammals for which there may be suitable habitat along the nearby Plenty River. The study site does not provide suitable habitat for these species.

In summary, although the study area shares close connectivity to the Plenty River, it is peripheral and lacks foraging resources for most species.

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March 2020

The highly modified condition of the study area means suitable habitat is considered effectively absent for all rare and threatened species, and as such they are considered unlikely to be resident or to use the study area for breeding purposes. In addition, the vegetation in the study area does not represent critical or limiting habitat for any rare or threatened fauna species. Significant impacts to Commonwealth or State-listed fauna species are considered unlikely and targeted surveys for listed fauna species are therefore not recommended as part of the proposed development.

## 5 Vegetation quality assessment (habitat hectares)

A habitat hectare assessment was conducted for the single identified habitat zone in accordance with the VQA methodology (DSE 2004). The patch is in poor condition and the assessment calculated a low condition score as a result of the lack of understory vegetation species, structure, leaf litter, logs and recruitment.

The redevelopment of the pavilion will require partial removal of the patch of native vegetation (7 trees in the patch). The remainder of the patch consists of trees assessed by an arborist as able to be retained (ATC 2020).

In situations where only some of the canopy trees within a patch are planned to be removed each tree is mapped with the extent of a scattered tree. No large trees were recorded so all trees are considered small trees.

The extent of vegetation loss allocated to a small scattered tree is a circle with a radius of 10m with the trunk at the center (DELWP 2017). If the combined extent of the canopy trees covers the same area or more than the entire patch then the whole patch is considered removed. The combined area of the seven trees is 0.22ha which is greater than the patch size (0.02) and the entire patch is considered removed (DELWP 2018). The lowest condition score that can be allocated to partial removal is 0.20. Table 2 details the habitat hectare results for the habitat zone.

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March 2020

**Table 2. Habitat hectare assessment, 2 Cavanagh Street, Lower Plenty, March 2020**

Habitat Zone		HZ1	
Bioregion		HSF	
EVC Name		VGF	
EVC Number		47	
EVC Conservation Status		V	
		Maximum Score	
Site Condition	Large Old Trees	10	0
	Canopy Cover	5	4
	Understorey	25	0
	Lack of Weeds	15	11
	Recruitment	10	0
	Organic Matter	5	0
	Logs	5	0
	Treeless EVC Multiplier		1.00
	Subtotal =		16.00
Landscape Value	25	1	
Habitat Points	100	0.16	
<b>Habitat Score</b>	<b>/100</b>	<b>0.20<sup>4</sup></b>	
Total Area (ha)		0.022	

**Legend:**

HZ = Habitat Zone  
HSF = Highlands Southern Fall bioregion  
EVC = Ecological Vegetation Class  
VGF = Valley Grassy Forest  
V = Vulnerable  
ha = hectare

## 6 Native vegetation removal assessment pathway

The entire study area is modelled as Location 1 (DELWP 2020a), the extent of clearing is less than 0.5ha (the client has advised that there has been no previous native vegetation clearing in the last five years), and no large trees are being removed so the application to remove native vegetation will follow the basic pathway (Table 1).

<sup>4</sup> When canopy trees are removed from a patch of native vegetation, the identified canopy trees receive the condition score of the patch of native vegetation they are located in. The lowest possible condition score is 0.2 (DELWP 2018).

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March 2020

## 7 Offset requirements

Information collected during the habitat hectare assessment was used to generate spatial data for submission to DELWP to generate a native vegetation removal report. The report quantifies the losses and the offset targets and includes conditions that must be met to satisfy a planning application to remove native vegetation.

A summary of the vegetation removal report including native vegetation losses and offset targets and conditions generated by DELWP is provided in Tables 3 and 4. The full report is provided as a separate attachment (Attachment 1).

Table 3. Summary of Assessed Native Vegetation losses (source DELWP 2020)

Description	
Location	1
Extent – Patch vegetation (hectares)	0.02
Number of Large trees in patches	0
Total number of scattered trees	0
Assessment Pathway	Basic
Strategic Biodiversity Value	0.260

Table 4. Offset targets for planned vegetation losses

Offset requirements		
Offset type		General habitat units (GHUs)
Offset amount		0.002 GHUs
Large Trees		0
Offset Attributes		
Vicinity	The offset site must be located within the same Catchment Management Authority (CMA) boundary or the same municipal district as the native vegetation to be removed.	Port Philip and Westernport CMA or Banyule City Council
Minimum Strategic Biodiversity Value (SBV) score	The SBV score of the offset site must be at least 80 per cent of the strategic biodiversity value score of the native vegetation to be removed	0.208

The removal of native vegetation in the study area is not modelled as having a significant impact on habitat for rare or threatened species and species offsets are not required (Attachment 1).

The offsets must be secured prior to the commencement of any works (DELWP 2017).

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March 2020

## 8 Avoidance and minimisation statement

**Avoid:** The plans include the removal of the existing pavilion with the new pavilion to be built on the footprint of the old pavilion and extended north. It is not possible to move the pavilion to avoid native vegetation without encroaching on existing infrastructure (i.e. playing fields, childrens playground and cricket nets).

**Minimise:** Efforts have been made to minimize the impacts on native vegetation with an arborists assessment undertaken to determine and provide management actions to retain five trees in the study area.

**Offset:** As it will be necessary to remove native vegetation to undertake the proposed works, native offsets will need to be secured.

## 9 Native vegetation offset strategy

Under the Guidelines any approved removal of native vegetation is required to be offset, with the ultimate aim of achieving no net loss in the extent and quality of indigenous vegetation across Victoria (DELWP 2017).

Offsets can be achieved by securing (with a legal agreement), maintaining and improving areas of existing vegetation on the same property under the same ownership as the vegetation clearing site (referred to as first party offsets). To achieve this, proposed first party offset sites must meet certain eligibility requirements. This opportunity can be explored on site if required.

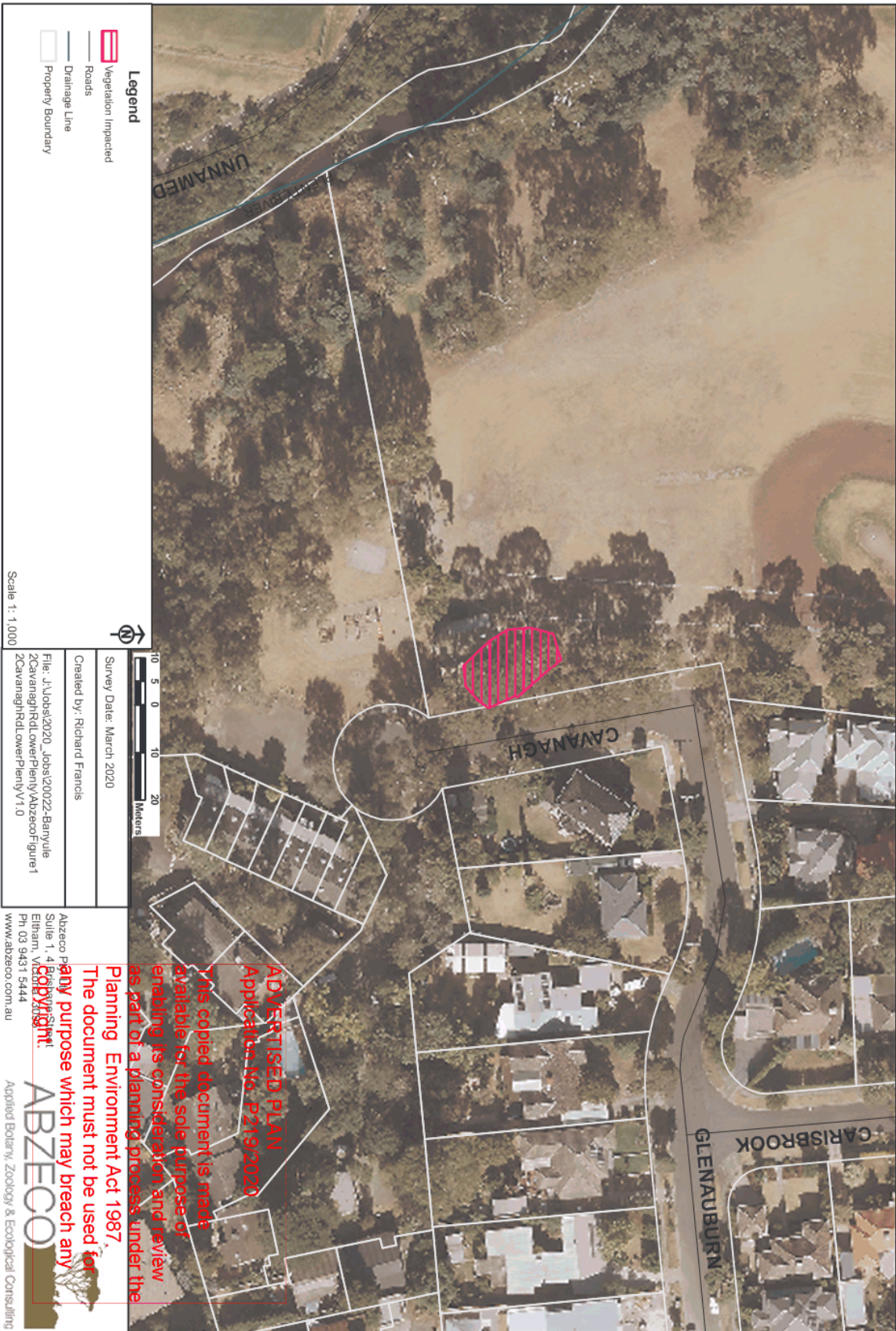
Given the small offset requirements it would be more efficient to purchase third party offsets which are currently available on the Native Vegetation Credit Register (NVCR) for purchase through an accredited offset broker.

A search of The NVCR to was undertaken using the DELWP NVCR search tool to find credit sites to match the offset requirements (DELWP 2020f). An NVCR search tool report was generated which showed that credit sites that would meet offset requirements were available for purchase as of 30/03/2020 at 0.901 am Abzeco are offset brokers and can a quote to purchase third part offsets to meet the offset requirements.

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Figure 1: Extent of Vegetation Impacts, 2 Cavanagh Road, Lower Plenty





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March 2020

## 10 Legislation and policy

The key biodiversity protection legislation and regulations potentially relevant to the study area are the Commonwealth Environment Protection and Biodiversity Conservation Act 1999 (EPBC Act), the Victorian *Flora and Fauna Guarantee Act 1988* (FFG Act), the *Catchment and Land Protection Act 1994* (CaLP Act), and the Banyule City Council planning scheme (DELWP 2020b). The Guidelines (DELWP 2017) is the principal document that informs biodiversity regulation under the planning scheme.

The requirements and implications under legislation pertaining to native vegetation are summarised below.

### *Environment Protection and Biodiversity Conservation Act 1999*

The EPBC Act is the primary Commonwealth legislation for environment protection. Under the EPBC Act, an action will require approval from the Commonwealth Minister for the Environment if it has, will have, or is likely to significantly impact on matters of National Environmental Significance (NES) under the act. Unless subject to exceptions, the action may be considered 'controlled' requiring a detailed assessment and the grant of a permit to proceed (DAWE 2020).

Matters of NES include: listed (nationally) threatened species and ecological communities, migratory species protected under international agreements, Ramsar wetlands of international importance, the Commonwealth marine environment, World Heritage properties, National Heritage places, the Great Barrier Reef Marine Park, nuclear actions and water resources in relation to coal seam gas development and large coal mining development (DAWE 2020).

#### Implications

EPBC Act-listed flora and fauna species were not recorded in the study area and are not expected to be associated with the site given its highly disturbed condition. As such, a significant impact to a Matter of National Environmental Significance is considered unlikely and a referral to the Commonwealth Minister for the Environment is not required as part of the proposed development.

### *Flora and Fauna Guarantee Act 1988*

The *Flora and Fauna Guarantee Act 1988* (FFG Act) is the primary Victorian state legislation for the protection of native plants, animals and ecological communities on public land and water. The FFG Act lists threatened flora and fauna species, ecological communities and threatening processes. The Act also lists flora that have legal protection. Protected flora includes listed species under the Act, species in listed communities, and species that need protection for other reasons e.g. over collection (see DELWP website for current list). It is an offence to take (kill, injure, disturb or collect), trade, keep, move, or process protected flora without a permit or by Order of the Governor in Council published in the Government Gazette (GIC order) if the above obligations do not apply.

#### Implications

No flora species protected under the FFG Act were observed within the study area and no permits are required to remove protected flora.

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March 2020

### ***Catchment and Land Protection Act 1994***

Under the *Catchment and Land Protection Act 1994* (the CaLP Act) (AV 2020) species of plants and animals are declared as noxious weeds and pest animals in Victoria. The purpose of the Act is to protect primary production, Crown land, the environment and community health from the effects of noxious weeds and pest animals. Under the Act, all Landowners have legal obligations regarding the management of declared noxious weeds and pest animals on their land.

There are four categories of noxious weeds under the CaLP Act: State Prohibited, Regionally Prohibited, Regionally Controlled and Restricted Weeds. Landowners must take all reasonable steps to **eradicate regionally prohibited weeds, prevent the growth and spread of regionally controlled weeds and prevent the spread of—and as far as possible eradicate—established pest animals** on their land.

Under the CaLP Act, landowners have a legal duty to prevent the spread of, and as far as possible eradicate, established pest animals. There are four categories of pest animals: **Prohibited, Controlled, Regulated (collectively referred to as Restricted pest animals) and Established pest animals**. Restricted pest animals are not established in the wild in Victoria but have the potential to become a serious threat to primary production, Crown land, the environment or community Health in Victoria and cannot be kept without a permit. Established pest animals pose the same threat but are established in the wild in Victoria. **Landowners have a responsibility to prevent their spread and where possible eradicate established pest animals.**

#### **Implications**

No noxious weeds listed under the CaLP Act or recognised Weeds of National Significance (WONS) were recorded in the study area. Landowners however have a legal responsibility under the Act to control declared noxious weeds on any part of their property and ensure spreading of weeds is limited and managed during construction works.

### ***Wildlife Act 1975 and Wildlife Regulations 2002 (Victoria)***

The *Wildlife Act 1975* and *Wildlife Regulations 2002* is the primary legislation in Victoria providing for the management and protection of wildlife. The objective of the Act is to regulate the conduct of those involved in working with wildlife and establish procedures for the protection and conservation of wildlife and prevention of species extinctions.

#### **Implications**

All trees inspected as part of this assessment were considered unlikely to support native fauna and are unlikely to require pre-clearance surveys prior to removal. Nevertheless, should it be determined that the trees do support arboreal fauna, any persons engaged in salvage, translocation and/or handling of native fauna during construction works must have a management authorization under the *Wildlife Act 1975*.

### ***Banyule City Council Planning Scheme***

#### **Clause 52.17 (the Guidelines 2017)**

In Victoria, a permit is required to remove, destroy or lop native vegetation. Planning proposals that may impact native vegetation are governed by Clause 12.01 (Biodiversity) and Clause 52.17

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March 2020

(Native Vegetation) which are incorporated into all Victorian planning schemes (DELWP 2017). Both Clauses reference the Guidelines (DELWP 2017).

A key strategy under Clause 52.17 of the Banyule Planning Scheme and a requirement under the Guidelines is to ensure there is no net loss to biodiversity as a result of the removal, destruction or lopping of native vegetation. This is achieved through the three-step approach in accordance with the Guidelines:

1. Avoid the removal, destruction or lopping of native vegetation.
2. Minimise impacts from the destruction or lopping of native vegetation that cannot be avoided.
3. Provide an offset to compensate for the biodiversity impacts from the removal, destruction or lopping of native vegetation.

#### *Clause 52.17 application requirements*

An application to remove, destroy or lop native vegetation must be classified as one of the following assessment pathways: Basic, Intermediate or Detailed as defined in the Guidelines. The application requirements and decision guidelines included in Clause 52.17 of the planning scheme must be applied in accordance with the applicable pathway unless an exemption applies.

All applications to remove, destroy or lop native vegetation must comply with the mandatory application requirements (Appendix 2).

#### *Referral of planning permit applications*

The relevant responsible authorities are required to assess permit applications for the removal, destruction or lopping of native vegetation. The responsible authority is the relevant Council. Under Clause 66 (Referral and Notice Provisions) of planning schemes, DELWP is a recommending referral authority where one or more of the following requirements are met:

- To remove, destroy or lop native vegetation in the Detailed Assessment Pathway;
- To remove, destroy or lop native vegetation if a Property Vegetation Plan applies to the site; or,
- To remove, destroy or lop native vegetation on Crown land which is occupied or managed by the responsible authority.

#### **Implications**

The vegetation planned to be removed meets the definition of native remnant patch vegetation as per the Guidelines and a planning permit to remove, destroy or lop native vegetation is required under Clause 52.17 of the Banyule City Council planning scheme as part of the proposed works.

Information to support the permit application must be provided as per the Guidelines.

The study area is in Location 1 and the extent of clearing is less than 0.5 hectares. No large trees or endangered EVC's are planned to be removed. The planning application will follow the basic pathway and general offsets will be required.

A referral to DELWP is not required.

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March 2020

## Zoning and Overlays

The zoning and overlays that cover the study area are listed below and the implications of the planned vegetation removal on the objectives of the zoning and overlays are provided here.

### *Public Park and Recreation Zone (PPRZ) and Schedule to the PPRZ*

#### Implications

No implications were identified pertaining to native vegetation

### *Schedule 8 (DDO8) to Design and Development Overlay*

PLENTY RIVER EAST NEIGHBOURHOOD CHARACTER

#### **Design objectives:**

- To ensure that development does not penetrate the tree canopy.
- To ensure that the heavily vegetated character of the area is respected by new development.
- To ensure that the health of existing trees is not jeopardised by new development.
- To maintain the spaciousness and bush character of front gardens.

#### **Decision Guidelines**

The following decision guidelines apply to an application for a permit under Clause 43.02, in addition to those specified in Clause 43.02 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- the extent to which the proposal maintains the vegetation dominated streetscapes and vistas.
- the extent to which the proposed development may dominate the landscape or streetscape.
- the need to ensure new buildings and works, including driveways, fit within the landscape and the topography of the land.
- the need to maintain the view of vegetation from the road and other public areas, including views across river valleys.

#### Implications

To protect the health of existing trees the landowner should ensure that the actions recommended by the arborists report (ATC 2019) to protect the existing trees are carried out.

### *Development Contributions Plan Overlay Schedule 1 (DCPO1)*

#### Implications

No implications were identified pertaining to native vegetation

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March 2020

### *Environmental Significance Overlay (ESO)*

A permit is required to remove, destroy or lop any vegetation, including dead vegetation. This does not apply:

- If a schedule to this overlay specifically states that a permit is not required.
- If the table to Clause 42.01-3 specifically states that a permit is not required.
- To the removal, destruction or lopping of native vegetation in accordance with a native vegetation precinct plan specified in the schedule to Clause 52.16.

### **Implications**

A permit is required to remove native vegetation

### *Schedule 1 (ESO1) to the Environmental Significance Overlay*

YARRA RIVER, PLENTY RIVER AND DAREBIN CREEK

#### **Statement of environmental significance.**

These areas stretch along the Yarra River, Plenty River and the Darebin Creek and have significant natural habitat and environmental qualities. Recent studies have included these areas in sites of state and regional faunal significance and High and Medium habitat significance. They include predominantly streamside areas supporting open space and substantial remnants of indigenous vegetation and wetlands of at least local conservation significance, which in turn, provide habitat for a variety of native animals threatened with local extinction. Vegetation and wetlands are also recognised as major contributors to the landscape quality and visual amenity of the area. The significant fauna that occurs in or utilizes this area includes the vulnerable Swift Parrot and rare species including the Eastern Broad-nosed Bat, Large-footed Myotis, Baillon's Crake, Australasian Bittern, Little Bittern, Lewin's Rail, Latham's Snipe, Black Falcon, Grey Goshawk and Powerful Owl. There are also numerous regionally significant species. The continued viability of these areas and their resident species as a significant environmental resource is under threat from the continued development of open space, weed invasion and feral animals, and the disturbance arising from humans and their companion animals. The remaining areas of native vegetation have become increasingly fragmented and their habitat value is threatened. Accordingly the protection of the native vegetation and wetlands and the maintenance and enhancement of these habitats for indigenous fauna are of vital importance

#### **Environmental objective to be achieved**

To protect areas along watercourses from development and loss of vegetation that may damage the streamside environment as a visual, conservation, ecological and recreation resource.

To enhance and encourage the conservation and maintenance of the streamside environment as a conservation, ecological and recreation resource.

To address the threatening processes associated with widespread habitat loss and degradation that has occurred in North East Melbourne.

To conserve water quality and watercourse capacity to enable appropriate beneficial land use and water-based activities to be undertaken.

To encourage the retention and enhancement of a continuous corridor of indigenous vegetation along river and creek banks in order to provide corridors and habitat for the movement of wildlife.

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Application No. P219/2020  
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March 2020

To protect the watercourse and adjoining parkland and its flora and fauna from the effects of polluted waters conveyed by the stormwater system or other means.

To protect and enhance sites with archaeological or scientific significance.

To encourage development consistent with any approved concept plan for the area.

To ensure that development and management of land is compatible with the natural environmental character and landscaped qualities of the watercourse and its surrounds.

### Permit requirement

#### Vegetation

A permit is required to remove, destroy or lop any vegetation (unless an exemption applies).

### Decision guidelines

#### Building, works and subdivision

Before deciding on an application to construct a building, or to construct or carry out works, or to subdivide land, or whether a plan is satisfactory, the responsible authority must consider, as appropriate (a number of points some of which relate to vegetation and included below):

- The effect of the development on the natural ecosystems of the area.
- The conservation and enhancement of the area
- The need to maintain the natural environment as the dominant visual element of the area.

#### Vegetation

Before deciding on an application to remove, destroy or lop any vegetation the responsible authority must consider, as appropriate (a number of points some of which relate to vegetation removal included below):

- The role of native vegetation in conserving flora and fauna.
- The need to retain native or other vegetation if it is rare, supports rare species of flora or fauna or forms part of a wildlife corridor.
- Whether provision is made or is to be made to establish and maintain native vegetation elsewhere on the land.
- The conservation and enhancement of vegetation in the area.
- The benefits of retaining a buffer strip of vegetation within specified distances of water courses, roads and property boundaries.
- The benefits of requiring planting, replanting or other treatment of a part of the land
- Any proposed landscape plan or agreement to replace areas of vegetation on the site

### Implications

A permit is required to remove all vegetation including the Spotted Gums.

The ESO1 has objectives and decision guidelines which could be breached under the Planning and Environment Act 1987.

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March 2020

The objectives include:

- enhancement and maintenance of streamside environments; and
- retention and enhancement a continuous corridor of indigenous vegetation along river and creek banks to provide habitat corridors for wildlife;

The decision guidelines include:

- whether the provision is, or has been made to establish and maintain native vegetation elsewhere on the land,
- the conservation and enhancement of the vegetation in the area;
- the benefits of requiring planting, replanting or other treatment of any part of the land; and
- any proposed landscape plan or agreement to replace areas of vegetation on the site.

As understory vegetation is lacking in the study area, improving structural and floristic diversity in adjacent areas would assist with improvement of habitat values for a range of species.

It is suggested that part of the conditions of the permit include replanting along the Plenty River adjoining Glenauburn Park to assist in achieving the abovementioned objectives and considerations.

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March 2020

## 11 Recommendations

The following recommendations are made to manage impacts on native vegetation at the study site:

- Appropriate consideration of construction measures to ensure trees to be retained in the study area and native vegetation in the surrounding areas are appropriately delineated and protected during construction works as detailed in the arborists report (ATC 2020) which in summary includes:
  - Erect signage and temporary fencing to establish No-Go Tree Protection Zones (TPZs) and prevent encroachment of machinery or pedestrians prior to works commencing;
  - No stockpiling of building materials, rubbish, etc. into retained areas of native vegetation;
  - No washdown areas for tools or equipment, mixing of materials e.g. cement, burning of any materials within TPZs;
  - Storage of equipment and machinery should be placed as far away as possible from areas supporting native vegetation; and
  - No-Go Zones should be designated on the construction plans as well as on site.
- Ensure all personnel are familiar with the extent of the works area and No-Go Zones;
- Ensure all personnel are appropriately inducted/aware of ecologically sensitive areas in the study area and immediate surrounds;
- The spread of weeds during construction to areas of adjacent high ecological value should be appropriately managed during construction through appropriate hygiene protocols for machinery, vehicles and personnel;
- The application of soil treatments should be undertaken as detailed in the arborists report (ATC 2020);
- As a condition of permit, develop and implement a revegetation plan that shows the location and extent of revegetation along the Plenty River to address the objectives and decision guidelines under the ESO1. A suggested planting schedule is provided below :
  - A suitably qualified and experienced contractor should be engaged to undertake the planting of indigenous species in suitable streamside spaces (identified in a revegetation plan) along the Plenty River riparian corridor adjacent to the Glenauburn Park;
  - Weed control should be undertaken prior to planting and trees should be planted into Jute squares to assist with water retention and weed suppression;
  - Plastic 600mm tree guards should be used to reduce grazing impacts from native and pest animals. Tree guards should be removed once trees are established to avoid them entering and polluting the Plenty River; and
  - As a Guide, it is recommended replanting follow the La planting and Westernport Native Vegetation Plan which includes the number of plants that should be planted to replace each tree removed (ATC 2020). The number of

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March 2020

replacement plants are determined according to the sizes of trees removed (Figure 2). The determination of the number of plants (a total of 90) to be replanted for each tree lost is provided in Table 5.

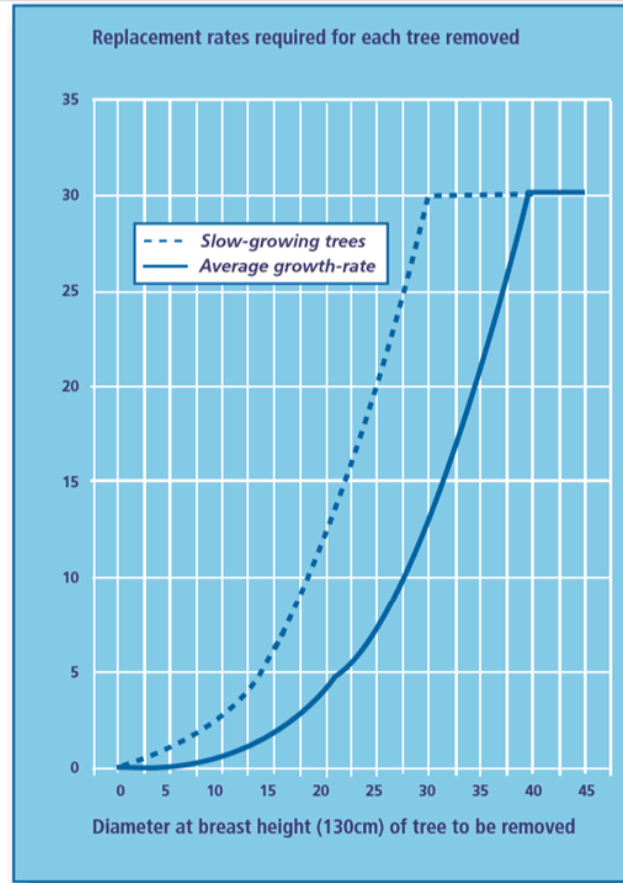


Figure 2. Replacement rates for removed trees (average growing trees), 2 Cavanagh Street, Lower Plenty (Source: PPWPNVP 2006)

Table 5. Number of plants required to replace each tree removed, 2 Cavanagh Street, Lower Plenty based on graph provided in Figure 2

Tree number (follows ATC 2020)	1	3	4	5	7	9	11	13
DBH (cm)	54	9	26	30	16	10	50	25
Number of replacement plants	30	1	7	12	2	1	30	7

A list of species for propagation and planting is provided in Table 6.

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March 2020

## Indigenous species selection guide for supplementary planting in riparian areas

Plant selection listed below in Table 6 is based on a range of locally indigenous tree and shrub species known to commonly occur in riparian vegetation in the Lower Plenty area. The species listed are specifically selected as they are able to be propagated, appropriate for the study site and propagation material is available from remnant and planted vegetation locally. The numbers of each species to be used will need to be determined following vegetation management works. Any plants sourced for these plantings are to be from local provenance.

**Table 6. Plant species list for supplementary planting in the Lower Plenty area**

Scientific Names	Common Names	Example
<b>Trees</b>		
<i>Allocasuarina littoralis</i>	Black Sheoak	2
<i>Acacia dealbata</i>	Silver Wattle	1
<i>Acacia mearnsii</i>	Black Wattle	0
<i>Acacia melanoxylon</i>	Blackwood	2
<i>Eucalyptus melliodora</i>	Yellow Box	1
<i>Eucalyptus ovata</i>	Swamp Gum	1
<i>Eucalyptus radiata</i>	Narrow Leaved Peppermint	1
<i>Eucalyptus rubida</i>	Candlebark	0
<i>Eucalyptus viminalis</i>	Manna Gum	1
<i>Eucalyptus yarraensis</i>	Yarra Gum	0
<i>Pomaderris aspera</i>	Hazel Pomaderris	1
	<b>Sub-total</b>	<b>10</b>
<b>SHRUBS</b>		
<i>Acacia verticillata</i>	Prickly Mosses	5
<i>Acacia paradoxa</i>	Hedge Wattle	5
<i>Acacia pycnantha</i>	Golden Wattle	5
<i>Acacia implexa</i>	Lightwood	0
<i>Banksia marginata</i>	Silver Banksia	5
<i>Bursaria spinosa</i>	Sweet Bursaria	5
<i>Callistemon sieberi</i>	River Bottlebrush	5
<i>Cassinia aculeata</i>	Common Cassinia	0
<i>Cassinia longifolia</i>	Dogwood	0
<i>Coprosma quadrifida</i>	Prickly Currant-bush	5
<i>Goodenia ovata</i>	Hop Goodenia	5
<i>Leptospermum continentale</i>	Prickly Tea-tree	5
<i>Leptospermum lanigerum</i>	Woolly Tea-tree	0
<i>Meliccytis dentata</i>	Tree Violet	5
<i>Olearia lirata</i>	Snowy Daisy-bush	5
<i>Ozothamnus ferrugineus</i>	Tree Everlasting	5
<i>Prostanthera lasianthos</i>	Christmas Bush	5
<i>Rapanea howittiana</i>	Muttonwood	5
<i>Solanum aviculare</i>	Kangaroo Apple	0
<i>Solanum laciniatum</i>	Large Kangaroo Apple	5
<i>Viminaria juncea</i>	Golden Spray	5
	<b>Sub-total</b>	<b>60</b>

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**Application No. P219/2020**  
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March 2020

## 12 Conclusion

This Biodiversity Assessment addresses all necessary components for a planning application under the Basic Pathway pursuant to Clause 52.17-2 and the *Guidelines* (DELWP 2017a).

In summary, the following matters are relevant to the proposed development:

- No flora or fauna species, or ecological communities listed under the Commonwealth *Environment Protection and Biodiversity Conservation Act 1999* (EPBC Act) are relevant to the study area. As such, a referral under the EPBC Act is not required;
- A permit under Victoria's *Flora and Fauna Guarantee Act 1988* (FFG Act) is not required for any proposed removal of protected flora species;
- No State-listed flora or fauna species are considered relevant to the study area. Targeted surveys are not recommended to inform the proposed development;
- A planning permit to remove, destroy or lop native vegetation is required under Clause 52.17 of the Banyule planning scheme (*Planning and Environment Act 1987*) as part of the proposed development;
- An offset is required to be purchased before works commence; and
- Replacement planting for the proposed removal of trees is recommended as a permit condition.

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March 2020

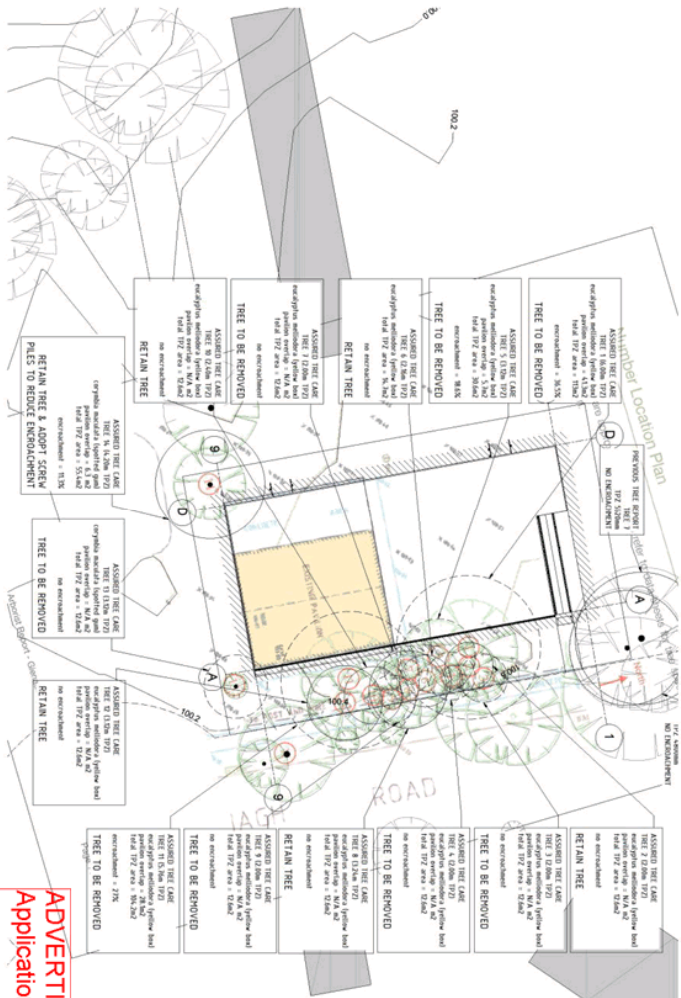
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Appendix 1. Planned tree removal, 2 Cavanagh Road, Lower Plenty, March 2020 (Source ATC 2020)



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March 2020

## Appendix 2. Application requirements for all applications for a permit to remove native vegetation (source: Table 4, DELWP 2017)

All applications to remove, destroy or lop native vegetation must comply with the mandatory application requirements which include:

Application requirements for all applications for a permit to remove native vegetation

1. Information about the native vegetation to be removed including:
  - The assessment pathway and reason for the assessment pathway (Appendix 2). This includes the location category of the native vegetation to be removed (Appendix 2);
  - A description of the native vegetation to be removed that includes:
    - Whether the native vegetation is a patch or scattered tree or both and the extent in hectares;
    - The number, Diameter at Breast Height (DBH)/circumference of any large trees in patches and/or scattered trees (large or small);
    - The Strategic Biodiversity Value score;
    - The condition score (obtained from a field-based Vegetation Quality Assessment [habitat hectares] of the native vegetation as required;
    - Whether it includes endangered Ecological Vegetation Classes (EVCs); and,
    - Whether a sensitive wetland and/or coastal areas are present.
  - Maps showing the native vegetation and property in context and containing:
    - scale, north point and property boundaries;
    - location of any patches of native vegetation and the number of large trees within the patch proposed to be removed; and,
    - location of scattered trees proposed to be removed, including their size.
  - The offset requirement, determined in accordance with section 5 of the Guidelines, that will apply if the native vegetation is approved to be removed;
2. Topographic and land information relating to the native vegetation to be removed, showing ridges, crests and hilltops, wetlands and waterways, slopes of more than 20 percent, drainage lines, low lying areas, saline discharge areas, and areas of existing erosion, as appropriate;
3. Recent, dated photograph of the native vegetation;
4. Details of any other native vegetation approved to be removed, or that was removed without the required approvals, on the same property or on contiguous land in the same ownership as the applicant, in the five year period before the application for a permit is lodged;
5. An avoid and minimise statement. The statement describes any efforts to avoid the removal of, and minimise the impacts on the biodiversity and other values of native vegetation, and how these efforts focus on areas of native vegetation that have the most value;

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March 2020

6. A copy of any Property Vegetation Plan contained within an agreement made pursuant to section 69 of the *Conservation, Forests and Lands Act 1987* that applies to the native vegetation to be removed;
7. Where the removal of native vegetation is to create defensible space, a written statement explaining why the removal of native vegetation is necessary. This statement must have regard to other available bushfire risk mitigation measures. This statement is not required when the creation of defensible space is in conjunction with an application under the Bushfire Management Overlay;
8. If the application is under Clause 52.16, a statement that explains how the proposal responds to the Native Vegetation Precinct Plan considerations at decision guideline 8.
9. An offset statement providing evidence that an offset that meets the offset requirements for the native vegetation to be removed has been identified, and can be secured in accordance with the Guidelines.

A suitable statement includes evidence that the required offset:

- o is available to purchase from a third party; or,
- o will be established as a new offset and has the agreement of the proposed offset provider; or,
- o can be met by a first party offset.

Additional application requirements for applications in the Detailed Assessment Pathway

10. A site assessment report of the native vegetation to be removed including:
  - A habitat hectare assessment of any patches of native vegetation, including the condition, extent (in hectares), Ecological Vegetation Class and bioregional conservation status;
  - The location, number, circumference (in centimeters measured 1.3 meters above the ground level) and species of any large trees within patches;
  - The location, number, circumference (in centimeters measured at 1.3 meters above the ground level) and species of any scattered trees, and whether each tree is small or large.
11. Information about impacts on rare or threatened species habitat, including:
  - The relevant section of the Habitat importance map for each rare or threatened species requiring a species offset;
  - For each rare or threatened species that the native vegetation to be removed is habitat for, according to the Habitat importance maps:
    - o The species' conservation status;
    - o The proportional impact of the removal of native vegetation on the total habitat for that species; and
    - o Whether their habitats are highly localised habitats, dispersed habitats, or important areas of habitat within a dispersed species habitat.

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March 2020

**Attachment 1. Application requirements for all applications for a permit to remove native vegetation (source: Table 4, DELWP 2017)**

Attachment 1 is provided as separate document as it is provided as a locked pdf. Document by DELWP.

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**BANYULE CITY COUNCIL - DESIGN AND CONSTRUCT OF GLENAUBURN MODULAR PAVILION [REV.6]**

**GENERAL NOTES**

- A. DO NOT SCALE THE DRAWINGS.
- B. ALL CONTRACTORS TO VERIFY CONDITIONS PRIOR TO COMMENCEMENT OF EACH PORTION OF THE WORK.
- C. UNLESS OTHERWISE INDICATED, PLAN DIMENSIONS ARE TO COLUMN GRID ON CENTERLINES, NOMINAL SURFACE OF MASONRY FACE OF STUDS AND FACE OF SANDWICH PANEL WALLS.
- D. 'FLOOR LINE' REFERS TO TOP OF FINISHED FLOORING FOR DEPRESSED FLOORS AND CURBS.
- E. REPETITIVE FEATURES ARE NOT DRAWN IN THEIR ENTIRETY AND SHALL BE COMPLETELY PROVIDED AS IF DRAWN IN FULL.
- F. THE CONTRACT DOCUMENTS ARE COMPLETELY WHAT IS REQUIRED BY ONE'S AS BEING AS IF REQUIRED BY ALL THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION. NOTIFY THE COORDINATOR FOR RESOLUTION OF ALL DISCREPANCIES PRIOR TO CONSTRUCTION.
- G. WHERE A DOOR IS LOCATED NEAR CORNER OF ROOM AND IS NOT LOCATED BY DIMENSION ON PLAN OR DETAILS, DIMENSION SHALL BE 100mm FROM FACE OF STUD WALL TO FACE OF ROUGH OPENING.
- H. AT SECURITY WALLS (IF ANY), FULL HEIGHT PARTITIONS SHALL BE SEALED BOTH SIDES.
- I. ALL DIMENSIONS OF WINDOWS IN ELEVATIONS ARE NOMINAL SIZES OF WINDOW FRAMES UNLESS OTHERWISE NOTED. ALL DOOR SIZES INDICATE DOOR PANEL SIZE.
- J. ALL ROUGH-IN DIMENSIONS FOR EQUIPMENT PROVIDED IN THIS SECTIONS ARE APPROXIMATE.
- K. WHERE NOTE BY OTHERS INDICATED, THE WORK OR TASK IS ASSIGNED BY A THIRD PARTY CONTRACTOR NOT KNOWN TO BUILDING SYSTEMS AND ASSIGNED BY CUSTOMER WITH HIS RESPONSIBILITY FOR THE QUALITY AND OUTCOME OF WORK.
- L. UNLESS OTHERWISE NOTED ALL STUD WALL FRAMES, ROOF FRAMING AND BASE FRAMING WILL BE CONSTRUCTED WITH STANDARD SPACING OR MEMBER SIZES TO MANUFACTURER OR ENGINEER DETAILS. FOR RETROFITTING OF ACCESSORIES, MECHANICAL, ELECTRICAL AND OTHER FLOORING, CURBS, ANCHORS AND INSERTS NO BASES OR BLOCKING IS PROVIDED UNLESS REQUESTED BY THE CUSTOMER PRIOR CONSTRUCTION STAGE.
- M. ALL INTERIOR METAL STUD WALLS SHALL BE CONSTRUCTED WITH 90mm WALL STUDS UNLESS OTHERWISE NOTED.
- N. ALL DIMENSIONS IN PRELIMINARY STAGE ARE APPROXIMATE AND DO NOT CONSIDER CONSTRUCTION TOLERANCE AND ADOPTIVE FIXED DIMENSIONS WILL BE DETERMINED AFTER THE COMPLETION OF STRUCTURAL CONSULTATIONS AND CERTIFICATION OF DESIGN. IN GENERAL, THAT MIGHT EFFECT STRUCTURAL BASE FLOOR THICKNESS AND JOIST SPACING, ROOF AND CEILING FRAMING THICKNESS, FURDUS SPACING, WALL THICKNESS AND STUD SPACING, BULKHEADS HEIGHTS, OPENINGS LOCATION AND SPACING.
- O. THE CONTRACT (OR QUOTATION OFFER) AND DRAWING DOCUMENTS ARE COMPLETELY, WHERE ANY ERRORS, AMBIGUITIES, INCONSISTENCIES, OR ANOMALIES MAY OCCUR CONTRADICTING BETWEEN THE DRAWINGS AND THE CONTRACT (OR QUOTATION OFFER), THEN THE CONTRACT GOVERNS THE DRAWINGS UNLESS NO RELEVANT INFORMATION IN THE CONTRACT IS PROVIDED.
- P. ALL WET AREAS SHOULD BE WATERPROOFED IN ACCORDANCE WITH AUSTRALIAN STANDARDS AS-3740.
- Q. ALL NEW WINDOWS SHOULD BE SELECTED AND INSTALLED IN ACCORDANCE WITH AUSTRALIAN STANDARDS AS-2047.



1 PERSPECTIVE VIEW

SHEET #	SHEET NAME
A-00	OVERVIEW AND GENERAL NOTES
A-00.1	3D VIEWS
A-00.2	INTERIOR 3D VIEW
A-00.3	WALL TYPES
A-01.1	EXISTING SITE PLAN AND DEMO PLAN
A-01.2	NEW PROPOSED SITE PLAN
A-02	FLOOR PLAN
A-03	REFLECTED CEILING
A-04	EAST AND WEST ELEVATION
A-05	NORTH AND SOUTH ELEVATION
A-06	TYPICAL SECTION VIEW
A-07	ROOF PLAN
A-08	SOCIAL AREA PLAN
A-08.1	SOCIAL ROOM INTERIOR ELEVATIONS 1
A-08.2	SOCIAL ROOM INTERIOR ELEVATIONS 2

SHEET #	SHEET NAME
A-10	STORE ROOM AND TOILETS PLAN VIEW
A-10.1	STORE ROOM AND TOILETS ELEVATIONS
A-10.2	STORE AND INC INTERIOR ELEVATIONS
A-10.3	CORRIDOR INTERIOR ELEVATIONS
A-11	KITCHEN PLAN VIEW
A-11.1	KITCHEN INTERIOR ELEVATIONS
A-13.0	AMENITIES AND CHANGE ROOM PLAN VIEW
A-13.1	AMENITIES ELEVATIONS
A-13.2	CHANGE ROOM ELEVATIONS
A-13.3	CUBICLES
A-14.0	STORAGE 2 AND 3 PLAN VIEW
A-14.1	STORAGE 2 AND 3 INTERIOR ELEVATIONS
A-15	WIPERS CHANGE ROOM
A-16	FINISHERS SCHEDULE
A-17	DOOR AND WINDOW SCHEDULE
A-18	EAST AND WEST ELEVATION - COLOURS
A-19	NORTH AND SOUTH ELEVATION - COLOURS
E-01	ELECTRICAL PLAN

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 Application No. P219/2020

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DWG No.	REVISION	SCALE	PROJECT NUMBER	WIBS-1246	DESCRIPTION	PROJECT NAME
A-00	6				DESIGN AND CONSTRUCT OF GLENAUBURN MODULAR PAVILION	BANYULE CITY COUNCIL
DATE:	28-10-2019	SHEET SIZE:				
PROJECT STATUS:	PRELIMINARY DESIGN					
			PROJECT NUMBER: WIBS-1246			
No.	DATE	DESCRIPTION				
3	28/02/20	REVISED TO MEETING MINUTES #4				
4	04/03/20	AMENDED TO CLIENTS COMMENTS				
5	11/03/20	BOH STAIRS AND KITCHEN LAYOUT				
6	03/04/20	REVISED AS PER COUNCIL'S COMMENTS				
			DRAWING TITLE: OVERVIEW AND GENERAL			
			CLIENT NAME: BANYULE CITY COUNCIL			

Item:  
5.10



DWG No.	REVISION	SCALE	PROJECT NUMBER:		PROJECT NAME:
A-00_1	6		WIBS-1246	DESIGN AND CONSTRUCT OF REAR 3D VIEWS	DESIGN AND CONSTRUCT OF REAR 3D VIEWS
DATE:		SHEET SIZE:	PROJECT NUMBER:		CLIENT NAME:
28-10-2019			WIBS-1246	DESIGN AND CONSTRUCT OF REAR 3D VIEWS	BANVALLE CITY COUNCIL
PROJECT STATUS:	PRELIMINARY DESIGN		DESCRIPTION		
			No.	DATE	
			3	28/10/20	REVISED TO MEETING MINUTES #4
			4	04/03/20	AMENDED TO CLIENTS COMMENTS
			5	11/03/20	BOH STAIRS AND KITCHEN LAYOUT
			6	03/04/20	REVISED AS PER COUNCIL'S COMMENTS



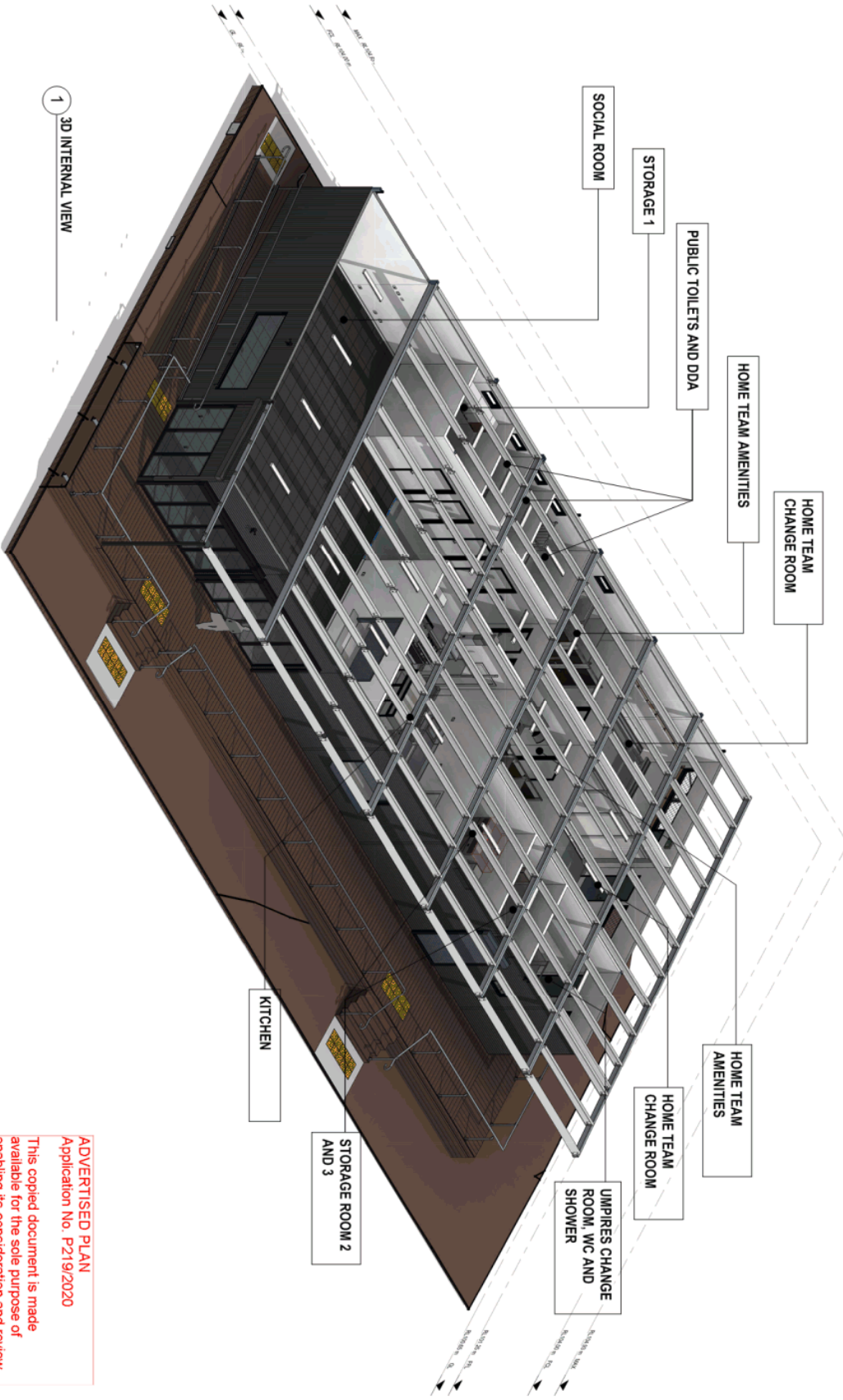
**ADVERTISED PLAN**  
Application No. P219/2020

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DWG No.	REVISION:	SCALE:	PROJECT NUMBER:		WIBS-1246	PROJECT NAME:
A-002	6		No.	DATE	DESCRIPTION	DESIGN AND CONSTRUCT OF
DATE:	28-10-2019	SHEET SIZE:	3	28/10/20	REVISED TO MEETING MINUTES #4	INTERIOR 3D VIEW
PROJECT STATUS:	PRELIMINARY DESIGN		4	04/03/20	AMENDED TO CLIENTS COMMENTS	
			5	11/03/20	BOTH STAIRS AND KITCHEN LAYOUT	
			6	03/04/20	REVISED AS PER COUNCIL'S COMMENTS	
						CLIENT NAME:
						BANYULE CITY COUNCIL

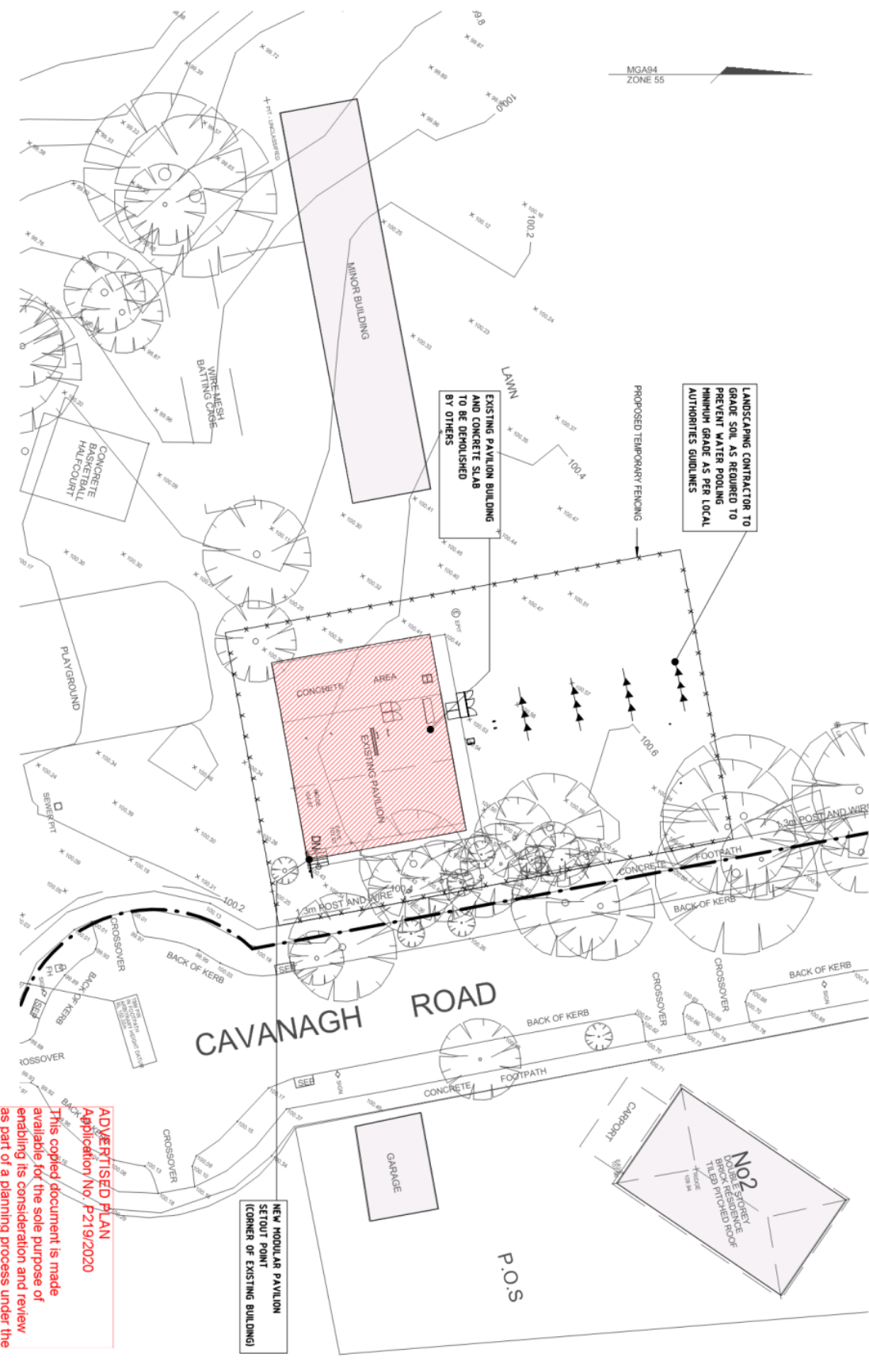


ADVERTISED PLAN  
Application No. P219/2020

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DWG No.	REVISION	SCALE	PROJECT NUMBER: WIBS-1246		PROJECT NAME:
A-01.1	6	1 : 250	DESIGN AND CONSTRUCT OF NEW MODULAR PAVILION		DESIGN AND CONSTRUCT OF NEW MODULAR PAVILION
DATE:		SHEET SIZE:	DRAWING TITLE		EXISTING SITE PLAN AND DEVELOPMENT
28-10-2019			DESCRIPTION		EXISTING SITE PLAN AND DEVELOPMENT
PROJECT STATUS: PRELIMINARY DESIGN			No.		CLIENT NAME:
			1		BANYULLE CITY COUNCIL
			2		
			3		
			4		
			5		
			6		



**ADVERTISED PLAN**  
Application No: P/219/2020

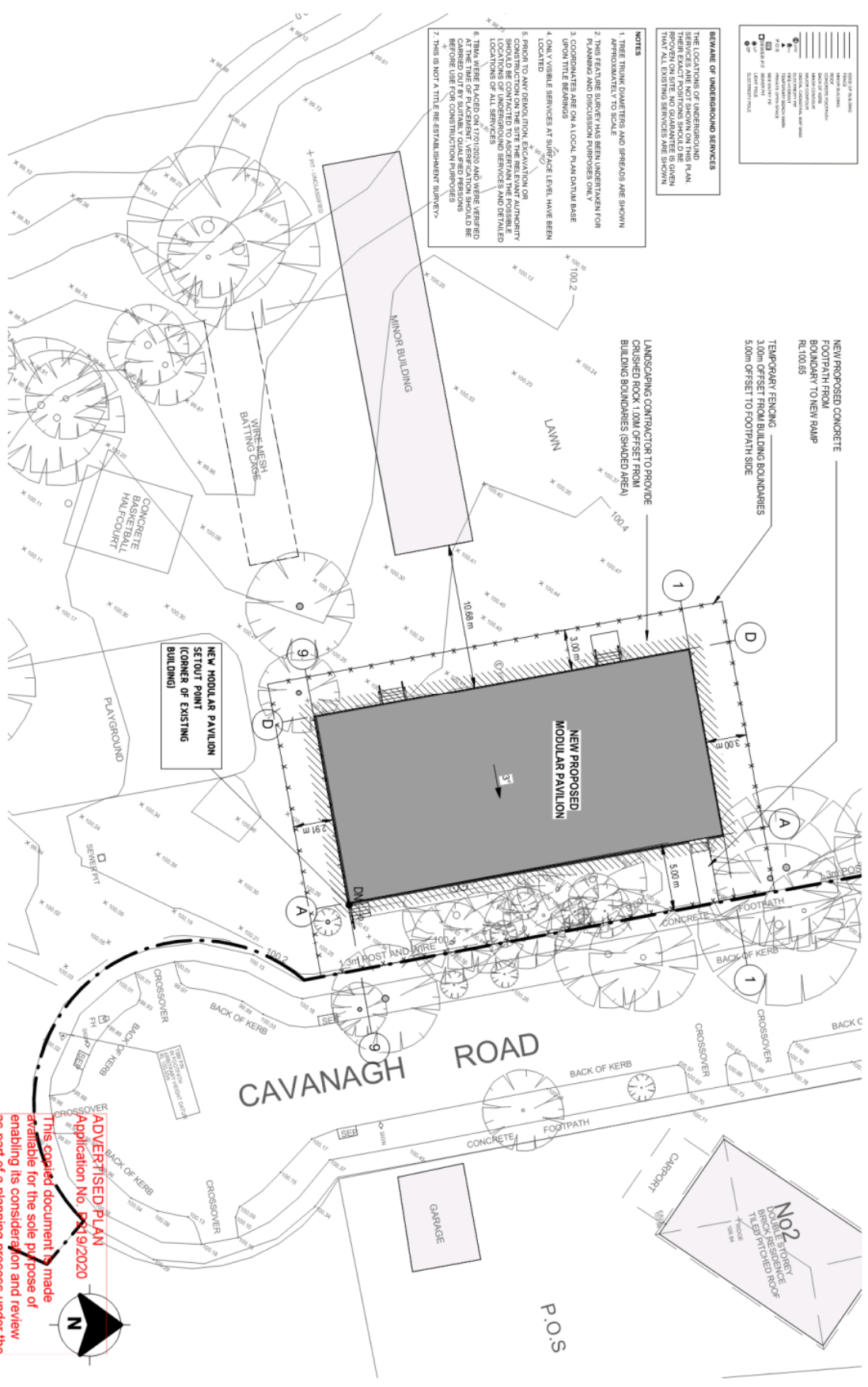
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DWG No.	REVISION:	SCALE:	PROJECT NUMBER:		PROJECT NAME:
A-01.2	6	As indicated	WIRES-1246		DESIGN AND CONSTRUCT OF NEW BAYVILLE CITY COUNCIL
DATE:		SHEET SIZE:	No.	DATE	DESCRIPTION
28-10-2019			3	28/02/20	REVISED TO MEETING MINUTES #4
			4	04/03/20	AMENDED TO CLIENTS COMMENTS
			5	11/03/20	BOB STAIRS AND KITCHEN LAYOUT
			6	03/04/20	REVISED AS PER COUNCIL'S COMMENTS
PROJECT STATUS:	PRELIMINARY DESIGN		DRAWING TITLE: NEW PROPOSED SITE PLAN		
			CLIENT NAME: BAYVILLE CITY COUNCIL		



**REMOVE OF UNDERGROUND SERVICES**  
 THE LOCATION OF UNDERGROUND SERVICES AND SERVICES TO BE REMOVED OR DELETED SHOULD BE SHOWN ON THIS PLAN. ALL EXISTING SERVICES ARE SHOWN.



- NOTES**
1. THESE TRUNK QUARTERS AND SPREADS ARE SHOWN APPROXIMATELY TO SCALE.
  2. THIS FEATURE IS SHOWN HAS BEEN IDENTIFIED FOR PLANNING AND DISCUSSION PURPOSES ONLY.
  3. COORDINATES ARE ON A LOCAL PLANNING DATUM BASE UPON TITLE BEARINGS.
  4. ONLY VISIBLE SERVICES AT SURFACE LEVEL HAVE BEEN LOCATED.
  5. PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE THE RELEVANT AUTHORITY LOCATIONS OF UNDERGROUND SERVICES AND DETAILED LOCATIONS OF ALL SERVICES.
  6. TITLES WERE PLACED ON 1/01/2020 AND WERE VERIFIED AT THE TIME OF PLACEMENT. VERIFICATION SHOULD BE BEFORE USE FOR CONSTRUCTION PURPOSES.
  7. THIS IS NOT A TITLE RE-ESTABLISHMENT SURVEY.

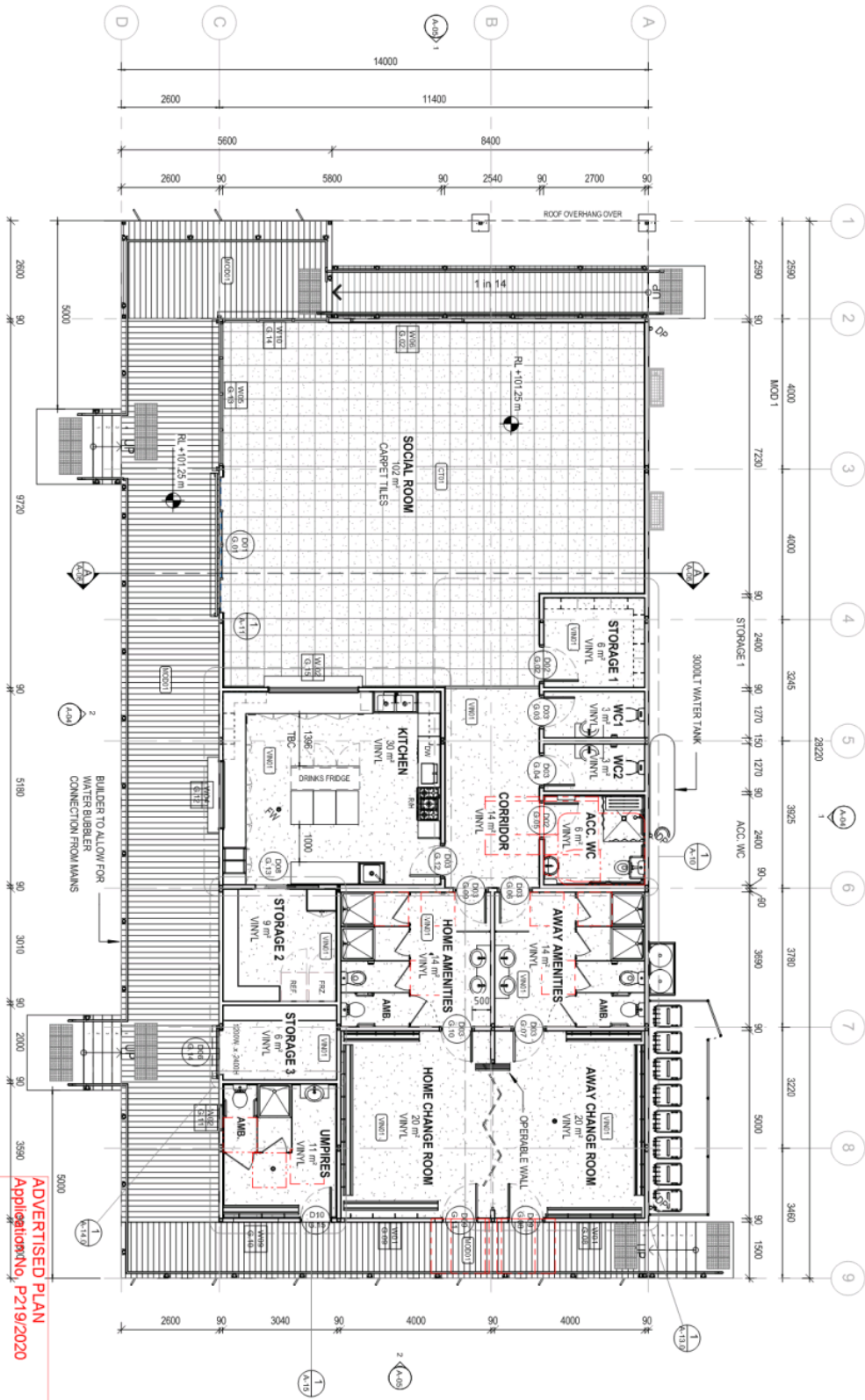
ADVERTISED PLAN  
 Application No. 19/2020  
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DWG No. A-02	REVISION: 6	SCALE: 1 : 100	PROJECT NUMBER: WIBS-1246	DESCRIPTION: DESIGN AND CONSTRUCT OF BANYULE CITY COUNCIL FLOOR PLAN
DATE: 28-10-2019			No. 1 DATE 28/10/2019	DESCRIPTION REVISED TO MEETING MINUTES #4
			No. 2 DATE 04/01/2020	DESCRIPTION AMENDED TO CLIENT'S COMMENTS
			No. 3 DATE 11/03/2020	DESCRIPTION BOM STAIRS AND KITCHEN LAYOUT
			No. 4 DATE 03/04/2020	DESCRIPTION REVISED AS PER COUNCIL'S COMMENTS
PROJECT STATUS: PRELIMINARY DESIGN				CLIENT NAME: BANYULE CITY COUNCIL

1 FLOOR PLAN  
1:100



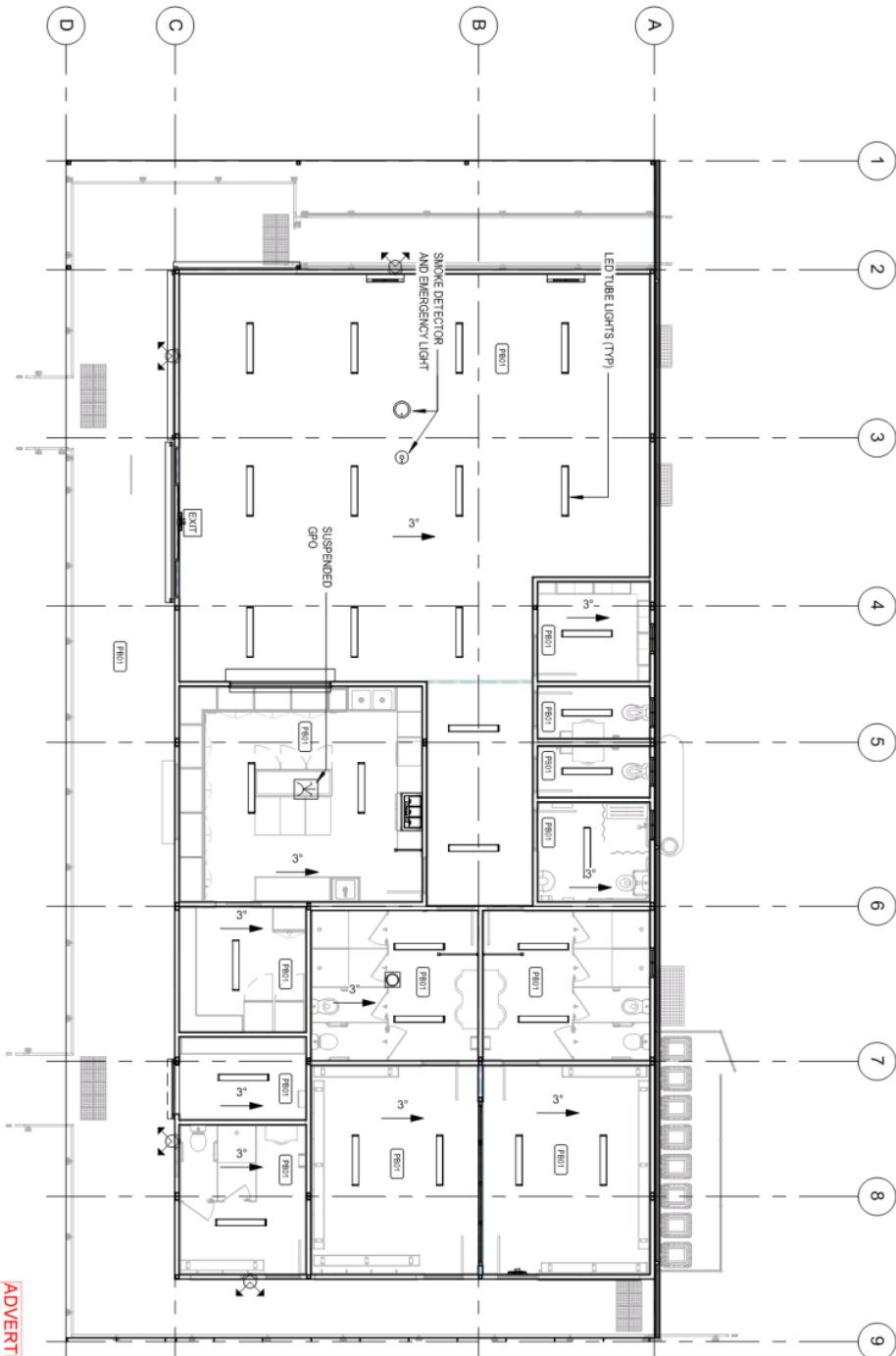
ADVERTISED PLAN  
Application No. P219/2020

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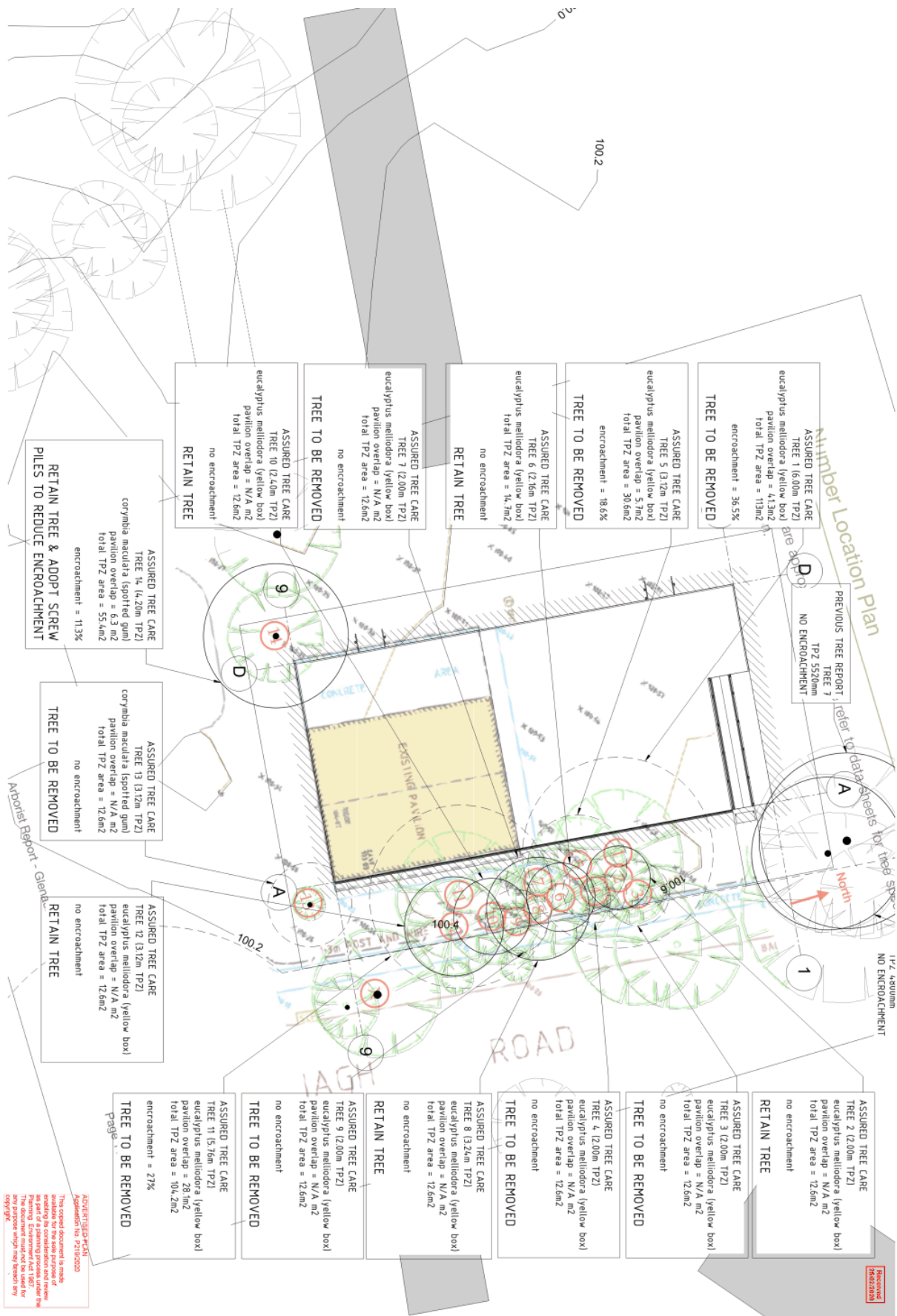
Item:  
5.10



DWG No.	REVISION:	SCALE:	PROJECT NUMBER:		PROJECT NAME:
A-03	6	1 : 100	WIBS-1246		DESIGN AND CONSTRUCT OF REFLECTED CEILING
DATE:		SHEET SIZE:	No.	DATE	DESCRIPTION
28-10-2019			3	28/10/20	REVISED TO MEETING MINUTES #4
PROJECT STATUS:	PRELIMINARY DESIGN		4	04/03/20	AMENDED TO CLIENTS COMMENTS
			5	11/03/20	BOX STAIRS AND KITCHEN LAYOUT
			6	03/04/20	REVISED AS PER COUNCIL'S COMMENTS
					CLIENT NAME: BANYULE CITY COUNCIL



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 Application No. P219/2020  
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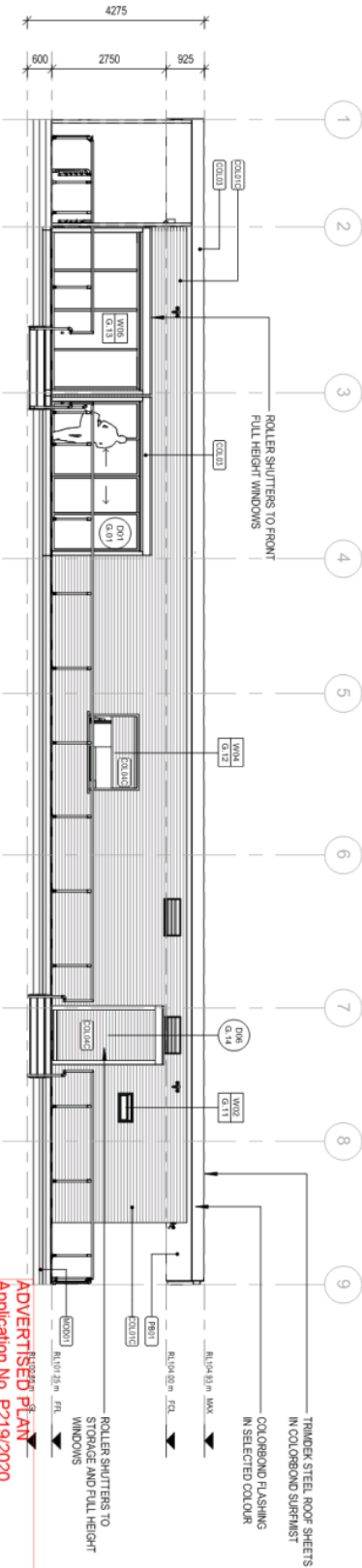


Item: 5.10

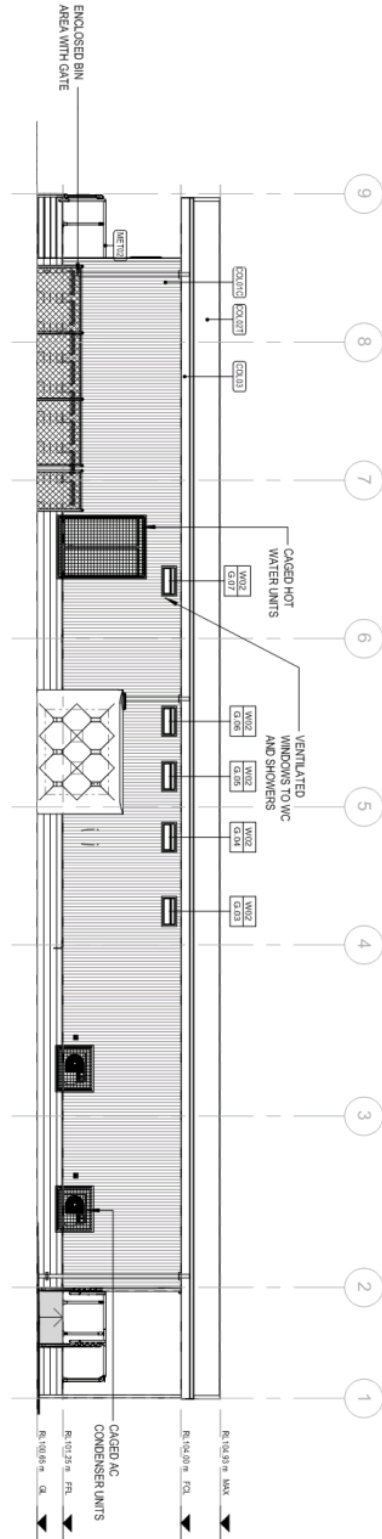


DWG No.	REVISION	SCALE	PROJECT NUMBER	WIBS-1246	DESCRIPTION	PROJECT NAME
A-04	1	1 : 100	WIBS-1246	DESIGN AND CONSTRUCT OF EAST AND WEST ELEVATION	DESIGN AND CONSTRUCT OF EAST AND WEST ELEVATION	DESIGN AND CONSTRUCT OF EAST AND WEST ELEVATION
DATE:	28-10-2019	SHEET SIZE:	No.	DATE	DESCRIPTION	DRAWING TITLE
			1	03/04/20	REVISED AS PER COUNCIL'S COMMENTS	EAST AND WEST ELEVATION
PROJECT STATUS:	PRELIMINARY DESIGN					CLIENT NAME:
						BANYULE CITY COUNCIL

2 WEST ELEVATION  
1:100



1 EAST ELEVATION  
1:100

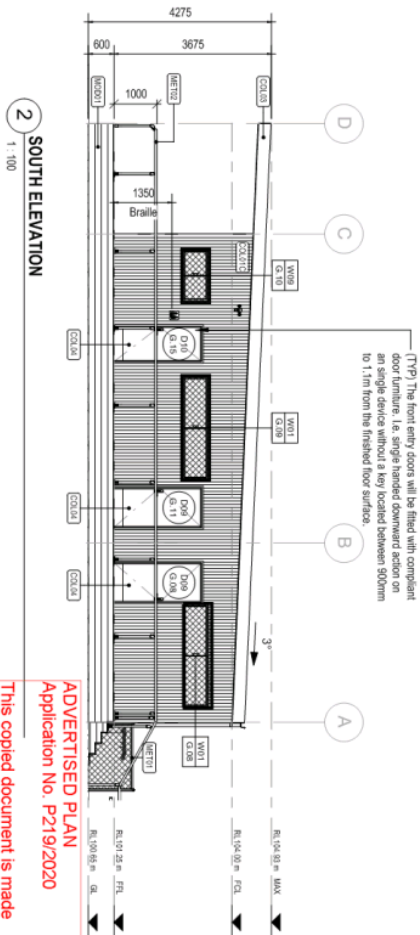
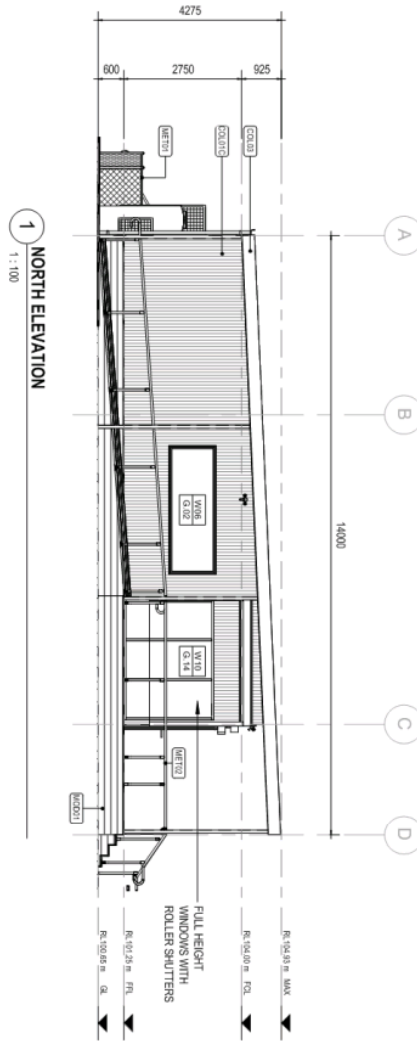


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DWG No.	REVISION:	SCALE:	PROJECT NUMBER:	WIBS-1246	DESCRIPTION:
A-05	1	1 : 100	No. 1	DESIGN AND CONSTRUCT OF	NORTH AND SOUTH ELEVATIONS
DATE:	28-10-2019	SHEET SIZE:	DATE:	03/04/20	REVISED AS PER COUNCIL'S COMMENTS
PROJECT STATUS:	PRELIMINARY DESIGN		CLIENT NAME:	BANYULE CITY COUNCIL	



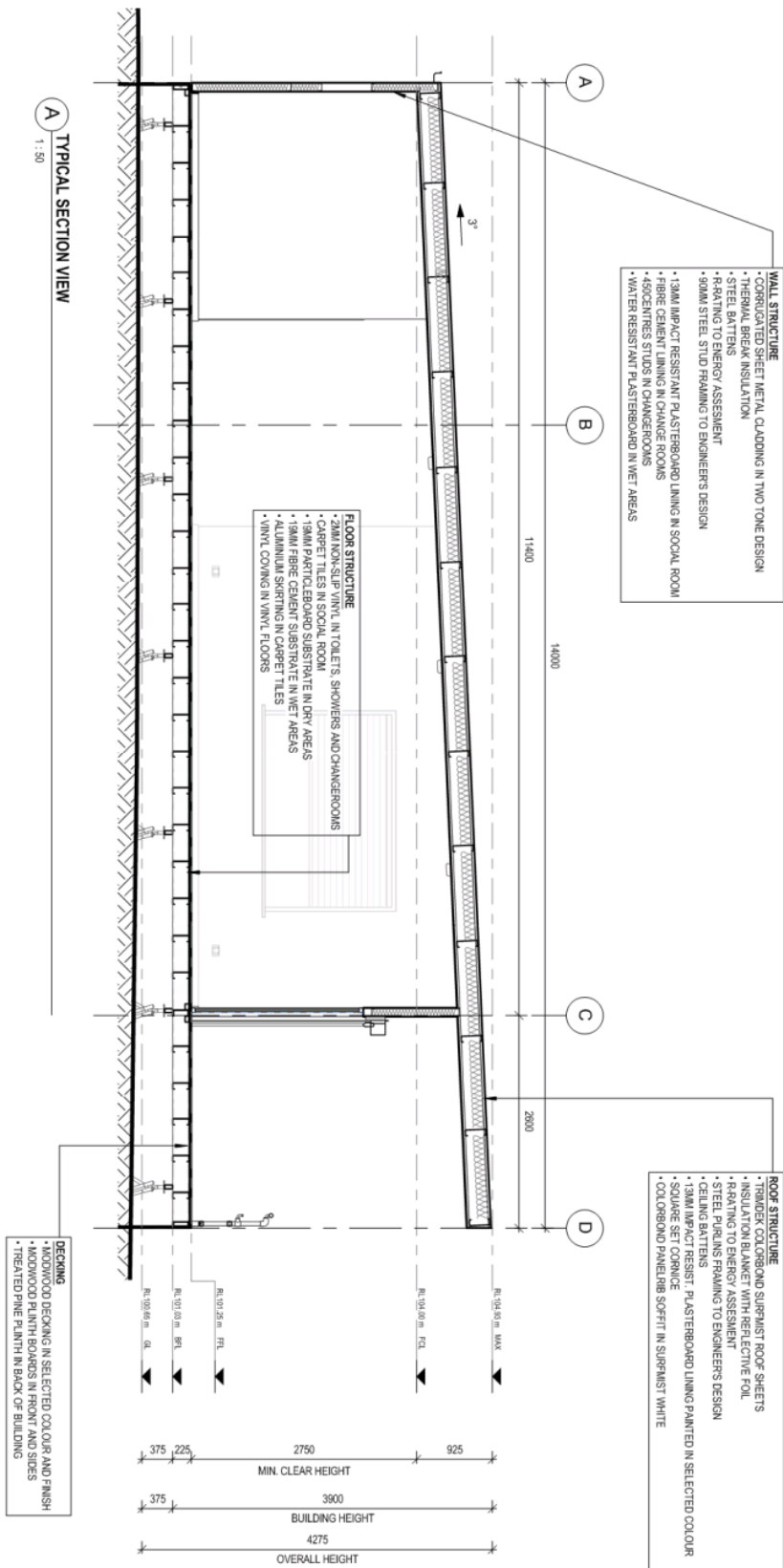
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Application No. P219/2020

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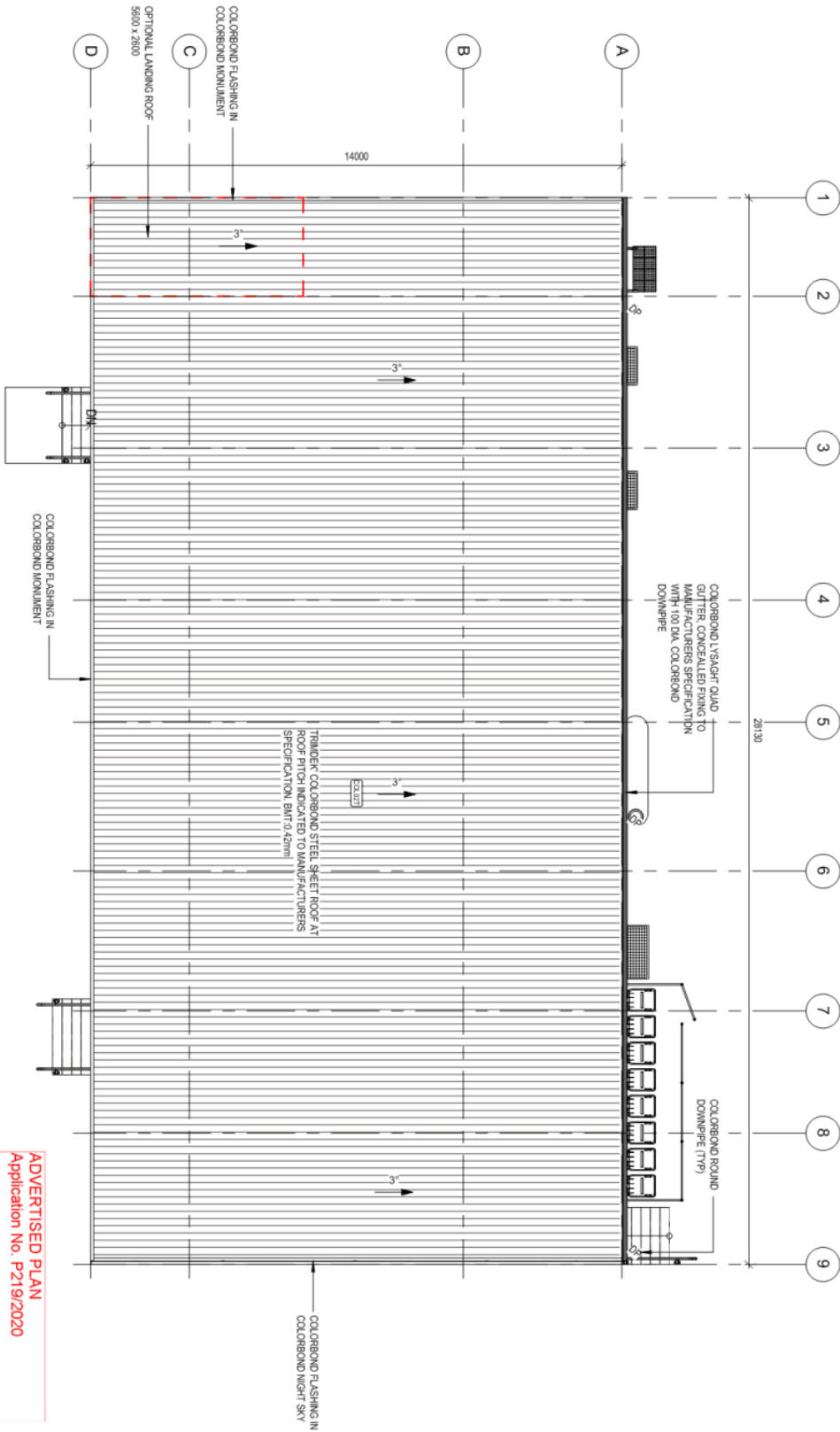
DWG No. A-06	REVISION: 6	SCALE: 1 : 50	PROJECT NUMBER: WIBS-1246	PROJECT NAME: DESIGN AND CONSTRUCT OF THE BANYULLE CITY COUNCIL
DATE: 28-10-2019		SHEET SIZE:	No. 1 DATE 28/10/2019	DESCRIPTION: DESIGN AND CONSTRUCT OF THE BANYULLE CITY COUNCIL
PROJECT STATUS: PRELIMINARY DESIGN			No. 2 DATE 04/03/20	DESCRIPTION: AMENDED TO CLIENTS COMMENTS
			No. 3 DATE 28/02/20	DESCRIPTION: REVISED TO MEETING MINUTES #4
			No. 4 DATE 11/03/20	DESCRIPTION: BOH STAIRS AND KITCHEN LAYOUT
			No. 5 DATE 03/04/20	DESCRIPTION: REVISED AS PER COUNCIL'S COMMENTS
			No. 6	DESCRIPTION:



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Application No. P219/2020

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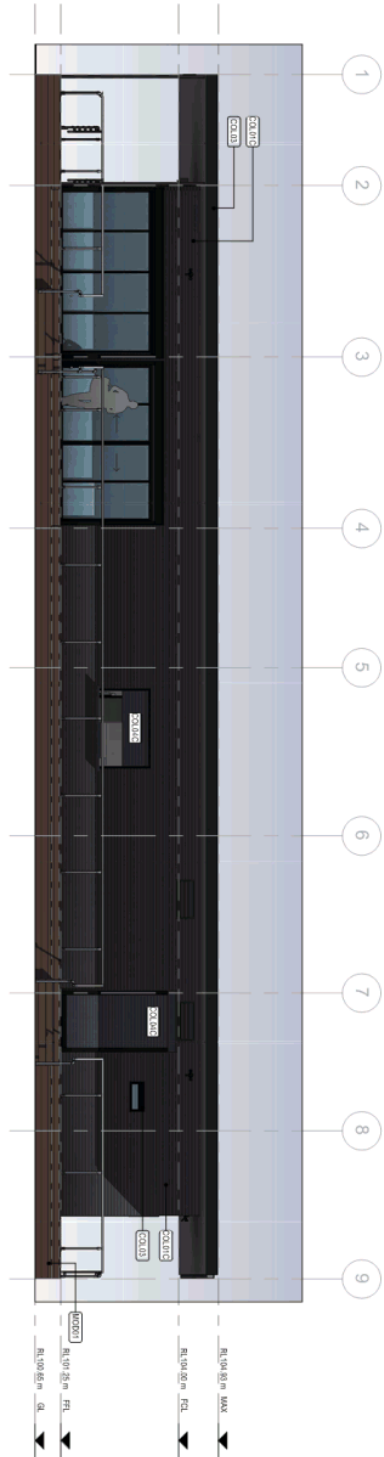
1 ROOF PLAN  
1:100

DWG No.	REVISION:	SCALE:	PROJECT NUMBER:		PROJECT NAME:
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DATE:		SHEET SIZE:	PROJECT NUMBER:		CLIENT NAME:
28-10-2019			WIBS-1246	DESIGN AND CONSTRUCT	BANYULE CITY COUNCIL
PROJECT STATUS:	PRELIMINARY DESIGN		PROJECT NUMBER:		
			WIBS-1246	DESIGN AND CONSTRUCT	
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			WIBS-1246	DESIGN AND CONSTRUCT	

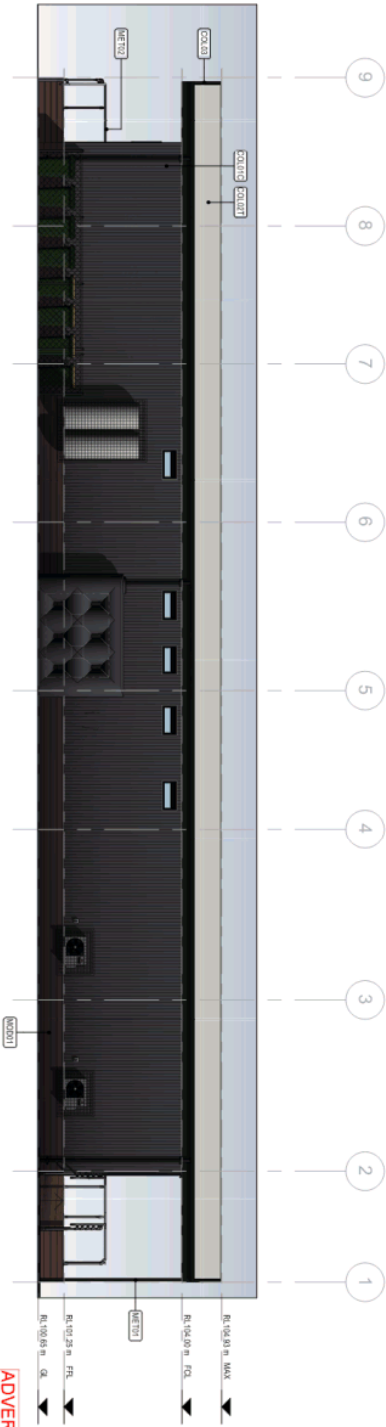
ADVERTISED PLAN  
Application No. P219/2020

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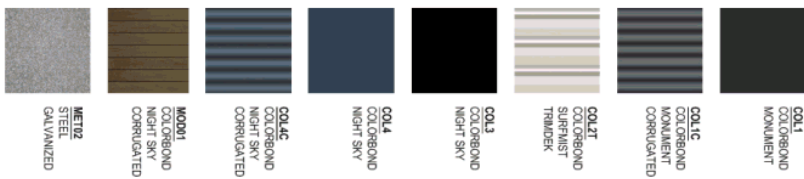
Item: 5.10



1 WEST ELEVATION - COLOUR PREVIEW  
1 : 100



2 EAST ELEVATION - COLOUR PREVIEW  
1 : 100



**ADVERTISED PLAN**  
Application No. P219/2020

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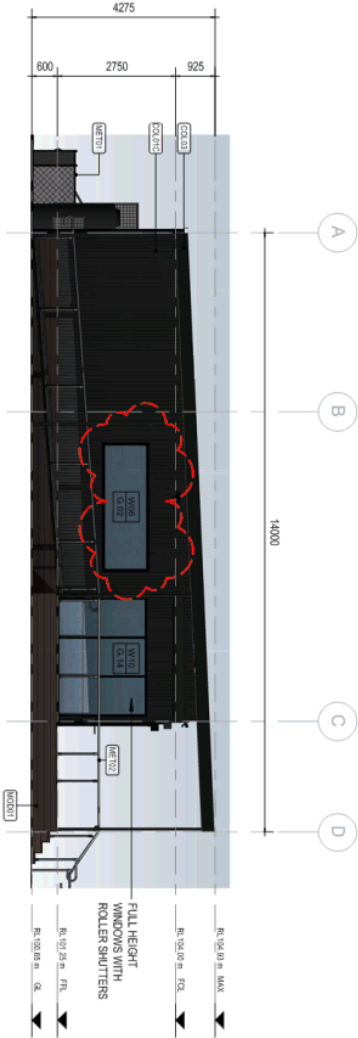
DWG No.	REVISION:	SCALE:	PROJECT NUMBER:		PROJECT NAME:
A-18	6	As indicated	WBS-1246	DESIGN AND CONSTRUCT OF NEW BANYULE CITY COUNCIL OFFICE	
DATE:	PROJECT STATUS:	SHEET SIZE:	No.	DATE	DESCRIPTION
28-10-2019	PRELIMINARY DESIGN		3	28/10/20	REVISED TO MEETING MINUTES #4
			4	04/10/20	AMENDED TO CLIENTS COMMENTS
			5	11/03/20	BOTH STAIRS AND KITCHEN LAYOUT
			6	03/04/20	REVISED AS PER COUNCIL'S COMMENTS
					CLIENT NAME: BANYULE CITY COUNCIL

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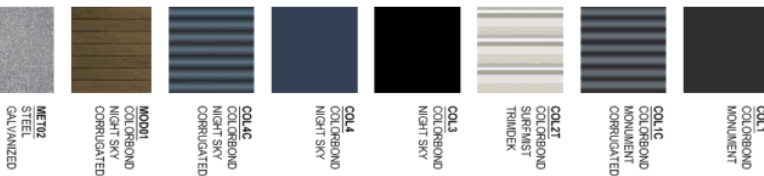
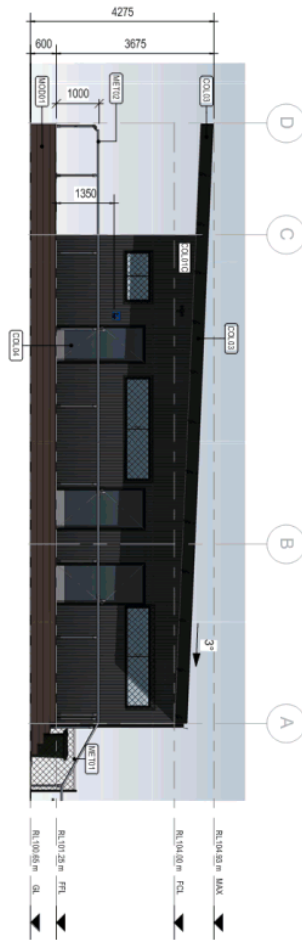


DWG No.	REVISION:	SCALE:	PROJECT NUMBER:		PROJECT NAME:
A-19	6	As indicated	WIBS-1246		DESIGN AND CONSTRUCT
DATE:			DESCRIPTION		DRAWING TITLE
28-10-2019			3 28/10/20 REVISD TO MEETING MINUTES #4		NORTH AND SOUTH ELEVATIONS
PROJECT STATUS:	PRELIMINARY DESIGN		4 04/03/20 AMENDED TO CLIENTS COMMENTS		CLIENT NAME:
			5 11/03/20 BOH STAIRS AND KITCHEN LAYOUT		BANYULE CITY COUNCIL
			6 03/04/20 REVISD AS PER COUNCIL'S COMMENTS		

2 NORTH ELEVATION - COLOUR PREVIEW  
1:100



1 SOUTH ELEVATION - COLOUR PREVIEW  
1:100



**ADVERTISED PLAN**  
Application No. P219/2020

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**TECHNICAL CONSIDERATION**

	<b>Discussion</b>
<b>Strategic Framework</b>	The proposed development is consistent with Planning Policy Frameworks seeking urban consolidation and housing diversity in appropriate locations. Both levels of policy also require an appropriate response to neighbourhood character and residential amenity.
<b>Neighbourhood Character: Critical Design Responses</b>	<p><u>Site cover, tree planting and tree removal</u></p> <p>The site coverage proposed is 43.9%. While 40% is preferred the small variation is considered acceptable given;</p> <ul style="list-style-type: none"> <li>• the context of the site;</li> <li>• the site coverage of similar approved and existing developments within proximity to the site such as 188-192 Grimshaw Street;</li> <li>• its proximity to a major activity centre, as well as</li> <li>• the way the design manages to retain the established vegetation within the front setback and incorporate it into the design response.</li> </ul> <p>Only one tree protected under the VPO is proposed to be removed. The large tree #5 in the front setback will be retained and the design has been amended to reduce the upper floor footprint and incursion into the TPZ to ensure the canopy is protected during the construction phase.</p> <p><u>Front setbacks</u></p> <p>The proposed 8150mm setback is considered acceptable for the site. It is the average setback of the Grimshaw Street frontage.</p> <p><u>Vehicle car parking location, design and crossing thresholds</u></p> <p>A total of nine (9) spaces have been provided on site which is the ResCode standard.</p> <p>The central driveway is used to access 5 of the dwellings carparking spaces. A separate driveway access for the sixth dwelling.</p> <p>Engineering standards for driveway design have been met for vehicles to enter and exit the shared driveway in a forward's direction.</p> <p>No visitor parking space is required given the proximity of the site to the Principle Public Transport Network (PPTN).</p>
<b>Neighbourhood Character: Other Variations</b>	<p><u>Visual Bulk and Design Detail</u></p> <p>The design has incorporated recessed upper floors and removed any counter lever elements to address visual bulk.</p> <p>The upper floors are visually recessed from the front and side setbacks.</p> <p>The 3 metre slope of the site from back to front allows for the upper storey element of the front 5 dwellings to appear at a</p>

	<p>similar visual height to that of the double storey element proposed of the rear dwelling and allows for a visual transition between the single storey built form to the south and the double storey built form to the east and west of the site.</p> <p>The materiality acts to visually enhance the proposal with a range of materials and textures to create visual interest.</p>
<p><b>Tree planting</b></p>	<p>The site is 942 square metres in area.</p> <p>For the size of the lot, at least 1 large, 1 medium, and 3 small trees should be provided on the site.</p> <p>It appears that the site can provide one large tree within the front setback (facing Grimshaw street), one medium sized tree can be provided on the south east corner of the site (some driveway may need to be permeable paving), and 3 small trees can be provided along the McDowell street setback.</p> <p>The existing substantial tree #5 in the front setback will be retained as part of the proposal.</p> <p>Detailed landscaping plans will be endorsed under any permit issued.</p>
<p><b>Impact on trees</b> <b>Tree removal</b></p>	<p>Only one tree protected under the VPO is proposed to be removed. The large tree #5 in the front setback will be retained and the design has been amended to reduce the upper floor footprint and incursion into the TPZ to ensure the canopy is protected during the construction phase.</p>
<p><b>Internal Amenity</b></p>	<p><u>Secluded Private Open Space</u></p> <p>Each dwelling has been provided with sufficient private secluded open spaces as per the ResCode standard.</p> <p>Some dwellings have a number of different types of open spaces such as courtyard, balcony and service yard (unit 1, 2 3 and 6) while others have been provided with the standard via a single balcony (units 4 and 5).</p> <p><u>Access to Daylight</u></p> <p>Complies with the ResCode standard.</p> <p><u>Parking Location</u></p> <p>Complies with the ResCode standard.</p>
<p><b>External Amenity Impacts</b></p>	<p><u>Side and Rear Setbacks</u></p> <p>The minimum side setback proposed on the eastern boundary is 1.8 metres on the ground level, 2.2 metres on the first floor, and 3.9 metres on the upper floor. These setbacks meet the ResCode Standard. The setback standard template has been shown in the northern and southern elevations below to further demonstrate this.</p> <p>The rear setback proposed is 1.83 metres on the ground level, and 2.62 metres on the upper level of the double storey dwelling closest to the rear boundary.</p> <p>The balcony on the southern elevation projects into this setback to the extent of the ground floor footprint to a 1.83 metre</p>



	<p>setback.</p> <p><u>Walls on Boundaries</u></p> <p>No walls have been proposed on the boundaries.</p> <p><u>Overshadowing</u></p> <p>Conditions of permit will require Townhouse 6 to be modified to ensure compliance with Standard B23 (Overshadowing) to the secluded private open space of 1/44 McDowell Street.</p> <p><u>Overlooking</u></p> <p>Screens have been provided on all upper floor habitable room windows along the eastern elevation. There is an upper level balcony proposed on the south elevation of Townhouse 6 which will be required by condition to be deleted which will address overlooking issues to the south.</p>
<p><b>Site Services</b></p>	<p>Air conditioning, meter boxes, external storage areas, bin storage area have all been shown on the plans.</p> <p>There is also a waste management plan for the site. Council requires that the site have private waste collection and updated waste management plan to address private waste collection will be a condition on any permit to be issued.</p>
<p><b>Car Parking</b></p>	<p>The required number of car spaces has been provided.</p> <p>52.06 Design Standards.</p>
<p><b>ESD &amp; Cl. 53.18 (WSUD)</b></p>	<p>The proposed development achieves a Best Practice BESS score of 51% with a pass mark in each of the four mandatory categories (Water, Stormwater, Energy and IEQ). Therefore, subject to a condition of permit for all sustainable design features indicated in the submitted Sustainable Design Assessment (SDA) to be shown/notated on the development plans, the proposal is considered to provide an appropriate outcome with regards to this Clause.</p> <p><b>NOTE</b> – the report will need to be updated as it was prepared for the original proposal which included seven (7) dwellings. This will be included as a permit condition</p>
<p><b>Liveability</b></p>	<p>Townhouse 1 and townhouse 6 both have living areas at ground level. Townhouse 2 and 3 both have bedrooms at ground level.</p>
<p><b>Vegetation Protection Overlay (Clause 42.02)</b></p>	<p>The canopy of the established and substantial Tree #5 has been addressed in the plans submitted in the concept redesign. These changes will prevent the tree canopy from being substantially affected during the construction phase. Permit conditions will ensure that this tree is protected during demolition and construction.</p>





## NOTICE OF AN APPLICATION FOR PLANNING PERMIT

The land affected by the application is located at:

161 Grimshaw Street GREENSBOROUGH

*(Insert the location of the land)*

The application is for a permit to:

Development of six (6) dwellings and associated vegetation removal.

*(Insert the use, development, or other matter applied for)*

The applicant for the permit is:

Summitvest Pty Ltd

*(Insert name of applicant for the permit)*

The application reference number is:

P857/2019 PT1

*(Insert reference number)*

You can view the documents ONLINE at:

**Online at: [www.banyule.vic.gov.au/planningpublicnotices](http://www.banyule.vic.gov.au/planningpublicnotices)**

Alternatively, you can visit BANYULE CITY COUNCIL's OFFICE

at **1 Flintoff Street, Greensborough VIC 3088**

Monday to Friday, 8.30am to 5.00pm

to view the plans and documents on our online kiosk during office hours free of charge.

**Any person who may be affected by the granting of the permit may object or make other submissions to the Responsible Authority via post or Council's website.**

### **Objection Submission Details**

Lodge Online at: [www.banyule.vic.gov.au/planningpublicnotices](http://www.banyule.vic.gov.au/planningpublicnotices)

Or mail to: Banyule City Council

**PO Box 94, Greensborough VIC 3088**

Phone: (03) 9457 9808

**An objection must:**

- \* be sent to the Responsible Authority in writing
- \* include the reasons for the objection, and
- \* state how the objector would be affected.

**Please be aware Council must make available copies of every objection/submission received at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.**

The Responsible Authority will not decide on the application before:

*(Insert a date which is at least 14 days from the date the last notice under Section 22 (1) of the Act is received.)*

If you object, the Responsible Authority will tell you its decision.

ADVERTISED PERIOD  
Application No: P857/2019  
17 April 2020  
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Planning Enquiries  
Phone: (03) 9490 4222  
Web: www.banyule.vic.gov.au

**Office Use Only**

Application No.:

Date Lodged: / /

# Application for an Amendment to a current Planning Application (Section 50 or 57A Application)

Use this form if you have an **existing** application with Council that you would like to change before Council makes its decision. This form can be used before or after an application has been notified, but not after Council has made a determination in respect of the application.

If you already have a permit, you cannot use this form. Instead, you will need the [Application to Amend a Planning Permit](#) form.

An application to amend a current application must include:

- This application form completed and signed;
- Three copies of the amended plans; and
- The relevant application fee, if a fee is applicable. You can find the relevant fee under [Planning Fees](#) on Council's website.

Please note if the application has already been notified, depending on the extent of the changes proposed, Council may require re-notification of the amended proposal before the application will be determined.

## The Land

Please provide the street address of the land.

Street No.:	Street Name:
161	Grimshaw Sreet
Suburb/Locality:	Greensborough
Postcode:	3 0 8 8

## The Current Planning Permit Application

Provide full details of the application being amended:

What is the reference number of the Planning Permit Application that is being amended?

What had you originally applied for?

Planning Permit Application No.:	P857/2019
What was the original proposal:	ADVERTISED PLAN Application No. P857/2019
Development of Seven Dwellings;	Associated vegetation removal, and Altering
access to a Category 1 road zone,	and propose a boundary fences.

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Development Planning	CD16784 Section 50 or Section 57A Application Form (amendment to current planning application)	Last updated: 04/07/2017	Page 1 of 3
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### The Amendment Proposal

This application is being lodged (tick one):

- Prior to notification commencing  
(Section 50 of the *Planning and Environment Act 1987*)
- After notification has commenced  
(Section 57A of the *Planning and Environment Act 1987*)

What changes are you seeking to make to the current application?

*Detail any changes sought to the plans or any other documents previously submitted with the Planning Permit Application.*

*Attach a supplementary page if more space is required.*

*Eg.*

1. *Removal of 1 dwelling from the multi dwelling development proposal (was previously 6 dwellings, now proposing 5).*
2. *The provision of new acoustic fencing and trellis to the west, south and east boundaries.*

Development of Six Dwellings, associated vegetation removal and proposed new crossover

Why is the amendment to the current application required?

*State the reasons for the change.*

*Attach a supplementary page if more space is required.*

Vicroad rejection for proposed category road zone 1 access

### Contact details

Contact

*The person or organisation you want Council to correspond with regarding the amendment to the current application.*

Name: Ching Yu Liao	
Organisation (if applicable): Summitvest Pty Ltd	
Postal Address: 67/31-39 Norcal Road Nunawading VIC	
Postcode:	3 1 3 1
Contact phone:	
Mobile phone:	0432712217
Email:	roy.liao@summitvd.com
Fax:	

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Indicate preferred contact method by numbering in order of preference

### Applicant details

Applicant

*The person or organisation who is seeking the Planning Permit.*

<input checked="" type="checkbox"/> Same as contact. If not, complete the details below.
Name:
Organisation (if applicable):
Postal Address:
Postcode:


### Owners Consent

Has the owner of the land consented to the proposed changes?

<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
---	-----------------------------

### Declaration

Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit.

I declare all the information in this application is true and correct; and the owner (if not myself) has been notified of the amendment application.	
Name: Ching Yu Liao	
Signature 	Date 26 / 02 / 2020

### Lodgement

<p><b>Banyule City Council</b> Banyule Planning are now online - Any information now needs to be lodged through the website.</p> <p>Lodge the completed and signed form and all documents online through the e-planning portal at: <a href="https://www.banyule.vic.gov.au/Services/Planning/e-Planning/Submit-your-further-information">https://www.banyule.vic.gov.au/Services/Planning/e-Planning/Submit-your-further-information</a></p> <p>For help or more information, please contact us: Email: <a href="mailto:enquiries@banyule.vic.gov.au">enquiries@banyule.vic.gov.au</a> Telephone: (03) 9457 9808 Fax: (03) 9499 9475 TTY: (03) 9432 7211 DX: DX 97904 IVANHOE</p>
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Received  
25/02/2020

18<sup>th</sup> February, 2020

Kate Tucker  
Statutory Planning  
Banyule City Council

**RE: PLANNING APPLICATION NO.: P857 2019  
REQUEST FOR FURTHER INFORMATION  
161 GRIMSHAW STREET GREENSBOROUGH VIC**

Dear Kate,

We are the architects and applicants for this proposal. We are in receipt of Council's letter dated 18.10.2019. In response to this we submit amended plans, and a point-by-point response, below.

**Additional information required:**

Application and title information

1. An amended application form to include permit triggers 'altering access to a Category 1 road zone'

*The overall design and dwelling numbers have been amended, amended application form has been provided.*

Updated plans

2. Modified site and/or floor plans, including:

(a) Proposed boundary and internal fencing including materials and height

*The plans have shown all the fencing materials and height.*

(b) Swept path diagrams (turning circles) for vehicles entering/exiting each garage (included in site plan)

*The diagrams are provided on TPA11 and TPA12*

(c) The indicative location for any external air conditioner units

*All external air con units are shown on balconies for each townhouse.*

3. A longitudinal section of driveway between the centre of Grimshaw Street and the garage to Dwelling 7. The design of the vehicle crossing and driveway gradients (including transition zones as required) must be designed in accordance with *AS2890.1-2004 Parking Facilities*.

*This is no longer relevant since the design have changed completely.*

4. A Planting Concept Plan indicating a clear delineation between landscape planting zone (garden and tree beds), useable open space areas (including paving, lawn, decks), building envelopes and driveways all to be shown in a different colour/hatching. Please refer to the Tree Planting Zone Guidelines, which can be found on the Banyule City Council website.

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67/ 31-39 Norcal Road Nunawading VIC 3131  
T: (03) 9872 4836 E: roy.liao@summitvd.com



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*The planting concept plan is provided on TPA13*

It is suggested that the development should accommodate for a minimum of 1 large, 1 medium and 3 small trees. (Semi bush = 1:150, Bush garden = 1:200, All Garden Suburban and Garden Court = 1:400)

*1 large tree, 2 medium trees and 4 small trees have been proposed for the development, refer TPA01*

5. A schedule of external building materials and colours, including details of cladding and roofing materials. The schedule should be presented on a separate sheet and must include colour samples.

*Material schedule provided on TPA06*

If Council is satisfied with the information provided, and the responses, we request the proposal proceed to endorsement. If any of the information is deemed unsatisfactory, please provide us with an extension and an opportunity to respond.

Regards,

Roy Liao,  
Redbear architects

67/ 31-39 Norcal Road Nunawading VIC 3131  
T: (03) 9872 4836 E: roy.liao@summitvd.com

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### 1. INTRODUCTION

Introduction

### 2. THE SITE

Locality Plan  
Aerial Photograph  
Certificate of Title/ Plan of Subdivision  
Survey Plan  
Site Services  
Zoning Information  
Overlay Information  
Detailed Site Analysis

### 3. DESIGN RESPOSE

Design Proposal  
Area Analysis  
Material, Colours and Finishes Schedule  
Detailed Shadow Analysis  
Response to Res-code

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Application No. P857/2019

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1

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### 1. INTRODUCTION

This report has been prepared in accordance with the provisions of the Banyule Planning Scheme and incorporates the amendments introduced by Res-code. It has been based on designs prepared by Redbear architects dated 18th February 2020, for the construction of a medium density type residential development, comprising the construction of 6 no. (5 no. new 3 storey and 1 no. 2 storey) residences including secured, covered garages for 8 no. cars and new ancillary landscaping, on **161 Grimshaw Street, Greensborough**.

The proposal represents a medium-density re-development of an existing property and is closely in line within Res-code requirements, and Council's local character expectations. The application does not seek to challenge Council's broad expectations, but to work in closely with respect to overall scale, front, side and rear setbacks and site coverage

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## 2. THE SITE

### LOCALITY PLAN



### SUBJECT SITE

The subject site is a corner allotment plot in the local subdivision area. There has been considerable re-development in the area, and the relatively large size and orientation of the subject site lends itself well to continue this growing trend. There is considerable homogeneity in the local streetscape and a short sharp history of local Greensborough vernacular architecture on living display (large, detached single and double-storey dwellings, most, with face brickwork and pitched tiled roofs).

### ADVERTISED PLAN Application No. P857/2019

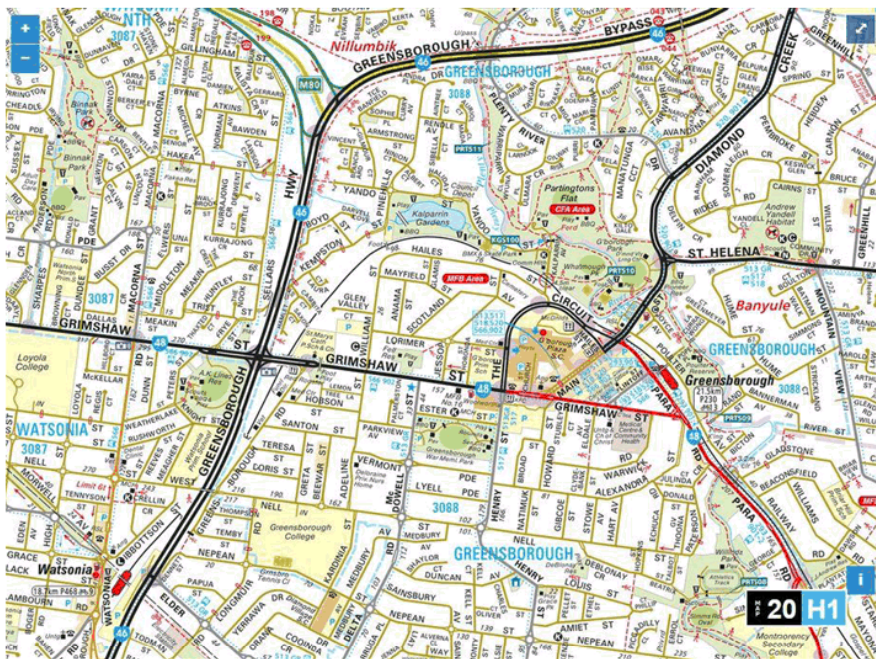
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## LOCALITY PLAN



The subject site is within a well serviced residential area with an abundance of local amenities and transport links. The site is very close to local parklands, with easy access to schools and other amenities as detailed below.

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Application No. P857/2019

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### LOCAL AMENITIES

#### LOCAL SCHOOLS:

Greensborough Primary School  
St Mary's Parish Primary School  
Greensborough College  
Watsonia Heights Primary School  
Loyola College

#### PARKLANDS AND RESERVES:

Greensborough War Memorial Park  
Poluter Avenue Reserve  
St Marys Reserve  
Fell Reserve  
Whatmough Park

#### LOCAL SHOPPING CENTERS:

Greensborough Plaza Shopping Centre  
Main Street Shopping Stripe

#### PUBLIC AND OTHER TRANSPORT:

Greensborough Train Station  
Bus: 293,513,517,518,520,566,901,902, main street and train station

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## AERIAL PHOTOGRAPH



SUBJECT SITE

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### CERTIFICATE OF TITLE

The Certificate of Title reveals a regular rectangular corner allotment of land. The site has two significant street frontage facing Grimshaw street (approx. 20 metres) and McDowell Street (approx. 36.5 metres). The site has an overall area of 942m<sup>2</sup>.

A copy of all the Title documents are attached.

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7

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### SURVEY PLAN

The comprehensive Survey Plan undertaken and prepared by Multi Surveying Ltd highlights the broad, eclectic sweep of the local streetscape: a cacophony of similar sized allotments but different sized and shaped houses and residential re-developments.

An A3 copy of the Survey Plan is now attached.

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**SITE SERVICES**

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9

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**ZONING INFORMATION**

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### DETAILED SITE ANALYSIS

A3 copies of the Detailed Site Analysis:  
Neighbourhood and Site Description, and Design Response are attached.

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### 3. DESIGN

#### DESIGN PROPOSAL

A3 copy of the design proposal are attached.

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### AREA ANALYSIS

The Planning Permit application proposes to develop the land for 6 no. townhouses. The primary attributes and features of the proposal are described below:

Townhouse	Bed	Car	Area/m2	Area/sq
-----------	-----	-----	---------	---------

TH 1	3	2		
Ground Floor			48.3	
Garage			44.1	
First Floor			61.8	
Second Floor			51.5	
<b>Total Building Area</b>			<b>205.7</b>	<b>22.1</b>
Front Yard			84.9	
Balcony			12.0	
POS			26.8	
Service Area			0.0	
<b>Total POS</b>			<b>123.7</b>	

TH 2	3	2		
Ground Floor			30.0	
Garage			44.7	
First Floor			59.0	
Second Floor			46.1	
<b>Total Building Area</b>			<b>179.8</b>	<b>19.4</b>
Front Yard			82.1	
Balcony			14.7	
POS			22.8	
Service Area				
<b>Total POS</b>			<b>119.6</b>	

TH 3	2	1		
Ground Floor			33.1	
Garage			24.0	
First Floor			41.7	
Second Floor			26.3	
<b>Total Building Area</b>			<b>125.1</b>	<b>13.5</b>
Front Yard				
Balcony			8.4	
POS				
Service Area			12.5	

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<b>Total POS</b>			<b>20.9</b>	
------------------	--	--	-------------	--

<b>TH 4</b>	<b>2</b>	<b>1</b>		
Ground Floor			17.5	
Garage			31.4	
First Floor			43.5	
Second Floor			46.1	
<b>Total Building Area</b>			<b>138.5</b>	<b>14.9</b>
Front Yard				
Balcony			9.5	
POS				
Service Area				
<b>Total POS</b>			<b>9.5</b>	

<b>TH 5</b>	<b>2</b>	<b>1</b>		
Ground Floor			11.2	
Garage			35.8	
First Floor			38.5	
Second Floor			46.7	
<b>Total Building Area</b>			<b>132.2</b>	<b>14.2</b>
Front Yard			22.4	
Balcony			21.3	
POS				
Service Area				
<b>Total POS</b>			<b>43.7</b>	

<b>TH 6</b>	<b>3</b>	<b>2</b>		
Ground Floor			60.7	
Garage			26.7	
First Floor			66.1	
<b>Total Building Area</b>			<b>153.5</b>	<b>16.5</b>
Front Yard			36.3	
Balcony			19.9	
POS			27.7	
Service Area			21.4	
<b>Total POS</b>			<b>105.3</b>	

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Application No. P857/2019

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Site Area	942.0	m2
No. of Townhouses Proposed	6	
Overall Building Area	934.8	m2
Building Site Coverage Area	462.3	m2
Building Site Coverage	49.1%	
Impervious Paving Area	106.5	m2
Impervious Site Coverage	11.3%	
Permeable Site Coverage	39.6%	
Garden Area	381.5	m2
Garden Area Percentage	40.5%	

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### DETAILED SHADWO ANALYSIS

A3 copy of the Detailed Shadow Analysis attached.

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### RESPONSE TO RES-CODE

#### 1. INTRODUCTION

This written supplement forms part of the site analysis documentation supporting the application for a planning permit for the development and use of land at 161 Grimshaw Street, Greensborough for the purpose of a medium density residential development. The site analysis consists of:

- A neighbourhood and site description
- A design response plan, and
- Supporting text and photographs and diagrams included within this report.

#### 2. THE SUBJECT LAND AND SITE CONTEXT

The following text should be read in conjunction with and supplements the neighbourhood and site description, which has been submitted.

##### 2.1 THE SUBJECT LAND

###### Dimensions:

The land, 161 Grimshaw Street, has a frontage of approx. 20m on Grimshaw Street, and a frontage of 36.5m on McDowell Street and an overall area of 942m<sup>2</sup>. The land's good depth and two frontages assist in its redevelopment potential.

###### Current land use:

The site is occupied by a single storey brick house.

###### Location:

The land is located on the south side of Grimshaw street. The land is located within an established residential precinct generally characterised by 2 storey detached and semi-detached residences.

###### Orientation and slope:

The land is in rectangular shape and slopes comfortably from the southeast corner to the northwest, about 2.85m.

###### Vegetation:

The frontage corner contained a large lemon scented gum as per arborist report and the front and side gardens are established and consist of some planting. Gardens typically consist of scattered trees and shrub with a lawn area.

###### Buildings:

The existing dwelling on the subject land is in fair condition but will be demolished and cleared.

###### Access points:

Pedestrian and vehicular access to the site is available on McDowell Street.

###### Drainage points and services:

The land has access to all infrastructure services including sewerage, water, gas and electricity.

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### Fences, boundaries and easements:

Proposed 1.8m high slate timber fence runs along the side of townhouse 2 and 1.2m high for townhouse 5 along and offset from McDowell Street. 1.8-2m high existing paling fencing runs along the side and rear boundaries. There is a 1.83m wide easement running along the southern boundary.

### 2.2 SITE CONTEXT

#### Surrounding Land Use and Buildings:

The land is located within an established residential area with a very close proximity to the central commercial area. Surrounding properties are typically occupied by a combination of single and multiple dwellings. The predominant building height in the area is elevated single storey, interspersed with double storey dwelling. The scale is characterized by modest forms.

#### Changes in Levels:

The land slopes from the south to north boundary. Changes in levels from the subject land to adjoining properties generally follow the topography of the area with minimal changes at site boundaries.

#### Secluded open space and windows on adjacent properties:

The secluded private open space (rear garden area) of the residential properties to the south are located adjacent to the rear corners of the subject land. Habitable room windows appurtenant to surrounding dwellings are relatively well setback away from common boundaries, generally sufficient distances to maintain good daylight access. The design will need to manage the potential for overlooking adjacent to secluded open space and habitable room windows within 9m.

#### Solar access of adjoining properties:

The adjoining dwelling on the south are the most sensitive in terms of solar access.

#### Major and significant trees on surrounding properties:

The number and extent of trees on surrounding properties varies but is limited. There are some mature screening trees located close to the common boundaries of the subject land.

#### Walls on common boundaries:

There is an existing boundary wall on the southern boundary.

#### Surrounding Character:

The land is located within an established residential area within which single and multi-dwelling, single and double storey housing is the predominant land use.

### NEIGHBOURHOOD AND SITE DESCRIPTION

The above information has been shown graphically on the site context plan accompanying the application, with the above text elaborating on its contents.

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### 3. THE PROPOSAL

The application seeks permission for the use of the land for a medium density residential development including the demolition and clearance of the existing dwelling on the site. The proposed site layout involves 7 townhouses (6 no. 3 storey townhouses and 1 no. 2 storey townhouses).

### 4. DESIGN RESPONSE

The design utilises the site's attributes and derives from the site analysis as follows;

The proposed use and density respond to:

- (i) the site's location within an established residential precinct, where reverse living 3 storey dwellings are becoming more common, (ii) proximity to services and facilities including shops, public transport and open space as well as (iii) the site dimensions and overall area.

The proposed dwellings are to be constructed to allow the development to step down the site responding to the site levels. This approach limits cut and fill and does not require the ground floor level of dwellings to protrude substantially above the existing ground surface level.

- Providing dwellings with ample secluded open space in a series of integrated parcels
- Locating balconies to achieve good access to north sun.
- Providing sufficient setbacks to allow good daylight access to habitable room windows.
- Providing appropriate landscaping opportunities internally within the development.
- Providing dwelling entry points which are visible and providing good address.
- Providing individual street frontage for each townhouse.
- Providing adequate on-site carparking (8no. total).

The design minimises the impact on the adjoining residential properties by:

- Limiting potential for overshadowing to the adjoining residential properties through comfortable setbacks from the rear and side boundaries.
- Maintaining daylight access to habitable room windows of adjoining dwellings through appropriate setbacks.
- Providing screen planting and landscaping along common boundaries.

The design avoids future management difficulties by:

- Ensuring that private areas and spaces comprise the whole development.
- Minimize all common areas

The proposed development respects, acknowledges and improves neighbourhood character by:

- Generally use of light tone materials and contemporary building form.
- Improved landscaping of the front and side setbacks area.

Refer Design Response Plan.

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### 5. RES-CODE ASSESSMENT

The following assessment is provided: The purposes of Clause 55 are:

- To implement the State Planning Policy Framework and the Local Planning Policy.
- Framework, including the Municipal Strategic Statement and local planning policies.
- To achieve residential development that respects the existing neighbourhood character or which contributes to a referred neighbourhood character.
- To encourage residential development that provides reasonable standards of amenity for existing and new residents.
- To encourage residential development that is responsive to the site and the neighbourhood.

#### Clause 55.01

A detailed description of the Neighbourhood and Site is contained above under the heading The Subject Land and Site Context Plan. A detailed design response is also provided.

#### Clause 55.02 Neighbourhood Character and Infrastructure/Clause 55.02-1 Neighbourhood character objectives

To ensure that the design respects the existing neighbourhood character or contributes to a preferred neighbourhood character.

To ensure that development responds to the features of the site and the surrounding area.

#### Standard B1

The design response must be appropriate to the neighbourhood and the site.

The proposed design must respect the existing or preferred neighbourhood character and respond to the features of the site.

**Response:** The medium density residential development proposed for the site is appropriate, given its two frontages, addresses the site's street frontage well, and settles in comfortably in the shadow of the existing trees. Its form, height and siting are complementary to the surrounding dwellings, and it provides ample landscaping opportunities, as appropriate for the suburban characteristic.

#### Clause 55.02-2 Residential policy objectives

To ensure that residential development is provided in accordance with any policy for housing in the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.

To support medium densities in areas where development can take advantage of public transport and community infrastructure and services.

#### Standard B2

An application must be accompanied by a written statement to the satisfaction of the responsible authority that describes how the development is consistent with any relevant policy for housing in the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.

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Application No. P857/2019

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25/02/2020

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**Response:** The proposal compliments SPPF and LPPF guidelines for higher density developments and housing diversity in areas supported by an abundance of infrastructure within the City of Banyule. It respects the garden setting of the area by retaining significant trees and supplanting these with smaller plantings to enhance the landscaped character.

### Clause 55.02-3 Dwelling diversity objective

To encourage a range of dwelling sizes and types in developments of ten or more dwellings.

#### Standard B3

Developments of ten or more dwellings should provide a range of dwelling sizes and types, including:

Dwellings with a different number of bedrooms.

At least one dwelling that contains a kitchen, bath or shower, and a toilet and wash basin at ground floor level.

**Response:** As the proposal is for 6 no. townhouses, this clause is not relevant. However, the variety in plan-types offered to the real estate marketplace is still a key corner stone of this design and submission.

### Clause 55.02-4 Infrastructure objectives

To ensure development is provided with appropriate utility services and infrastructure. To ensure development does not unreasonably overload the capacity of utility services and infrastructure.

#### Standard B4

Development should be connected to reticulated services, including reticulated sewerage, drainage, electricity and gas, if available. Development should not unreasonably exceed the capacity of utility services and infrastructure, including reticulated services and roads. In areas where utility services or infrastructure have little or no spare capacity, developments should provide for the upgrading of or mitigation of the impact on services or infrastructure.

**Response:** The level of development proposed for the land will not exceed the capacity of the existing well-established infrastructure. The site coverage of 49.1% is testament to this.

### Clause 55.02-5 Integration with the street objective

To integrate the layout of development with the street.

#### Standard B5

Developments should provide adequate vehicle and pedestrian links that maintain or enhance local accessibility.

Development should be oriented to front existing and proposed streets.

High fencing in front of dwellings should be avoided if practicable.

Development next to existing public open space should be laid out to complement the open space.

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Application No. P857/2019

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## 161 GRIMSHAW STREET, GREENSBOROUGH

Received  
25/02/2020

BANYULE CITY COUNCIL

**Response:** Vehicular access to the land is adequate with 1 no. proposed crossover on McDowell street servicing all dwellings; existing crossover on McDowell street will be retained and extended to council's requirement. Pedestrian access to the townhouses will be both along Grimshaw and McDowell street with own street frontage for each townhouse. It is appropriate for front fencing to be proposed along Grimshaw and McDowell street due to the site sits on main road.

### Clause 55.03 Site Layout and Building massing/Clause 55.03-1 Street setback objective

To ensure that the setbacks of buildings from a street respect the existing or preferred neighbourhood character and make efficient use of the site.

### Standard B6

Walls of buildings should be set back from streets:

At least the distance specified in the schedule to the zone, or

If no distance is specified in the schedule to the zone, the distance specified in Table B1.

Porches, pergolas and verandahs that are less than 3.6m high and eaves may encroach not more than 2.5m into the setbacks of this standard.

**Response:** The existing dwelling on the site will be demolished and cleared. The front setback of the new proposed dwelling 1 will align with the average setback of the neighbouring dwellings on either side. There are no proposals to intrude further into this front streetscape space, apart from the feature awning element of Dwelling 1 with is less than 3.6m high.

### Clause 55.03-2 Building height objective / Clause 32.08-10 Maximum building height requirement for a dwelling or residential building

A building must not be constructed for use as a dwelling or a residential building that:

exceeds the maximum building height specified in a schedule to this zone;

or contains more than the maximum number of storeys specified in a schedule to this zone.

If no maximum building height or maximum number of storeys is specified in a schedule to this zone: the building height must not exceed 11 metres; and the building must contain no more than 3 storeys at any point.

**Response:** The maximum building height of the proposed dwellings does not exceed the 11m height limit. 3 storey construction are present within the neighbourhood.

### Clause 55.03-3 Site coverage objective

To ensure that the site coverage respects the existing or preferred neighbourhood character and responds to the features of the site.

### Standard B8

The site area covered by buildings should not exceed:

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Received  
25/02/2020

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The maximum site coverage specified in the schedule to the zone, or

If no maximum site coverage is specified in the schedule to the zone, 60 percent.

**Response:** The site coverage proposed is less than the 60% stipulated in Schedule 1 to the General Residential Zone (49.1% proposed).

### Clause 55.03-4 Permeability objectives

To reduce the impact of increased stormwater run-off on the drainage system.

To facilitate on-site stormwater infiltration.

To encourage stormwater management that maximises the retention and reuse of stormwater.

### Standard B9

The site area covered by the pervious surfaces should be at least:

The minimum area specified in a schedule to the zone, or If no minimum is specified in a schedule to the zone, 20 percent of the site.

**Response:** The amount of pervious surfaces for the development is 39.6%.

### Clause 55.03-5 Energy efficiency objectives

To achieve and protect energy efficient dwellings and residential buildings. To ensure the orientation and layout of development reduce fossil fuel energy use and make appropriate use of daylight and solar energy.

### Standard B10

Buildings should be:

Oriented to make appropriate use of solar energy.

Sited and designed to ensure that the energy efficiency of existing dwellings on adjoining lots is not unreasonably reduced.

Sited and designed to ensure that the performance of existing rooftop solar energy facilities on dwellings on adjoining lots in a General Residential Zone, Neighbourhood Residential Zone or Township Zone are not unreasonably reduced. The existing rooftop solar energy facility must exist at the date the application is lodged.

Living areas and private open space should be located on the north side of the development, if practicable.

Developments should be designed so that solar access to north-facing windows is maximised.

**Response:** The plan layouts of the proposed new townhouses incorporate north-facing and oriented living areas where practicable. The proposed new dwellings are all designed to take advantage of the significant solar exposure.

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### Clause 55.03-6 Open space objective

To integrate the layout of development with any public and communal open space provided in or adjacent to the development.

#### Standard B11

If any public or communal open space is provided on site, it should:

Be substantially fronted by dwellings, where appropriate.

Provide outlook for as many dwellings as practicable.

Be designed to protect any natural features on the site.

Be accessible and useable.

**Response:** The development is not located adjacent to public open space. The development has no allocation for public open space within it.

### Clause 55.03-7 Safety objective

To ensure the layout of development provides for the safety and security of residents and property.

#### Standard B12

Developments should be designed to provide good lighting, visibility and surveillance of car parks and internal accessways. Private spaces within developments should be protected from inappropriate use as public thoroughfares.

**Response:** Surveillance of Grimshaw street is via townhouse 1 and 2, and surveillance of McDowell street is via townhouses 2, 5 and 6, while surveillance of the internal accessways will be provided by townhouse 1 to 5.

### Clause 55.03-8 Landscaping objectives

To encourage development that respects the landscape character of the neighbourhood. To encourage development that maintains and enhances habitat for plants and animals in locations of habitat importance. To provide appropriate landscaping. To encourage the retention of mature vegetation on the site.

#### Standard B13

The landscape layout and design should:

Protect any predominant landscape features of the neighbourhood.

Take into account the soil type and drainage patterns of the site.

Allow for intended vegetation growth and structural protection of buildings.

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Application No. P857/2019

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Received  
25/02/2020

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In locations of habitat importance, maintain existing habitat and provide for new habitat for plants and animals.

Provide a safe, attractive and functional environment for residents.

Development should provide for the retention or planting of trees, where these are part of the character of the neighbourhood. Development should provide for the replacement of any significant trees that have been removed in the 12 months prior to the application being made. The landscape design should specify landscape themes, vegetation (location and species), paving and lighting.

**Response:** The proposal allows for extensive planting in all front yards and along the driveway. There is ample room for trees planting and landscaping within the front setback, enhancing the landscape character of the neighbourhood. At least 1 large tree will be provided for the front setback, in accordance with Schedule 1 to the General Residential Zone.

### Clause 55.03-9 Access objectives

To ensure vehicle access to and from a development is safe, manageable and convenient.

To ensure the number and design of vehicle crossovers respects the neighbourhood character.

### Standard B14

Accessways should:

Be designed to allow convenient, safe and efficient vehicle movements and connections within the development and to the street network.

Be designed to ensure vehicles can exit a development in a forwards direction if the accessway serves five or more car spaces, three or more dwellings, or connects to a road in a Road Zone.

Be at least 3m wide.

Have an internal radius of at least 4m at changes of direction.

Provide a passing area at the entrance that is at least 5 metres wide and 7m long if the accessway serves ten or more spaces and connects to a road in a Road Zone.

The width of accessways or car spaces should not exceed:

33% of the street frontage, or

if the width of the street frontage is less than 20m, 40% of the street frontage.

No more than one single-width crossover should be provided for each dwelling fronting a street. The location of crossovers should maximise the retention of on-street car parking spaces. The number of access points to a road in a Road Zone should be minimised. Developments must provide for access for service, emergency and delivery vehicles.

**Response:** Single vehicular accessway to all dwelling is proposed on Grimshaw street. The proposed dimensions meet the requirements of Standard B14.

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### Clause 55.03-10 Parking location objectives

To provide convenient parking for resident and visitor vehicles.

To protect residents from vehicular noise within developments.

#### Standard B15

Car parking facilities should:

Be reasonably close and convenient to dwellings and residential buildings.

Be secure.

Be designed to allow safe and efficient movements within the development.

Be well ventilated if enclosed.

Shared accessways or car parks of other dwellings and residential buildings should be located at least 1.5m from the windows of habitable rooms. This setback may be reduced to 1m where there is a fence at least 1.5m high or where window sills are at least 1.4m above the accessway.

**Response:** The carpark facilities are convenient to all dwellings, are immediately accessible and allow for efficient access and egress.

### Clause 55.04 Amenity Impacts/Clause 55.04-1 Side and rear setbacks objective

To ensure that the height and setback of a building from a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings.

#### Standard B17

A new building not on or within 200mm of a boundary should be set back from side or rear boundaries:

At least the distance specified in the schedule to the zone, or

If no distance is specified in the schedule to the zone, 1m, plus 0.3m for every metre of height over 3.6m up to 6.9m, plus 1m for every metre of height over 6.9m.

Sunblinds, verandahs, porches, eaves, fascias, gutters, masonry chimneys, flues, pipes, domestic fuel or water tanks, and heating or cooling equipment or other services may encroach not more than 0.5m into the setbacks of this standard.

Landings having an area of not more than 2sqm and less than 1m high, stairways, ramps, pergolas, shade sails and carports may encroach into the setbacks of this standard.

**Response:** The proposed location and height of the new dwellings complies with the provision of Diagram B17 side and rear setbacks

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### Clause 55.04-2 Walls on boundaries objective

To ensure that the location, length and height of a wall on a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings

#### Standard B18

A new wall constructed on or within 200mm of a side or rear boundary of a lot or a carport constructed on or within 1 metre of a side or rear boundary of lot should not abut the boundary:

For a length of more than the distance specified in a schedule to the zone; or

If no distance is specified in a schedule to the zone, for a length of more than:

10 metres plus 25 per cent of the remaining length of the boundary of an adjoining lot, or

Where there are existing or simultaneously constructed walls or carports abutting the boundary on an abutting lot, the length of the existing or simultaneously constructed walls or carports whichever is the greater.

A new wall or carport may fully abut a side or rear boundary where slope and retaining walls or fences would result in the effective height of the wall or carport being less than 2 metres on the abutting property boundary. A building on a boundary includes a building set back up to 200mm from a boundary. The height of a new wall constructed on or within 200mm of a side or rear boundary or a carport constructed on or within 1 metre of a side or rear boundary should not exceed an average of 3.2 metres with no part higher than 3.6 metres unless abutting a higher existing or simultaneously constructed wall.

**Response:** There are no boundaries wall for the proposal.

### Clause 55.04-3 Daylight to existing windows objective

To allow adequate daylight into existing habitable room windows.

#### Standard B19

Buildings opposite an existing habitable room window should provide for a light court to the existing window that has a min area of 3sqm and min dimension of 1m clear to the sky. The calculation of the area may include land on the abutting lot.

Walls or carports more than 3m in height opposite an existing habitable room window should be set back from the window at least 50% of the height of the new wall if the wall is within a 55 degree arc from the centre of the existing window. The arc may be swung to within 35 degrees of the plane of the wall containing the existing window.

Where the existing window is above ground floor level, the wall height is measured from the floor level of the room containing the window.

**Response:** The proposed dwellings are located sufficiently away from neighbouring habitable room windows to comply easily with this requirement.

### Clause 55.04-4 North-facing windows objective

To allow adequate solar access to existing north-facing habitable room windows.

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### Standard B20

If a north-facing habitable room window of an existing dwelling is within 3 metres of a boundary on an abutting lot, a building should be setback from the boundary 1 metre, plus 0.6 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres, for a distance of 3 metres from the edge of each side of the window. A north-facing window is a window with an axis perpendicular to its surface oriented north 20 degrees west to north 30 degrees east.

**Response:** The north facing windows of adjoining properties are all well set back.

### Clause 55.04-5 Overshadowing open space objective

To ensure buildings do not significantly overshadow existing secluded private open space.

### Standard B21

Where sunlight to the secluded private open space of an existing dwelling is reduced, at least 75 per cent, or 40 square metres with minimum dimension of 3 metres, whichever is the lesser area, of the secluded private open space should receive a minimum of five hours of sunlight between 9 am and 3 pm on 22 September. If existing sunlight to the secluded private open space of an existing dwelling is less than the requirements of this standard, the amount of sunlight should not be further reduced.

**Response:** The proposal does not significantly overshadow the existing secluded private open spaces of the adjoining properties.

### Clause 55.04-6 Overlooking objective

To limit views into existing secluded private open space and habitable room windows.

### Standard B22

A habitable room window, balcony, terrace, deck or patio should be located and designed to avoid direct views into the secluded private open space of an existing dwelling within a horizontal distance of 9m (measured at ground level) of the window, balcony, terrace, deck or patio. Views should be measured within a 45 degree angle from the plane of the window or perimeter of the balcony, terrace, deck or patio, and from a height of 1.7m above floor level. A habitable room window, balcony, terrace, deck or patio with a direct view into a habitable room window of existing dwelling within a horizontal distance of 9m (measured at ground level) of the window, balcony, terrace, deck or patio should be either:

Offset a minimum of 1.5m from the edge of one window to the edge of the other.

Have sill heights of at least 1.7m above floor level.

Have fixed, obscure glazing in any part of the window below 1.7m above floor level.

Have permanently fixed external screens to at least 1.7m above floor level and be no more than 25% transparent. Obscure glazing in any part of the window below 1.7m above floor level may be openable provided that there are no direct views as specified in this standard. Screens used to obscure a view should be:

Perforated panels or trellis with a maximum of 25% openings or solid translucent panels.

Permanent, fixed and durable.

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Designed and coloured to blend in with the development.

This standard does not apply to a new habitable room window, balcony, terrace, deck or patio which faces a property boundary where there is a visual barrier at least 1.6m high and the floor level of the habitable room, balcony, terrace, deck or patio is less than 0.6m above ground level at the boundary.

**Response:** A whole series of treatments have been carried out to prevent possible overlooking of adjoining properties, including large setbacks, privacy screens, frosted glass, highlight glazing and exact location of windows.

### Clause 55.04-7 Internal views objective

To limit views into the secluded private open space and habitable room windows of dwellings and residential buildings within a development.

#### Standard B23

Windows and balconies should be designed to prevent overlooking of more than 50% of the secluded private open space of a lower-level dwelling or residential building directly below and within the same development.

**Response:** Overlooking is not possible within the development using the treatments and strategies as above (B22).

### Clause 55.04-8 Noise impacts objectives

To contain noise sources in developments that may affect existing dwellings.

To protect residents from external noise.

#### Standard B24

Noise sources, such as mechanical plant, should not be located near bedrooms of immediately adjacent existing dwellings. Noise sensitive rooms and secluded private open spaces of new dwellings and residential buildings should take account of noise sources on immediately adjacent properties. Dwellings and residential buildings close to busy roads, railway lines or industry should be designed to limit noise levels in habitable rooms.

**Response:** External services units are to be located along the sides of all dwellings, and away from bedroom windows. Noise control have been taken into consideration according to the ESD report.

### Clause 55.05 On-site Amenity and Facilities/Clause 55.05-1 Accessibility objective

To encourage the consideration of the needs of people with limited mobility in the design of developments.

#### Standard B25

The dwelling entries of the ground floor of dwellings and residential buildings should be accessible or able to be easily made accessible to people with limited mobility.

**Response:** Easy access to all dwellings will be available for people with limited mobility with lifts located at ground level.

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### Clause 55.05-2 Dwelling entry objective

To provide each dwelling or residential building with its own sense of identity.

#### Standard B26

Entries to dwellings and residential buildings should:

Be visible and easily identifiable from streets and other public areas.

Provide shelter, a sense of personal address and a transitional space around the entry.

**Response:** All dwellings will have entrances which are clearly identifiable.

### Clause 55.05-3 Daylight to new windows objective

To allow adequate daylight into new habitable room windows.

#### Standard B27

A window in a habitable room should be located to face:

An outdoor space clear to the sky or a light court with a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky, not including land on an abutting lot, or

A verandah provided it is open for at least one third of its perimeter, or

A carport provided it has two or more open sides and is open for at least one third of its perimeter.

**Response:** All habitable room windows comply with Standard 27.

### Clause 55.05-4 Private open space objective

To provide adequate private open space for the reasonable recreation and service needs of residents.

#### Standard B28

A dwelling or residential building should have private open space of an area and dimensions specified in the schedule to the zone. If no area or dimensions are specified in the schedule to the zone, a dwelling or residential building should have private open space consisting of:

- An area of 40sqm, with one part of the private open space to consist of secluded private open space at the side or rear of the dwelling or residential building with a minimum area of 25sqm, a minimum dimension of 3m and convenient access from a living room, or

- A balcony of 8sqm with a minimum width of 1.6m and convenient access from a living room, or

- A roof-top area of 10sqm with a minimum width of 2m and convenient access from a living room.

**Response:** All townhouses have complying open space areas and proportions.

### Clause 55.05-5 Solar access to open space objective

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To allow solar access into the secluded private open space of new dwellings and residential buildings.

### Standard B29

The private open space should be located on the north side of the dwelling or residential building, if appropriate.

The southern boundary of secluded private open space should be set back from any wall on the north of the space at least  $(2 + 0.9h)$  metres, where 'h' is the height of the wall.

**Response:** All dwellings have private open space areas, with significant northern, eastern and western solar access.

### Clause 55.05-6 Storage objective

To provide adequate storage facilities for each dwelling.

### Standard B30

Each dwelling should have convenient access to at least 6 cubic metres of externally accessible, secure storage space.

**Response:** Secure storage is provided for all dwellings.

### Clause 55.06 Detailed Design / Clause 55.06-1 Design detail objective

To encourage design detail that respects the existing or preferred neighbourhood character.

### Standard B31

The design of buildings, including:

Facade articulation and detailing,

Window and door proportions,

Roof form, and

Verandahs, eaves and parapets, should respect the existing or preferred neighbourhood character.

Garages and carports should be visually compatible with the development and the existing or preferred neighbourhood character.

**Response:** The proposed townhouses have distinct style from the front providing an articulated modern appearance in line with the character of the prevailing eclectic streetscape.

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Application No. P857/2019

### Clause 55.06-2 Front fences objective

To encourage front fence design that respects the existing or preferred neighbourhood character.

### Standard B32

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The design of front fences should complement the design of the dwelling or residential building and any front fences on adjoining properties. A front fence within 3m of a street should not exceed:

The maximum height specified in the schedule to the zone, or

If no maximum height is specified in the schedule to the zone, the maximum height specified in Table B3.

**Response:** There are 1.8m side fence and 1.2m front fence proposed on McDowell street.

### Clause 55.06-3 Common property objectives

To ensure that communal open space, car parking, access areas and site facilities are practical, attractive and easily maintained. To avoid future management difficulties in areas of common ownership.

#### Standard B33

Developments should clearly delineate public, communal and private areas.

Common property, where provided, should be functional and capable of efficient management.

**Response:** The internal driveway is the only common property and is easily maintained.

### Clause 55.06-4 Site services objectives

To ensure that site services can be installed and easily maintained.

To ensure that site facilities are accessible, adequate and attractive.

#### Standard B34

The design and layout of dwellings and residential buildings should provide sufficient space (including easements where required) and facilities for services to be installed and maintained efficiently and economically.

Bin and recycling enclosures, mailboxes and other site facilities should be adequate in size, durable, waterproof and blend in with the development. Bin and recycling enclosures should be located for convenient access by residents.

**Response:** Mailboxes are provided and located for convenient access as required by Australia Post. Bins will be stored in the yards or garages and will not be visible from the public realm.

## 6 CONCLUSION

It is considered that the subject land is situated in an area suitable for residential development. The proposed development is considered appropriate having regard to the positive attributes of the site and the size and design of the proposed new dwelling. The design of the proposal will result in a positive contribution to the neighbourhood character of the area. It also achieves a high level of compliance with all the standards and clauses of Rescode.

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## ARBORICULTURAL REPORT

**PROPERTY ADDRESS:** 161 Grimshaw Street Greensborough, VIC  
**Client:** Prime Gates Investments Pty Ltd

Our Ref: PSY/2019/0409  
Date of Report: 19/02/2020 with new update design plan  
Tree Inspection: 09/04/2019 by Dr Peter Yau

### • Abstract Summary of the report

The only tree shown in subject site of HIGH retaining value is Tree-5 Lemon Scented Gum with TPZ of 7.2m radius. It is shown to be retained on the building design plan. **The design plan shows Tree-5 with 9.0% TPZ encroachment. This is below the allowed 10% limit therefore is deemed to be acceptable.**

All other trees inside the subject site are of low retention value and are proposed and shown on the plan to be removed and is recommended. Of these trees, the only tree that will need a council VPO5 permit to remove is Tree-8 because the cumulative combined DBH of all stems exceeds 400mm. All other trees do not need permit for removal as they are under 400mm DBH and under 12m height.

For trees **outside** the subject site (including street trees), the plan shows:

**Street tree No.2 is to be removed. As this is a small Oleander of no real significance, removal is recommended. Street tree removal MUST have council consent before you finalize your plan to avoid complications.**

Three other street trees Nos. 1-3-4 are shown as retained, and there is no encroachment to their TPZ.

Adjoining trees Nos. 6-7 at the rear are not affected – no TPZ encroachment on T6 while T7 has only 1.8% TPZ area encroached by TH6 garage.

Adjoining trees Nos. 16-17 on the side boundary are not affected – the retaining wall is outside their TPZ except the last tree of No.17 with 7.8% area encroached by the retaining wall site cut.

Summary of tree protection measures are provided herewith for reference.

### • INTRODUCTION

This arborist report has been commissioned by the client to assess all trees in the subject site and neighbouring trees and street trees, for a proposed development of the subject site.

A site plan of this property showing the trees has been provided and attached.

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DIRECTOR – Dr Peter Yau MSc(Oxon) PhD(Melb) CBiol FRSB Chartered Biologist Arboricultural Consultant

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• **METHODOLOGY OF TREE ASSESSMENT**

Tree Assessment Methodology was by means of VTA method (Visual Tree Assessment as per Matthecks). Tree size DBH measurements were made with tape measure, and tree height with clinometer. No other tools or instrumentation were used or deemed necessary in this instance.

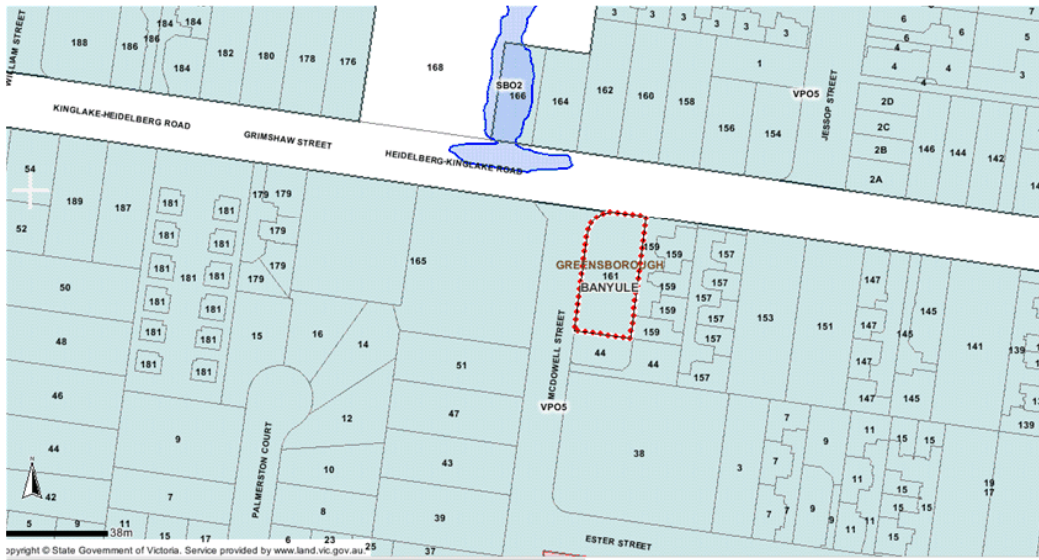
The report is based on the format and contents in Australian Standard AS4970:2009 – ‘Protection of Trees on Development Sites’.

• **LIMITATIONS IN TREE ASSESSMENT**

There is no limitation to access to the trees for assessment and measurement unless otherwise stated.

• **COUNCIL PLANNING SCHEME - OVERLAYS**

The Victorian Planning Map shows that this property is covered by **Banyule VPO5** overlay for tree protection:



**3.0 Permit requirement**

26/07/2012  
C88

A permit is required to remove, destroy or lop those trees which meet either of the following:

- Has a height of 12 metres or more, or
- Has a trunk or stems that collectively are more than 400mm in diameter, measured at 1400mm above the base of the tree.

*Note:* Lopping is defined as the practice of cutting branches or stems to the main trunk or internodes.

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25/02/2020

• ARBORICULTURAL DATA COLLECTED IN ASSESSMENT

**Tree No.** 1 – street tree  
**Species:** *Liquidambar styraciflua* (Liquidambar)  
**DBH:** 445mm  
**TPZ:** 5.35m radius  
**SRZ:** 2.50m radius  
**Canopy:** 8m  
**Height:** 8m  
**Health:** Good  
**Structure:** Good  
**Form:** Fair – canopy top flattened by powerline clearance pruning  
**Significance:** **Exotic** greenery tree for streetscape amenity  
**ULE:** Medium (depends on future maintenance)  
**Retention:** **Street tree to be retained**

**Tree No.** 2 – street tree  
**Species:** *Nerium indicum* (Oleander)  
**DBH:** Multiple stems 7x stems of 60mm  
**TPZ:** 1.90m radius  
**SRZ:** 1.25m radius  
**Canopy:** 3m  
**Height:** 3m  
**Health:** Good  
**Structure:** Fair – multiple stems shrubby  
**Form:** Fair  
**Significance:** **Exotic** greenery flowering shrub for streetscape amenity  
**ULE:** Medium (depends on future maintenance)  
**Retention:** **Street tree (shrub) to be retained**

**Tree No.** 3 – street tree  
**Species:** *Acer negundo* (Box Elder)  
**DBH:** 260mm  
**TPZ:** 3.1m radius  
**SRZ:** 1.5m radius  
**Canopy:** 6m  
**Height:** 5m  
**Health:** Good  
**Structure:** Fair  
**Form:** Fair – canopy top flattened by powerline clearance pruning  
**Significance:** **Exotic** greenery tree for streetscape amenity  
**ULE:** Medium (depends on future maintenance)  
**Retention:** **Street tree to be retained**

**Tree No.** 4 – street tree  
**Species:** *Liquidambar styraciflua* (Liquidambar)  
**DBH:** 200mm  
**TPZ:** 2.4m radius  
**SRZ:** 1.5m radius  
**Canopy:** 4m  
**Height:** 5m  
**Health:** Good  
**Structure:** Good  
**Form:** Good  
**Significance:** **Exotic** greenery tree for streetscape amenity  
**ULE:** Medium (depends on future maintenance)  
**Retention:** **Street tree to be retained**

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Application No. P857/2019

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**Tree No. 5 – large tree in frontage corner**  
Species: *Corymbia citriodora* (Lemon Scented Gum)  
DBH: 600mm  
TPZ: 7.2m radius  
SRZ: 3.0m radius  
Canopy: 18m  
Height: 20m  
Health: Good  
Structure: Good  
Form: Good  
Significance: **Native** large tree for streetscape amenity shade screening greenery  
ULE: Long (depends on future maintenance)  
**Retention: HIGH – recommend to retain**

**Tree No. 6 – neighbour’s tree**  
Species: *Cupressus sempervirens* (Mediterranean Cypress)  
DBH: 160mm  
TPZ: 1.9m radius  
SRZ: 1.2m radius  
Canopy: 2m  
Height: 6m  
Health: Good  
Structure: Good  
Form: Good  
Significance: **Exotic** greenery conifer tree for amenity  
ULE: Long (depends on future maintenance)  
**Retention: Neighbour’s tree to be retained**

**Tree No. 7 – neighbour’s tree**  
Species: *Cupressus sempervirens* (Mediterranean Cypress)  
DBH: 250mm  
TPZ: 3.0m radius  
SRZ: 1.5m radius  
Canopy: 2m  
Height: 6m  
Health: Good  
Structure: Good  
Form: Good  
Significance: **Exotic** greenery conifer tree for amenity  
ULE: Long (depends on future maintenance)  
**Retention: Neighbour’s tree to be retained**

**Tree No. 8 – in subject site rear section**  
Species: *Melaleuca spp* (Melaleuca)  
DBH: Multiple stems 9x stems of 100-120mm **(collectively >400mm diam)**  
Canopy: 6m  
Height: 6m  
Health: Good  
Structure: Poor – multiple stems bifurcating from base ground level  
Form: Fair  
Significance: **Native small greenery** tree for amenity  
ULE: Medium (depends on future maintenance)  
**Retention: Low - removal needs VPO5 permit, being >400mm diam collectively**

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25/02/2020

**Tree No.** 9 – in subject site rear section  
**Species:** *Betula pendula* (Silver Birch – Weeping Form)  
**DBH:** 90mm  
**Canopy:** 3m  
**Height:** 2m  
**Health:** Good  
**Structure:** Good  
**Form:** Fair  
**Significance:** **Exotic small greenery** tree for amenity  
**ULE:** Medium (depends on future maintenance)  
**Retention:** **Low - VPO5 permit NOT required for removal**

**Tree No.** 10 – in subject site rear section  
**Species:** *Olea europaea* (Olive fruit tree)  
**DBH:** 120mm  
**Canopy:** 4m  
**Height:** 4m  
**Health:** Good  
**Structure:** Good  
**Form:** Good  
**Significance:** **Exotic small olive** tree for amenity greenery  
**ULE:** Long (depends on future maintenance)  
**Retention:** **Low - VPO5 permit NOT required for removal**

**Tree No.** 11 – in subject site rear section  
**Species:** *Citrus limon* (Lemon fruit tree)  
**DBH:** 210mm  
**Canopy:** 4m  
**Height:** 4m  
**Health:** Good  
**Structure:** Fair  
**Form:** Good  
**Significance:** **Exotic small lemon** tree for amenity greenery  
**ULE:** Medium (depends on future maintenance)  
**Retention:** **Low - VPO5 permit NOT required for removal**

**Tree No.** 12 – in subject site rear section  
**Species:** *Leptospermum spp* (Tea tree)  
**DBH:** 100+80+80mm  
**Canopy:** 4m  
**Height:** 3m  
**Health:** Good  
**Structure:** Poor – three stems badly lopped  
**Form:** Poor  
**Significance:** **Small native flowering** tree for greenery  
**ULE:** Medium (depends on future maintenance)  
**Retention:** **Low - VPO5 permit NOT required for removal**

**Tree No.** 13 – in subject site frontage section  
**Species:** *Callistemon saligna* (Bottlebrush)  
**DBH:** 180mm  
**Canopy:** 4m  
**Height:** 4m  
**Health:** Good  
**Structure:** Good  
**Form:** Good  
**Significance:** **Small native flowering** tree for greenery  
**ULE:** Medium (depends on future maintenance)  
**Retention:** **Low - VPO5 permit NOT required for removal**

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Application No. P857/2019

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**Tree No.** 14 – in subject site frontage section  
**Species:** *Agonis flexuosa* (Willow Myrtle)  
**DBH:** 3x stems of 120mm  
**Canopy:** 6m  
**Height:** 4m  
**Health:** Good  
**Structure:** Good  
**Form:** Good  
**Significance:** **Small native** tree for greenery  
**ULE:** Medium (depends on future maintenance)  
**Retention:** **Low - VPO5 permit NOT required for removal**

**Tree No.** 15 – in subject site frontage section  
**Species:** *Proteas spp* (Proteas)  
**DBH:** Multiple stems of 40mm  
**Canopy:** 3m  
**Height:** 2m  
**Health:** Good  
**Structure:** Fair  
**Form:** Fair  
**Significance:** **Small exotic flowering** shrub for greenery  
**ULE:** Medium (depends on future maintenance)  
**Retention:** **Low - VPO5 permit NOT required for removal**

**Tree No.** 16 – in adjoining site along boundary – long hedge row of 8x screening trees  
**Species:** *Pittosporum tenuifolium* (Kohuhu)  
**DBH:** 100mm average for all trees  
**TPZ:** 1.5m radius  
**SRZ:** 1.0m radius  
**Canopy:** 2m  
**Height:** 5m  
**Health:** Fair  
**Structure:** Fair – multiple stems  
**Form:** Fair  
**Significance:** **Exotic** greenery small tree for screening shade & amenity  
**ULE:** Medium (depends on future maintenance)  
**Retention:** **Neighbour's screening trees – to be retained**

**Tree No.** 17 – in adjoining site along boundary - single tree amongst T16 row  
**Species:** *Pyrus calleryana* (Ornamental Pear)  
**DBH:** 120+80 mm  
**TPZ:** 1.8m radius  
**SRZ:** 1.2m radius  
**Canopy:** 3m  
**Height:** 8m  
**Health:** Good  
**Structure:** Good  
**Form:** Good  
**Significance:** **Exotic** greenery small tree for screening shade & amenity  
**ULE:** Medium (depends on future maintenance)  
**Retention:** **Neighbour's tree – to be retained**

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Tree-1



Tree-2



Tree-3



Tree-4

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Tree-5



Tree-6-7



Tree-8



Tree-9

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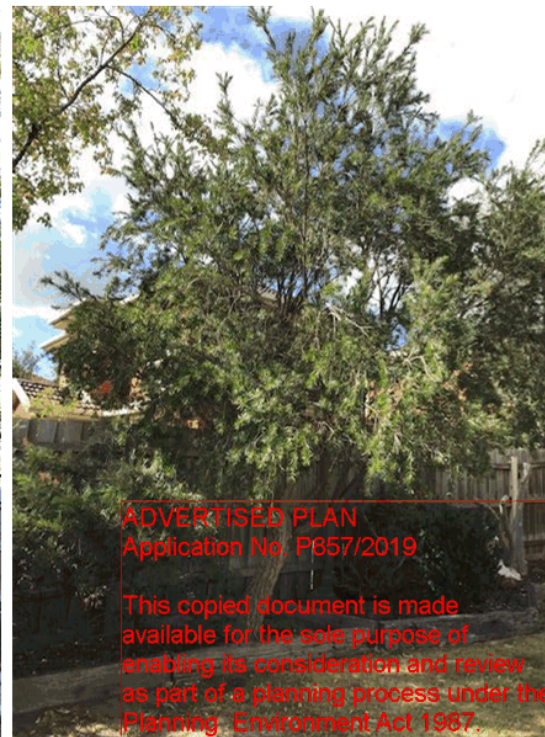
Tree-10



Tree-11



Tree-12



Tree-13

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Tree-14



Tree-15



Tree-16



Tree-17

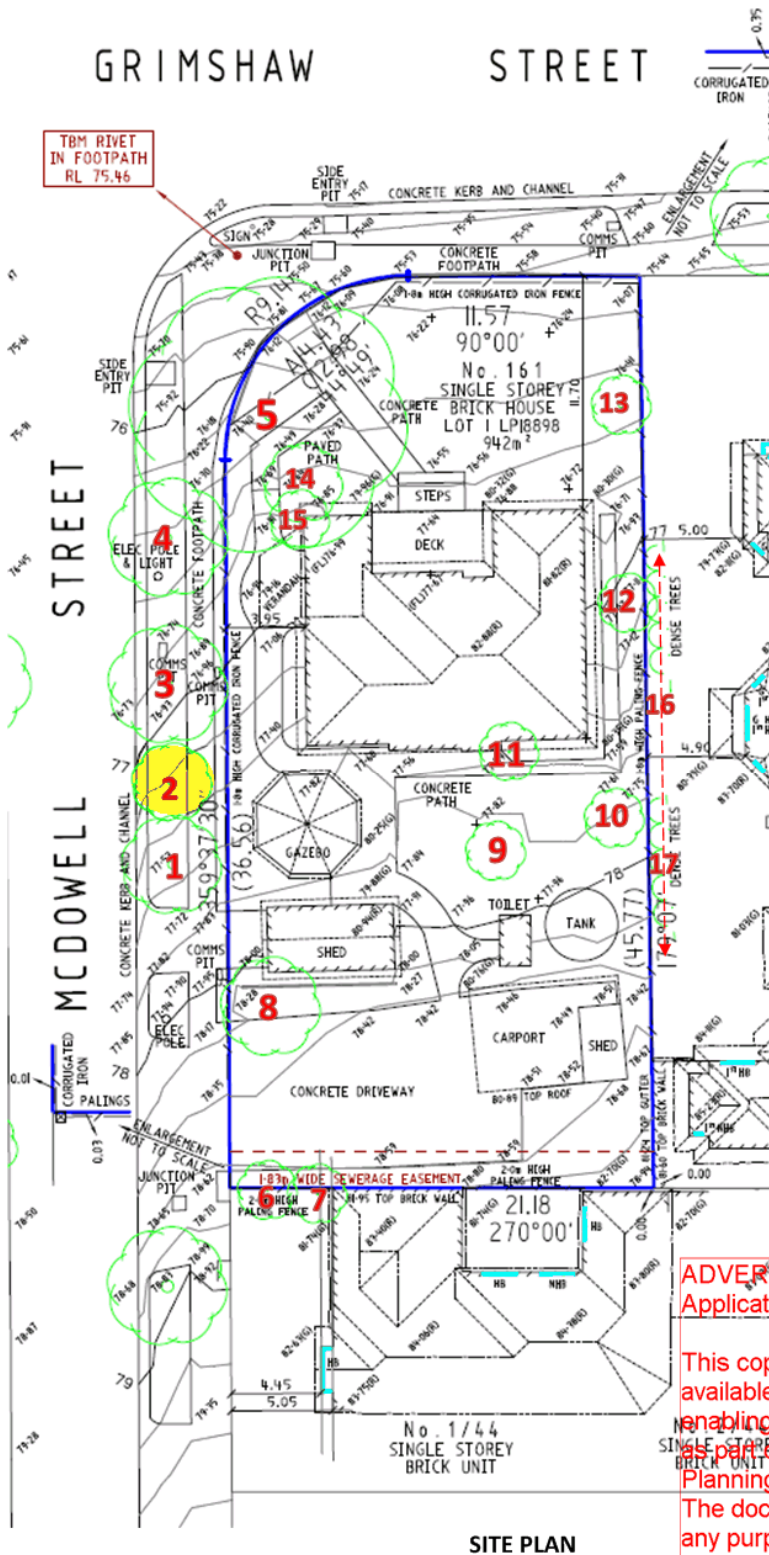
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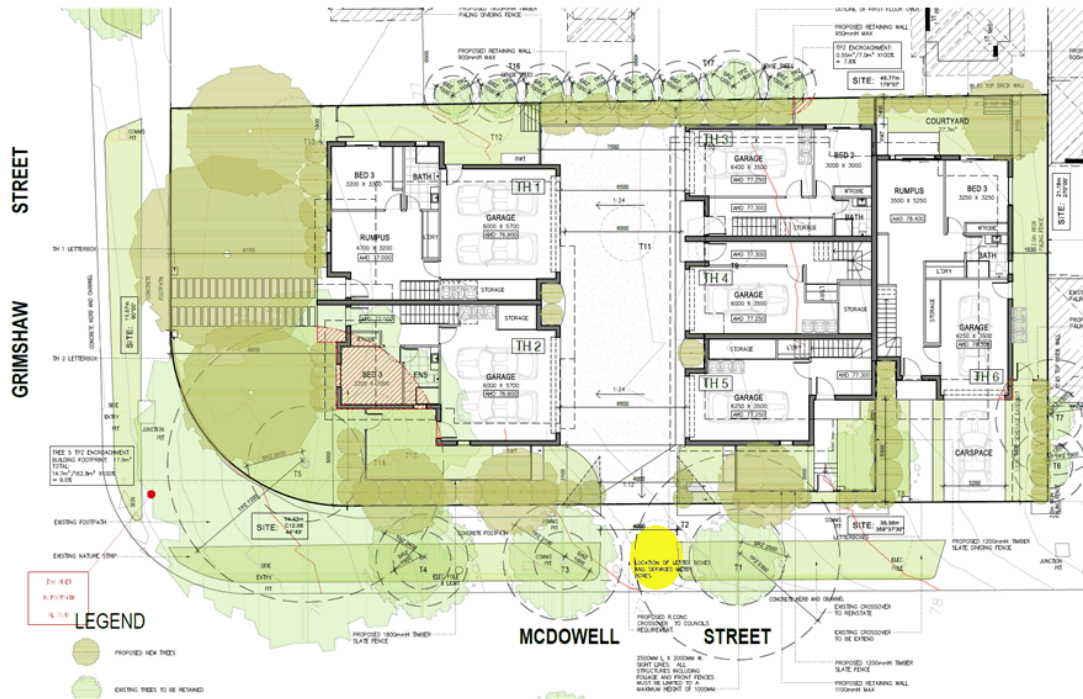
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• TREE IMPACT ASSESSMENT

The following new design proposal plans have been provided and received on 18/02/2020.



The new plan shows:

Street tree No.2 is removed.  
Three other street trees Nos. 1-3-4 are retained, and there is no encroachment to their TPZ.

Tree-5 is retained with 9.0% TPZ area encroachment which is below the allowed 10% limit therefore is deemed to be acceptable. All other trees inside the subject site are shown on the plan as removed.

Adjoining trees Nos. 6-7 at the rear are not affected – no TPZ encroachment on T6 while T7 has only 1.8% TPZ area encroached by TH6 garage.

Adjoining trees Nos. 16-17 on the side boundary are not affected – the retaining wall is outside their TPZ except the last tree of No.17 with 7.8% area encroached by the retaining wall site cut.

• CONCLUSION & RECOMMENDATIONS

The only tree shown in subject site of HIGH retaining value is Tree-5 Lemon Scented Gum with TPZ of 7.2m radius. It is shown to be retained on the building design plan. The design plan shows Tree-5 with 9.0% TPZ encroachment. This is below the allowed 10% limit therefore is deemed to be acceptable.

All other trees inside the subject site are of low retention value and are proposed and shown on the plan to be removed and is recommended. Of these trees, the only tree that will need a council VPO5 permit for removal is tree 5 because the council have

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25/02/2020

combined DBH of all stems exceeds 400mm. All other trees do not need permit for removal as they are under 400mm DBH and under 12m height.

For trees outside the subject site (including street trees), the plan shows:

**Street tree No.2 is to be removed. As this is a small Oleander of no real significance, removal is recommended. Street tree removal MUST have council consent before you finalize your plan to avoid complications.**

Three other street trees Nos. 1-3-4 are shown as retained, and there is no encroachment to their TPZ.

Adjoining trees Nos. 6-7 at the rear are not affected – no TPZ encroachment on T6 while T7 has only 1.8% TPZ area encroached by TH6 garage.

Adjoining trees Nos. 16-17 on the side boundary are not affected – the retaining wall is outside their TPZ except the last tree of No.17 with 7.8% area encroached by the retaining wall site cut.

Summary of tree protection measures are provided herewith for reference.

#### STRUCTURAL ROOT ZONE (SRZ) AND TREE PROTECTION ZONE (TPZ)

SRZ is the distance calculated from AS4970-2009 formula:  $R_{(SRZ)} = (D \times 50)^{0.42} \times 0.64$  (P.13). Construction should not be conducted within a tree's SRZ.

TPZ is the radial distance equivalent to 12 times a tree's DBH (Diameter at Breast Height measured at 1.4m above ground level) according to AS4970:2009 "Tree protection on development sites".

Up to 10% TPZ area encroachment is allowed under AS4970:2009. Encroachment is defined in AS4970-2009 as "excavation, compacted fill and machine trenching". If proposed encroachment is greater than 10% of the TPZ, detailed root investigation by non-destructive methods should be carried out (by hand digging, ground penetration radar, hydro or air knife excavation methods) to determine root distribution pattern and root density to the satisfaction of the project arborist that the tree will remain viable. The area lost to encroachment must be compensated for elsewhere and contiguous with the TPZ.

IF buildings do encroach into the TPZ, acceptable tree sensitive construction building construction methods must be used for tree protection and damage reduction. Such methods include pier and beam, suspended slabs, cantilevered building sections, screw piles and contiguous piling can minimize the impact of encroachment.

Crossing and driveway construction within TPZ/SRZ shall use porous permeable paving materials to allow air and water infiltration into the subsoil stratum for roots. Driveway construction must be of non-excavation method - above grade that does not damage the roots of protected trees.

Underground pipes conduits channels etc for utility services if located in the TPZ must be laid by tunneling method and NOT by open cut trench excavation.

- Physical damage to tree trunk, branches and bark by impact, fire or tearing.

A protective fence of adequate construction around each protected tree's TPZ shall be erected and maintained throughout construction. Operators of tall machinery (eg mobile cranes, forklifts or similar equipment) working in the vicinity of the tree should take special care not to cause collision damage to the tree branches overhead.

A strong sturdy chain-link wire fence supported by star droppers and tied with reflective warning tapes would be acceptable as an adequate protective fence for this purpose. This fenced-off area shall be known as the TPZ. The ground surface of the TPZ shall be mulched and irrigated, and a warning sign displayed on the fence to ward off potential intruders and unauthorized personnel. The protective fence

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may only be taken down for the duration to facilitate authorized construction works inside the TPZ, but must be reinstated at works completion at the end of the day.

Any tree pruning, canopy uplifting or branch removal must be performed by a skilled arborist to meet approved arboricultural standards as per AS 4373-2007 "Pruning of amenity trees".

- Root damage

Root damage is commonly caused by soil excavation, cut and fill, soil grade reduction, trenching or other earthworks. It is critically important not to induce any soil level changes around the protected tree, especially within the tree's TPZ. An approved arboriculturist (the project arborist) should be consulted, and be present on site to supervise any earthworks within the TPZ of the protected tree.

- Soil aeration

Soil aeration deprivation may be caused by soil level buildup, soil compaction and waterlogging. Anoxic or hypoxic soils will kill tree roots, leading to tree mortality. No soil dumping, soil fill & stockpile, soil compacting, blockage of natural drainage patterns and the like should be allowed within the tree's TPZ.

- Soil water content changes

Soil water content changes in both extremes of water deprivation or waterlogging can adversely affect tree health and survival.

Site works that alter natural water table level, water flow, soil water infiltration, retention or drainage should not be permitted.

- Soil compaction

Soil compaction by construction machinery can adversely affect soil physical properties, eg porosity, aeration, water retention, soil strength etc which in turn would affect root growth and tree health. Planks or rumble boards should be placed over mulched soil surfaces to reduce the compaction pressure of machinery tyres on soil surfaces.

- Spilling or dumping of building materials

Spillage or dumping of building materials (eg lime, cement, concrete etc) or other chemicals (acids, petrol, oil, herbicides etc) is harmful to tree roots and can lead to tree mortality. Building materials or other toxic materials should not be stored close to or within the critical root zone of the tree. Any spillage should be cleaned up immediately and reported to the project manager.

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Application No. P857/2019

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**EXPLANATORY NOTES**

**SIZE DIMENSIONS:**

DBH (Diameter Breast Height) is a measurement of trunk diameter taken at 1.4m above ground level.  
Girth is circumference measured at 1.4m above ground level.

$$\text{For multiple trunk trees, } DBH_T = \{ (DBH_1)^2 + (DBH_2)^2 + (DBH_3)^2 \}^{1/2}$$

Canopy Spread is a measurement of canopy diameter measured from edge-to-edge of canopy drip-line.

Height is a measurement of the tree's height by clinometer.

Tree Protection Zone (TPZ) is estimated as 12 times the tree trunk DBH as per AS 4970:2009 'Protection of Trees on Development Sites' – it is a radius distance from tree trunk base

Structural Root Zone (SRZ) is estimated as per AS 4970:2009 'Protection of Trees on Development Sites' – it is a radius distance from tree trunk base

**VIGOUR/HEALTH:**

The health condition of the tree is classified as **Very Good, Good, Fair, Poor, Moribund/Dead.**

These observations are based on factors such as physical damage, broken branches, scars, root damage, rotten cavities, visible fungal bodies, branches dieback, deadwood, branch stubs, observable diseases or insect damage/infestation, foliar colour and density of the canopy, growth extension over the last year etc.

**Vigour/Health:**

Category	Description
Very Good	Outstanding specimen. Full & balanced canopy. Good shape and form. Foliage dense, entire with good colour, no pest/disease damage. No dieback or deadwood. Excellent growth indicators, eg extension growth.
Good	Canopy full, may be slightly asymmetrical. Foliage dense, entire with good colour, minimal pest/disease damage. Negligible quantity of deadwood (<10%). Good growth indicators, eg extension growth.
Fair	Canopy may be unbalanced. Foliage density thin, generally with good colour, some discoloration may be present. Minor pest or disease damage present. (Typical for species in location). Minor quantity of deadwood (<30%).
Poor	Major quantity of deadwood & dead/broken limbs (>30%). Foliage density thin & sparse, may be severely defoliated, wilting, chlorotic or necrotic, may have excessive epicormic or basal sprout growth. Serious pest/disease damage, and stress level leading to tree decline.
Dead Moribund	Tree is moribund or dead, totally defoliated or no live-foliage and green bark on the tree. Bark may be peeling off trunk-branch.

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**STRUCTURE:**

The structure of the tree is classified as **Very Good, Good, Fair, Poor, Dead.**

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25/02/2020

These observations are based on factors such as canopy balance and symmetry, straight or leaning trunk, single or multiple trunks, bifurcated codominants with included bark, risk of branch drop or tree collapse, presence of decay in trunk or roots, evidence of instability etc.

**Structure:**

Category	Description
Very Good	Excellent branch attachment, no structural defects. Trunk straight, sound and solid, with no exposed wounds, cavities and decay. No damage to roots, and good root buttressing. Good trunk and scaffold branch taper. No branch over extension.
Good	Good branch attachment with minor structural defects. Trunk straight, sound, may show minor non-hazard wounding. No damage to roots, with good buttressing.
Fair	Some minor structural defects and/or minor damage to trunk. Regenerated crown after severe pollarding. Bark torn and missing on main trunk or branches. Cavities and decay may be present. May have minor damage to roots not threatening tree stability. May have slight leaning and slightly lopsided canopy.
Poor	Major structural defects eg trunk bifurcation with included bark, cracked or split branches, pollarded canopy not regenerated, trunk/branch damage and/or missing bark, large rotten cavities, girdling or damaged roots that destabilize the tree. Root buttress not visible above ground. Serious lean, not straight growing. Canopy halved and lopsided.
Dead	Dead tree poses imminent risk or high hazard risk

**SHAPE/FORM:**

The shape and form of the tree is classified as **Good, Fair, Poor**.

These observations are based on factors such as canopy shape, balance and symmetry, straight or leaning trunk, single or multiple trunks.

Category	Description
Good	Single upright straight tree trunk. No leaning. Well-balanced full density symmetrical canopy.
Fair	Multiple trunks. Tree with minor leaning (<30 degrees off vertical). Slightly lopsided unbalanced canopy. Regenerated canopy after lopping/pollarding.
Poor	Tree trunk with serious leaning (>30 degrees off vertical), tree trunk with kinking, twisting, Canopy lopped/pollarded. Canopy halved, badly leaning and/or lopsided. Tree top cut off for overhead powerlines clearance or top dieback, or blown off in strong winds.

**SIGNIFICANT TREES**

This rating is to be used to rate the significance of trees in the area.

Trees that are of State or National significance would normally be registered by The National Trust or Heritage Council and would be identified as such.

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Local Councils planning scheme may have separate listings of Significant Trees in the Municipality.

Trees may be considered as significant if they fall into one or more of the following categories:-

- ◆ Exceptional size and/or age
- ◆ Rare or threatened/endangered species.
- ◆ Unusual shape or form
- ◆ Aboriginal cultural value
- ◆ Heritage or Historic value
- ◆ Exceptional example of a species.
- ◆ Genetical Biodiversity Value
- ◆ Outstanding feature in the landscape
- ◆ Habitat Value.

Generally trees are described according to their flowering and foliage amenity, greenery contribution, shade, shelter, screening, or being classified as noxious weeds or environmental weeds.

**USEFUL LIFE EXPECTANCY (ULE)**

**Long** Over 50 years  
**Median** 10-50 years  
**Short** Under 10 years

**RETENTION**

**High** Retention recommended  
**Median** Retention/Removal Optional  
**Low** Removal recommended  
**Remove** Removal a matter of necessity or urgency



**Dr Peter Yau** *MSc(Oxford) PhD(Melb) CBiol FRSB*  
**Arboricultural Consultant**

**9 April 2019**  
**Updated 12/08/2019**

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**Application No. P857/2019**

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### Summary of Author's qualifications and experience

- (a) I (Dr Peter Yau) am the arboriculturist who prepared this arborist report.
- (b) My qualifications include:
- Bachelor of Science (Honours) in Botany & Biochemistry – Hong Kong University, HKG
  - Master of Science (Forestry/Arboriculture) – Oxford University England, UK
  - Doctor of Philosophy (Forestry/Arboriculture) – Melbourne University Victoria AUST
  - Graduate Diploma in Business Administration – Swinburne University of Technology, Victoria Australia
  - Chartered Biologist (CBiol) & Fellow of Royal Society of Biology (FRSB) UK
  - Editorial Board Member (1995-2008) of Arboricultural Journal (International Journal of Urban Forestry) Arboricultural Association of UK.

My professional experience in arboriculture includes:

- 1976-1995 Arboriculturist of the Melbourne City Council being responsible for the policy and management issues relating to the planting, maintenance, removal, transplanting, protection, preservation of all trees within the municipal district of the City of Melbourne. Also appointed to membership of Victorian state government task force for Elm tree diseases.
- 1995- now Arboricultural Consultant to public and private sector clients eg
  - Office of The Governor, Government House Victoria
  - Energy & Water Ombudsman of Victoria
  - Public Transport Ombudsman of Victoria
  - Municipal Councils in Victoria and NSW
  - State Government - Places Victoria (Former VicUrban)
  - Private property developers, architects, planners, lawyers etc
  - Hong Kong Government – Leisure & Cultural Services Department (LCSD), Agriculture Forestry & Conservation Department (AFCD), MTR Corporation
  - Appointed Member of Expert Panel of Tree Management Office, Development Bureau, Hong Kong Government, 2011-2016
  - Appointed Member of Applied Science Discipline Advisory Board of the HK Vocation Training Council (VTC) and THEi (Tertiary & Higher Education Institute, Hong Kong) 2014-2020
  - P.R. China – Registered Foreign Expert

My academic experience in arboriculture includes:

- 1982- now Visiting Lecturer in Arboriculture – Burnley College, The University of Melbourne
- 1990- now External Examiner of Post-Graduate Research Degree Thesis
- I have given arboricultural training courses, keynote addresses and presentations to national and international conferences, workshops and seminars nationally and internationally, and I have published peer-reviewed papers in international journals in arboriculture. I have written critique reviews on other scientists' books, publications and papers.

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## Summary

The Council collection service is recommended to collect the individual 6 x 120L garbage bins are to be collected on a weekly basis. With 6 x 240L recycling bins and 6 x 120L green waste bins to be collected on alternate fortnights from the kerbsides of Grimshaw and McDowell Streets.

Townhouse residents are responsible to place bins at the designated collection area on the night before collection. Bins are to be returned on the same day as collection occurs.

## Waste Management Plan

Multiunit townhouse development

161 Grimshaw Street, Greensborough

Prepared for: Prime Gates Investments Pty Ltd

Prepared by: Fiona Murphy – Low Impact Development Consulting

DATE: 24/02/2020

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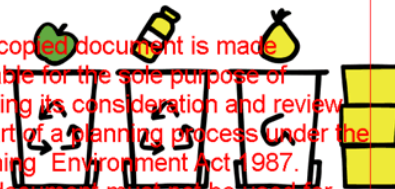
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Waste Management Plan  
161 Grimshaw Street, Greensborough VIC 3088

## Contents

Collection Summary .....	1
1 Waste Management .....	2
2 Proposed Collection Solution .....	2
2.1 Residential .....	2
3 Additional information .....	3
3.1 General Waste Considerations .....	3
3.2 Green Garden Waste .....	3
3.3 Hard waste collection .....	3
3.4 Organics (food) waste collection .....	3
3.5 E-Waste (electronic waste) Recycling .....	4
3.6 Miscellaneous recycling containers .....	4
4 Allowance for different rates of waste generation .....	4
5 Design inclusions .....	5
5.1 Litter spread .....	5
5.2 Traffic Management .....	5
5.3 Noise Management .....	5
5.4 Odour reduction .....	5
5.5 Bin store design .....	5
5.6 Collection Times .....	6
5.7 Internal waste Management .....	6
5.8 Signage, education & safety .....	7
6 Ongoing management .....	8
7 Further Waste Reduction Measures .....	8
7.1 Sustainability Initiatives .....	8
7.2 Separating Recycling .....	9
7.3 Organic food waste diversion options .....	10
7.4 Waste to Energy .....	11
8 Supplementary information .....	11
8.1 Links .....	11
Appendix 1 - Bin collection plan .....	12
Appendix 2 - Preliminary risk review .....	13

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## Collection Summary

Residential waste		
Council Collection Service – collection from both Grimshaw St and McDowell St		
Waste stream	No. of bins and capacity	Collection frequency
Garbage	6 x 120L	Once weekly
Co-mingled Recycling	6 x 240L	Alternate Fortnight
Cardboard and paper	Residents to place large cardboard items direct into co-mingled recycling bins	See above
Organic Food Waste	na	na
Green Garden waste	6 x 120L	Alternate fortnight
Hardwaste	As often as required to maintain space	
E-waste	As often as required to maintain bin	

NOTE: the approved Waste Management Plan (WMP) will be the model to be adopted for this development. Detailed design and as-built installation must incorporate the design proposed and approved under this WMP. Any revisions of the WMP or changes to the approved waste system of the development require Council approval and may require a re-submitted Waste Management Plan.

More detail is contained within this report.

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## 1 Waste Management

A waste management analysis has been undertaken based on the:

- Sustainability Victoria Better Practice Guide for Waste Management and Recycling in Multi-Unit Developments 2018;
- Banuyle Council planning scheme clauses 11.06-6,19.03-5 addressing Standard D23; and

The purpose of this report is to document a Waste Management Plan for the above project, as required by Town Planning permit conditions. The report is based on TPA01-03 supplied by the Client.

## 2 Proposed Collection Solution

### 2.1 Residential

<b>Break up of units</b>	3 x 3 bed townhouse 3 x 2 bed townhouses
<b>Collection Type</b>	Council collection service to collect all Waste Streams
<b>Collection Location</b>	From the Kerbside on Grimshaw and MacDowell Street
<b>Bin Store Location</b>	TH1-TH5 - Within individual townhouse garages TH6 - Within individual townhouse yards

	Garbage Waste Streams	Recycling Waste Streams
Council residential waste allowances	Garbage – 120L per tenement per week.	Recycling – 240L per tenement per fortnight.
Estimated volume of weekly garbage and recycling per bed	120L per townhouse per week.	240L per townhouse per fortnight.
*(based on the rule of thumb on p14 of the Best Practice Guidelines and confirmed with council).		
Total estimated weekly waste volume	6 x 120L = 840L 720L of Garbage per week	6 x 240 = 1680L 1440L of Co-mingled Recycling per fortnight
<b>Proposed bins and collection frequency including diverted waste streams:</b>	6 x 120L garbage (landfill) bins collected weekly	6 x 240L Co-mingled recycling bins collected fortnightly
Council collection options	Council collection allowance per habitable property per week: 1 x 120L garbage 1 x 240L recycling 1 x 120L green waste	6 x 120L Green Waste bins collected fortnightly

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### 3 Additional information

#### 3.1 General Waste Considerations

- Utilizing the Council collection is the preferred option for future residents as the cost is included in the council rates.
- Space for the collection, separation and storage of waste and recyclables should be provided, including where appropriate opportunities for on-site management of food waste through composting or other waste recovery as appropriate.
- Collection, storage and reuse of garden waste, including opportunities for on-site treatment, where appropriate, or off-site removal for reprocessing.
- Townhouse residents are responsible for placing bins in the designated collection location on the morning of the allocated collection day. Bins are to be returned on the same day of collection.
- Council recycling collections are fortnightly. This is to be collected on alternating fortnights with green waste collections.
- Council uses an automated mechanical side arm service ie requires 300mm between bins (bins occupy 1m space per bin).
- With a 16m street frontage along Grimshaw Street and a 36m street frontage along McDowell St, a road side collection is currently a viable option with the requirement for 300mm-500mm spacing between bins. Street collection currently occurs along Grimshaw St and McDowell St for the other adjoining residential properties.

#### 3.2 Green Garden Waste

- Council has a green waste collection. This is to be collected on alternating fortnights with recycling collections.
- A private maintenance contractor will be responsible for removing any green waste from common areas and can also by arrangement, remove green waste from private spaces.

#### 3.3 Hard waste collection

- Council provides an "On call" hard waste collection service, allowing households to book two collections per financial year. <http://www.banyule.vic.gov.au>
- Hard waste is to be stored in each individual townhouse garage.
- Residents can utilize the Council hard waste collection service.
- Alternatively, a private collection service can be engaged for hard waste items as required, or items can be taken to the local waste recovery centre run by councils
  - Banyule Waste Recovery Centre

#### 3.4 Organics (food) waste collection

- Per the Sustainability Victoria Waste Management Better Practice Guidelines where councils offer food organic collection services, these should be incorporated into the waste system.

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161 Grimshaw Street, Greensborough VIC 3088

to reduce garbage and landfill rates for all developments. It is expected that organics collection will become standard practice amongst all councils over the next 1-3 years, so the option for separate organics collection should be included where space allows. As a formula for allowing for space, reduce garbage volumes by 40% (representing the typical volume of garbage that is food waste) and use this 40% for calculation of how many food organics bins will be required.

### 3.5 E-Waste (electronic waste) Recycling

- As of 1st July 2019, there is a ban on e-waste to landfill in Victoria. Any item with a plug, battery or cord can no longer be placed in kerbside bins and instead must be deposited at a designated e-waste drop-off point. Electronic waste includes old mobile phones, computers, audio devices, refrigerators and other white goods, hair dryers, TVs, heaters, and air-conditioners.
- A 240L bin is to be included in every multi-dwelling development for the collection of electronic waste, for correct disposal as arranged by the owner's corporation.
- Authorised electrical waste disposal locations can be found at <https://recyclingnearyou.com.au/electrical>. More details can also be found at <https://www.sustainability.vic.gov.au/Campaigns/eWaste/Where-do-I-take-ewaste>

### 3.6 Miscellaneous recycling containers

- Container(s) with drawers or number of small stackable plastic crates minimum footprint 500x500mm are to be supplied to house recyclables such as:
  - batteries
  - light globes
  - printer cartridges
  - clothes.

These items are to be recycled periodically as arranged by an interested tenant or the Owners Corporation eg by the maintenance or gardening contractor.

Note in addition to Council recycling hubs and the e-waste links to over 1000 locations state-wide, Officeworks provide recycling drop-off points for printer cartridges, old IT equipment, and mobile phones.

## 4 Allowance for different rates of waste generation

- Should the garbage allowance be exceeded, the first action should be to encourage the tenants to reduce their garbage and recycle more.
- Garbage volumes can also be reduced if food waste and soft plastics are directed to recycling streams (see below).
- Should recycling be exceeded while garbage is not exceeded then residents should be reminded to crush and flatten all cardboard boxes and place them in the recycling bin(s). If this occurs effectively and there is still an issue it may be appropriate to swap a garbage bin for a recycling bin.
- A waste audit can be undertaken to understand the content of the waste bins and provide images and feedback to clients of good or poor recycling practices.

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## 5 Design inclusions

The WMP approved under this permit must be implemented and complied with at all times to the satisfaction of the Responsible Authority. No alterations to the WMP may occur without the written consent from the Responsible Authority.

### 5.1 Litter spread

- Litter spread is to be managed by ensuring garbage and recycling bins are not overloaded, and lids are always closed.
- Bins can be placed out the night before collection. Bins must be returned to the bin store(s) on the same day as collection.

### 5.2 Traffic Management

**Traffic management** along Grimshaw St and McDowell will not be an issue with the quick emptying times with waste from only 6 bins being collected at any one time. The collection zone is also an appropriate distance from the intersection.

### 5.3 Noise Management

Minimizing noise associated with waste collections include:

- Collections occurring during the below stipulated collection times restricts the hours of noise from collections.
- Compaction of waste should only be carried out whilst waste vehicles are on the move.

### 5.4 Odour reduction

Odour from waste primarily emanates from bin store areas. Control of odour must occur in the bin store area with the provision of suitable natural or mechanical ventilation. If installed the mechanical ventilation system for the bin storage area must not cause a public health nuisance (noise and odour generation) and comply with EPA requirements and in accordance with the ventilation requirements of the Building Code of Australia and AS 1668.2.

- In this case, bins are stored privately within each townhouse. It is each resident's responsibility to ensure bins are maintained.

### 5.5 Bin store design

Bin Store Design must include the following:

- A layout that allows access to all of the bins with adequate size to allow easy movement/transfer of the required number of bins. There is to be convenient access by residents and made easily accessible to people with limited mobility.
- All screening should be suitably designed for durability and to blend in with the development.

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- Space suitable for bin wash down is to be available in the development. If this is the bin store then the floor is to be graded to a waste outlet with a litter trap. Alternately, a private contractor can be arranged to swap dirty bins ofr clean ones on a regular basis.
- A water tap and hose installed in or near the bin wash areas and correct drainage to sewer (never direct waste to storm water drains) and should be designed in accordance with the relevant EPA Bunding Guidelines. Drains to the sewer to be located undercover to prevent rainwater infiltration.
- Adequate doorway width to allow the easy access of bins and larger hard waste
- Bin stores must be vermin proof - particularly where food waste is included. Consider using baits for vermin control and maintained as an ongoing requirement.
- Adequate lighting
- Meter boxes should not be included in bin stores due to the need to regularly wash bin stores out.

### 5.6 Collection Times

**Collection times - Domestic waste** – bin collection shall be in accordance with EPA and Council guidelines and shall be completed at times of least interference / inconvenience to the local amenity and traffic conditions. The EPA Noise Control Guidelines Publication 1254 it states:

- Collections occurring once a week are to be restricted to the hours 6 am — 6 pm Monday to Saturday
- Collections occurring more than once a week are to be restricted to the hours 7 am — 6 pm Monday to Saturday

### 5.7 Internal waste Management

- General landfill garbage shall be placed in plastic bags before placement into bins
- Recycling materials are not to be bagged and but are to be placed loosely into the recycling bins. (Items in plastic bags in recycling bins are not recycled). Recyclable items in domestic bin collections include:
  - Rigid plastic containers
  - Paper, cardboard
  - Glass bottles and jars
  - Steel cans, aluminium cans and aluminium foil are among items that can be recycled.
- But exclude:
  - Plastic bags
  - Garden hoses
  - Rope (ropes and garden hoses can wrap around and damage equipment in the recycling plant).
- To improve recycling:
  - Empty containers and bottles of any leftover food or liquid. Ideally rinse them out.
  - Remove lids before placing them in the recycling bin.

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- All waste bins are not to be placed out prior to 24 hours before the collection and to be returned to the storage area within 24 hours of collection.
- **Screening of bins** – All bins are stored within the development and not visible from the street.
- **Mobile Garbage Bins (MGB's)** implemented in the development are to be in accordance with Council's specifications in terms of manufacture, composition & colour coding, and are to have required street address and stickers applied per normal Council practice.
- **Bin Placement:** Bins placed in the kerbside collection zone are not to be placed within 1 meter of any infrastructure and will have a height clearance of 4m.

### 5.8 Signage, education & safety

It will be the responsibility of the Owner's Corporation / Building Management to ensure all occupants have all of the material available to them and that they adhere to the required practices regarding waste management, sustainability and promoting waste minimization. All occupants are to operate and maintain safe practices in all aspects involving the waste management of the development.

- All education material will be in accordance with Council requirements or if this is not available, per signage on the following website:  
<https://www.sustainability.vic.gov.au/government/waste-management/public-place-recycling?query=signage>
- Identifying that the following **soft plastics** can be recycled at any location identified on the Redcycle website <http://www.redcycle.net.au/where-to-redcycle/> (Currently primarily Coles store locations). Quick guide to some most commonly recycled Soft Plastic items:



- **A preliminary OHS risk assessment** has been included to identify potential OHS issues, however this risk assessment does not replace the need for the building management/Owners Corporation and collection contractors to complete their own OHS assessment for the bin collection process.

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## 6 Ongoing management

The management and maintenance of the waste system will be the responsibility of townhouse residents or owner's corporation (if any). Items to be addressed in maintaining the system include:

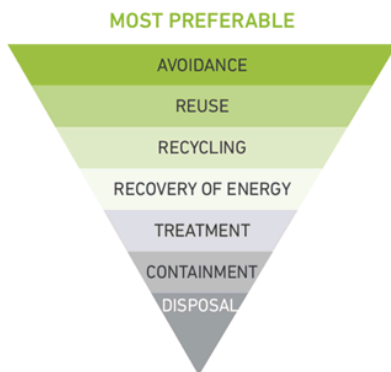
- The tenancy agreements are to outline a schedule of waste collection dates in accordance with the above parameters.
- It is the responsibility of individual residents to bring bins from individual garages/yards to the street collection location on the night before collection, and also for returning the emptied bins on the collection day.
- Management and coordination with council for hard waste collection
- Managing communal composting areas (if applicable)
- Provision of information to residents in relation to the requirements of using the system eg boxes to be flattened, containers for recycling washed, bagged recycling not permitted, bins to not be over-full etc
- Monitoring and feedback to residents if the system is not working properly. Undertake a waste audit should it be suspected waste is not being placed in the correct bins

## 7 Further Waste Reduction Measures

### 7.1 Sustainability Initiatives

Residents / Occupants are to be made aware of Sustainability Victoria's recommendations for waste reduction [www.sustainability.vic.gov.au](http://www.sustainability.vic.gov.au)

Where possible they should practice the waste reduction hierarchy identified in the Environmental Protection Act 1970;



- Local information regarding the disposal and recycling of common household items for each Council can be found at:

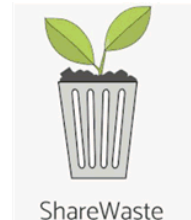
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- o <https://www.sustainability.vic.gov.au/You-and-your-home/Waste-and-recycling/Council-waste-and-recycling-services>
- o [www.recyclingnearyou.com.au](http://www.recyclingnearyou.com.au)

- **Polystyrene** is collected for recycling by various councils.
- In addition suppliers such as **Ecycle** <http://www.ecyclesolutions.net.au> will deliver whitegoods and either collect clean polystyrene from retailers or take polystyrene away after delivery.
- Unwanted bulky items, clothes and other consumables can be donated to charities, sold online or at second-hand local market places as is if in good condition. If repair is required, seek out repair community centres for re-purposing.
- Residents or tenants can register with the **Sharewaste network** [www.Sharewaste.com](http://www.Sharewaste.com) to find local residents who are happy to accept compostable food in their compost heaps. The website allows the parties to connect – the parties donating food scraps and the composters.



## 7.2 Separating Recycling

- Separation of garbage and recycling is to initially occur in each residence. For this reason, the development must include streamed waste bins (perhaps included under the sink) in each dwelling. Bin types include garbage (Landfill) waste, Recycling, Organic Food Waste, Soft Plastics.

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### 7.3 Organic food waste diversion options

- As 40% of domestic waste is from food, reducing the volume of food waste in bins, will assist residents in reducing their volume of garbage. See <http://yourenergysavings.gov.au/waste/reducing-recycling/kitchen-food-waste>
- Aerobic **green cone bio-digesters** are an option for some households including multi-unit developments to divert a larger range of food waste (including bread, dairy, meat and small bones). Refer to <https://www.treehugger.com/lawn-garden/green-cone-solar-food-digester-will-reduce-90-food-waste-your-backyard.html>
- Alternatively try the new **Subpod in-ground composting unit** [www.subpod.com](http://www.subpod.com) that composts faster, and ensures worms don't die off as they can sometimes in typical above ground worm farms.
- **Compost bins and worm farms** are great way for residents to re-use kitchen waste and turn it into compost for their garden. Many Councils provide discounted packages for worm farms, compost bins and bokashi bins with free delivery.
- **Bokashi bins** <http://www.bokashi.com.au/> are an effective way of reducing waste volumes and breaking down food waste for apartment dwellers. Food scraps are placed in bokashi bins with an accelerator mix added. The volume of waste food is reduced, and the waste in the bin is already on the path to being composted. Bokashi bins can be emptied into compost bins so providing a compost bin on site and having a garden also helps. Bokashi bins are also available from <http://www.eco-organics.com.au/about-us.htm>
- Council in partnership with community gardens may accept food waste that can be composted and used to grow food. Moreland residents can register to use a community composting hub where they can take their food waste for composting for example. Capacity may be limited so registration is often required. Partially decomposed bokashi bin contents are ideal for composting in council or community garden facilities if available.



Green cone bio-digester



Subpod in-ground compost unit



Worm farm – multiple layers of worm beds



Bokashi Bins

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## 7.4 Waste to Energy

Waste to Energy (WtE) is a process where waste is used to generate a usable form of energy from waste materials. Examples of usable forms of energy include electricity, heat and transport fuels. WtE may be more applicable to large precinct developments (or uses with greater control over waste volumes and contamination eg hospitals, universities, hotels).

Anaerobic digestion is the application most likely to be found in MUDs. Investigations are underway to explore the role of WtE technologies in Victoria's waste management system. The Energy from waste guideline (EPA publication 1559, published 19 December 2013) provides guidance on the thermal efficiency and regulatory requirements that apply to WtE facilities.

During the planning and design of MUDs, WtE may need to be considered in terms of physical design and disposal options.

## 8 Supplementary information

### 8.1 Links

Banulye Council website: <http://www.banyule.vic.gov.au>  
Waste collection companies in Victoria (examples only):

- Waste Wise Environmental [www.wastewise.com.au](http://www.wastewise.com.au) (complete basement collections)
- Kartaway <http://www.kartaway.com.au/melbourne/index.html> (incl basement collections)
- iDump Waste Management [www.idump.com.au](http://www.idump.com.au) (mini truck waste collection)
- Citywide [www.citywide.com.au](http://www.citywide.com.au)
- JJ Richards & Sons [www.jjrichards.com.au](http://www.jjrichards.com.au)
- KS Environmental – [www.ksenvironmental.com.au](http://www.ksenvironmental.com.au)
- Sita – [www.sita.com.au](http://www.sita.com.au)
- Thiess Services [www.thiess-services.com.au](http://www.thiess-services.com.au)
- Wastech [www.wastech.com.au](http://www.wastech.com.au)
- Easy Waste - <http://www.easywaste.com.au>
- <http://www.australianboxrecycling.com.au/recycling-bins.php>

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Page | 11



Waste Management Report  
161 Grimshaw Street, Greensborough VIC 3088

## Appendix 1 - Bin collection plan

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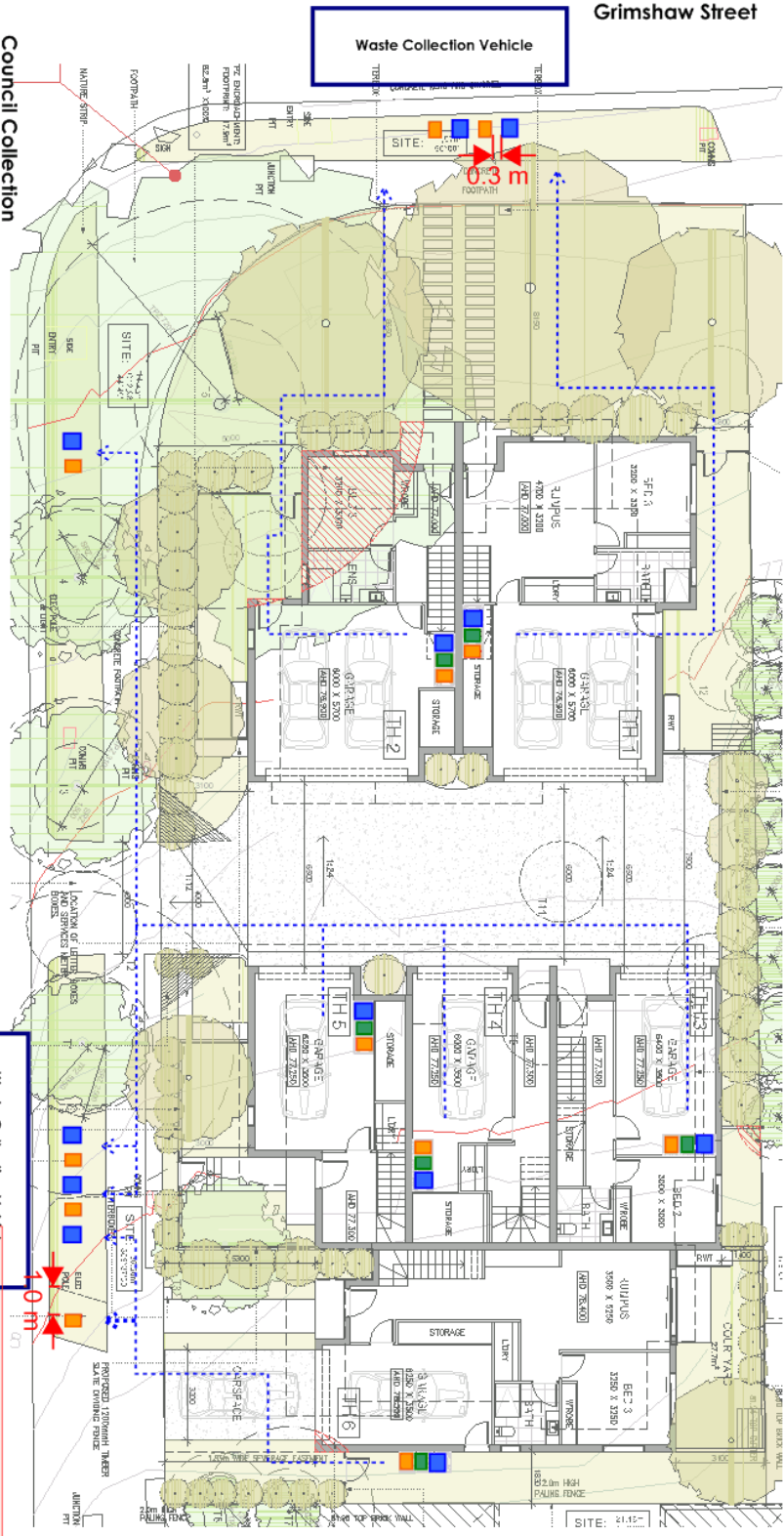
- Council Collection**
- 120L Garbage Bin  
580mm x 485mm
  - 240L Recycling Bin  
735mm x 580mm
  - 120L Green Waste Bin  
580mm x 485mm
- Collection of Green Waste to be on alternate fortnight to Recycling

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All dimensions shall be verified on site.

Project	161 GRIMSHAW STREET GREENSBOROUGH	Date	Scale	Sheet Size
Drawn	CH	Reg No.	Drawn	CH
Job No.	Revision	Job No.	Revision	Revision

**BIN STORE & COLLECTION ZONES**  
GROUND FLOOR



**Waste Collection Vehicle**  
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**APPENDIX 2**  
**Risk Assessment – Waste Collection process**  
 For proposed development at 161 Grimshaw Street, Greenborough



Activity	Steps involved in completing activity & risk	Risk level	Risk mitigating measures	Implementation responsibility
Moving of bins from bin store to collection space	Maximum distance bins to be moved approx 40m. Risk of manual handling injuries	2	Use max bin sizes of 240L  Minimise distance of travel, with the area kept free of all obstacles including loose gravel or dirt, steps, kerbs, speed bumps, berms, sills or ramps.	Building Designer / Owners Corporation
Bin loading on street	Moving bins from temporary collection space to collection vehicle parked on street. Collection may occur at the rear of the truck.  Risk of being struck by passing vehicles if step outside the line of the width of the truck	1	Bin collection operator's own safety measures incl training	Bin collection operator

**Note this assessment is for consideration during the design phase of the project. It is not to replace a risk assessment being completed by the contractor and persons undertaking the waste removal process.**

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# lid Low Impact Development Consulting



## Environmentally Sustainable Design

Sustainable Design Assessment for:  
**161 Grimshaw Street Greensborough**

Prepared for: Roy Liao  
Prepared by: FM – Low Impact Development Consulting

24/02/2020

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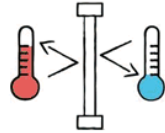
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## Development highlights



Energy efficient dwellings that meet the 6 star energy rating



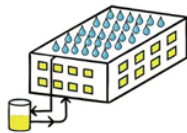
Improved energy efficiency - use of double glazed windows



Energy and water efficient heating and cooling



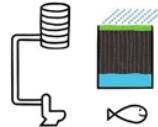
Energy efficient hot water service



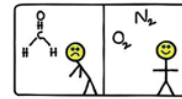
Potable (drinking) water savings – 6,000L Rainwater tank connected to toilets and irrigation



Potable (drinking) water efficient fixtures



Onsite water use and infiltration - Best Practice Stormwater treatment



Improved indoor air quality due to reduced use of off-gassing materials



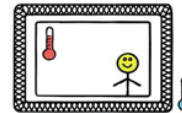
Avoidance of use of rainforest timbers



Environmentally friendly materials choices



Tap on balconies to help facilitate balcony vegetation



Well insulated building fabric and windows



Energy and water efficient appliances



Individual metering of services to each dwelling



Indoor clothes drying rails



Separate waste stream and recycling facilities

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## Quantified benefits

### Energy



Energy efficient dwellings that meet the 6 star energy rating requirements



64% reduction in Green House Gas emissions (below BCA benchmarks)



67% reduction in annual electricity consumption (below BESS benchmark)



42% reduction in annual gas consumption (below BESS benchmark)

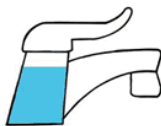


41% reduction in annual HWS energy consumption (below BESS benchmark)

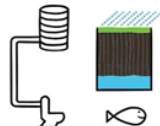


>20% less power consumed by lighting

### Water



27% reduction in potable water use



Best practice stormwater management has been achieved

### Urban ecology



39% of the site is covered by vegetation

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## Contents

Executive summary.....	i
1 Energy Efficiency .....	1
2 Indoor Environment Quality .....	5
3 Water Conservation .....	8
4 Stormwater Management .....	9
5 Material Selection .....	11
6 Location and Transport .....	14
7 Waste Management .....	16
8 Urban Ecology .....	18
9 Management, Innovation and Community Benefit .....	19
Appendix 1 - BESS Report .....	21
Appendix 2 - STORM Report .....	35
Appendix 3 - STORM Area proof .....	36
Appendix 4 - Preliminary Energy ratings.....	37
Appendix 5 - Public Transport Local Area Map .....	44

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Application No. P857/2019

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## Executive summary

### Project summary

This ESD report is for the proposed residential development of 7 townhouses at 161 Grimshaw St, Greensborough and is based on the drawing set provided by Roy Liao on the 18<sup>th</sup> of February, 2020. This report addresses the environmentally sustainable development requirements under Clause 22.05 of the City of Banyule Planning Scheme, demonstrating best practice energy performance, water efficiency, indoor environment quality, stormwater management, sustainable transport, waste management and urban ecology.

This sustainability report details measures that meet and often exceed mandatory Environmentally Sustainable Design (ESD) requirements for this type of residential development. The body of the report contains a full list of ESD initiatives to be included in the development. A summary of the major ESD initiatives committed to are included below:

- Energy
  - Energy efficient dwellings that meet 6-star requirement
  - Improved energy efficiency double glazed windows throughout the development
  - Energy efficient heating and cooling systems beyond minimum standards (within one star of best available)
  - Energy efficient hot water measures
- Water
  - On-site water use and infiltration measures to meet CSIRO Best Practice Stormwater Management (Water Sensitive Urban Design) treatment quality requirements
  - Rainwater tank(s) of size 6,000L connected to toilets in TH1, TH2, and TH6 to reduce potable water consumption
  - Potable (drinking) water saving measures including low flow toilets, showers and taps
- Indoor Environment Quality (IEQ)
  - Reduced indoor pollutants from the use of low off-gassing materials such as low VOC paints, and adhesives, and low formaldehyde products
- Sustainable materials
  - Avoidance of the use of endangered rainforest timbers in this development.
  - Use of more environmentally friendly material alternatives for concrete, insulation and other building components
- Urban ecology
  - Retention/inclusion of significant vegetation for Urban Heat Island benefits

Generally, other non-mandatory guidelines and good design principles (eg. Green Star) have also been incorporated where deemed to be relevant in respect to the scope and nature of this development. This encourages further levels of sustainability above and beyond the mandatory requirements.

The proposed development advances basic sustainability principles by increasing the potential use of the site, in line with the surrounding environmental context, reducing costs and a need to limit use of material, energy and land. The proposed development enables a more affordable and energy efficient development that is expected to last for the expected design life of this development would be in excess of 40 years.

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Mandatory guidelines and tools addressed in this report as relevant to sustainability include:

- National Construction Code (NCC) / Building Code of Australia (BCA) Volume One Section J and Volume Two part 3.12 as relevant;
- Victorian Planning Policy (VPP) and Local Planning Policy (LPP) clauses including
  - 11 Settlement
  - 12 Environmental and Landscape Values
  - 15.02 Sustainable Development
  - 15.02-1S Energy and Resource Efficiency
  - 18.02-R Sustainable Personal Transport
  - 19.01-2R Renewable Energy – Metropolitan Melbourne
  - 22.05 Environmentally Sustainable Development
  - 53.18 Stormwater Management in Urban Development
- Built Environment Sustainability Scorecard (BESS); and
- The STORM assessment.

The proposed development will address the relevant ESD requirements of the above planning scheme provisions.

### Results summary

Further to the above initiatives and in conjunction with others listed in this report, the development was assessed using the 'Built Environment Sustainability Scorecard' (BESS), obtaining a total score of **51% and passing all mandatory categories**. A score greater than 50% (including compliance under water, energy, stormwater and IEQ categories) demonstrates a Best Practice environmentally sustainable development.

### Commitment & documentation on plans

The "ESD initiatives" in each section can be included in a notes box on the plans, or the report can be referenced in a single note, such as: "The ESD report associated with these plans forms a part of the town planning submission, it is therefore required to be read in conjunction with drawings' notes and specifications, and applied accordingly."

Where applicable, also indicate on the relevant parts of the plans the water tank size and location, raingarden size and location, shading devices, the openable component of a window, air-conditioners condensers, clotheslines, bicycle racks, external materials, solar panels, hot water system type, car park CO sensor, EV charging station and other relevant readily shown items.

Abbreviations used in this report include:

- BCA – Building Code of Australia
- SDAPP – Council Sustainable Design Assessment in the Planning Process
- SDS – Sustainable Design Scorecard
- BESS – Built Environment Sustainability Scorecard

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# 1 Energy Efficiency

**Goals**

- To improve the efficient use of energy by ensuring the development demonstrates potential for ESD initiatives at the planning stage
- To reduce total operating greenhouse gas emissions
- To reduce energy peak demand through particular design measures (e.g. appropriate building orientation, shading to glazed surfaces, optimise glazing to exposed surfaces, space allocation for solar panels and external heating and cooling

**Initiatives**

Energy Rating	Current mandatory 6 star minimum energy efficiency requirements for class 1 dwellings will be met. Preliminary ratings on TH1 and TH6 indicate that this is achievable.	SDAPP – Energy efficiency / BESS tool / BCA
General insulation comments	Insulation installed in residential dwellings will meet minimum BCA requirements as appropriate to meet 6 star energy ratings.  Timber stud wall, timber floor joists and ceiling space construction will allow for good levels of insulation as required to meet the 6 star energy rating.	BCA Part 3.12 / Part J
Building sealing	Building sealing will be to BCA standards including the following or equivalent: compressible foam or similar seals provided around doorways from conditioned to non-conditioned spaces, draft protection devices along the bottom edge of external swing doors, multi-fit cable and pipe seals/adhesive membrane grommets for sealing around pipes or conduits passing through the building envelope, and exhaust fans will have self-closing dampers fitted. Building sealing prevents un-intended heat gain or heat loss.	Part J
	No power data points etc. will be installed on external walls where insulation removal for electrical safety would compromise the external wall envelope. Alternatively, if installed, acoustic fire rated wall boxes will be installed behind these power and data points.	Additional sustainability practice
	Insulation between all windows and wall frames behind architraves will be inspected during an additional inspection by the building surveyor and confirmed before internal plaster is fitted.	Additional sustainability practice

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Hot water supply	The hot water supply for residences will be from gas instantaneous units (minimum 6 stars energy efficiency), or energy efficient heat pumps.  A solar hot water system will be installed on townhouses 3-5.	SDAPP - Energy efficiency / BESS tool
Heating and cooling	Heating and cooling will be efficient inverter reverse cycle air-conditioners and selected to be within 1 star of the best available system on the market of relevant size/capacity.	SDAPP - Energy efficiency / BESS tool
Windows	Windows will be aluminium single or double glazing as required to meet energy efficiency ratings/performance.  Habitable room windows will be double glazed to meet BESS IEQ 3.1 Thermal comfort requirements.  For more details on windows see IEQ natural ventilation in this report.	NCC-BCA Section J, NatHERS
Flyscreens	All sliding doors and windows will have the capacity to simply retro-fit fly screens.	Additional sustainability practice
Natural ventilation	Where provided, one window or sliding door included on each elevation to each room will be openable to provide natural ventilation and reduce the need for mechanical cooling. The openable component is to be shown on the plans.	Additional sustainability practice
Lighting in dwellings	Lighting density in dwellings will be reduced to at least 20% below the maximum allowed by the BCA 2016 (e.g. 4W/m2 rather than 5W/m2).  Good LED downlights at 13W now provide better lighting output than 50W halogens so generally make this target easy to achieve.	BCA Part J6 – Additional sustainability practice
Downlights	If installed on upper levels, downlights will be LED IC rated (insulation contact) type, running cooler and more efficiently than halogen type and allowing for insulation to be directly installed over the downlight fitting itself (as per manufacturer's instructions). This will reduce the heat losses and gains through gaps in ceiling insulations. IC rated products are available at comparative prices to non-IC rated LED downlights.	Green Star
External lighting	External lighting to paths and driveways/carparks will have a daylight sensor and either motion sensors installed.	BCA Part J6
Clothes drying facilities	A private outdoors clothesline will be provided for in the POS area of each dwelling. Where this is not suitable, indoor clothes drying rails will be	BESS tool

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	incorporated in the laundries in each dwelling to remove the need for electric dryers. These rails will operate much like a wardrobe rail that allows clothes to be hung on shirt hangers above the laundry tub.	
Energy and water efficient dishwashers	Where installed dishwashers will be minimum 4.0 star energy and 4.0 star water or 3.5 star energy and 4.5 star water.	Green Star
Individual metering of services	Electricity will be individually metered for each dwelling, ensuring energy saving behaviour is rewarded.	Additional sustainability practice
Embedded energy network capable	The electricity supply will be set up to accommodate an embedded network (Micro grid) if renewable PV panels are included at a later date.  An embedded network requires the following infrastructure: <ol style="list-style-type: none"> <li>1. Each dwelling or tenancy to have a smart meter (now mandatory in Victoria), and</li> <li>2. The Smart meters must be installed behind the main meter – ie on the tenants side of the main meter, not the supply side of the main meter.</li> </ol> The installation of an embedded network will be a similar cost to the developer as a standard network but will provide substantial marketing benefits for developers.	Additional sustainability practice
Energy efficient cooking	Kitchen cooktops will be lower greenhouse generating gas or induction type rather than electric coil or ceramic top electric.	Additional sustainability practice

**Additional Details**

Preview energy ratings

The energy efficiency rating of a development is directly affected by the passive solar design characteristics of dwellings which include the orientation of the residences, windows, window sizes, shading of windows; and also the levels of insulation, window type selected (i.e. single or double glazing with standard or insulated frames) and thermal mass levels within the space. These elements will be combined in such a way to ensure the residences achieve the required 6 star energy efficiency.

The energy rating performance of a dwelling has a very significant impact on the amount of heating and cooling required to keep a dwelling at the desired comfort level.

A sample of 2 dwellings (1 and 6 – see Appendices) indicates that the 6 Star minimum rating is achievable in this development. The dwellings were selected to provide a representation of similar dwellings.

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Heating and cooling BESS Energy Efficiency category requires heating and cooling system efficiency to be of the best 15% of available products within a certain size range, or within 1 star of the best available relevant system.

Air-conditioners will be reviewed against the following government website to confirm their performance prior to specification.

[https://reg.energyrating.gov.au/comparator/product\\_types/64/search/](https://reg.energyrating.gov.au/comparator/product_types/64/search/)

The air conditioners specified will use a zero ozone depleting potential (ODP) refrigerant, such as R410a, R407C or R134a.

Downlights Previously, downlights were installed with clearances around the fitting leaving gaps in the ceiling insulation. This created a point undesirable for heat losses and gains to occur. By installing IC rated downlights, the insulation can be installed without interruption over the downlight.

Example stockists include:

- **Beacon Lighting Commercial** (Victorian head office: 8415 0277 or visit <http://www.beaconlightingcommercial.com.au/lighting/lighting-tips-1/ic-rating.html>). LEDlux models City, Comparda, Element, Infinity and Tone models are IC rated.
- **Rexel Electrical** (Melbourne CBD store: 9670 5522). Atom lighting models AT9012, AT9015, AT9016, AT9020, AT9021, AT9022, AT9027 are IC rated. For technical information, contact Atom lighting head office on (07) 5537 1022
- **Cetnaj** (South Melbourne Store: 8632 3100). SAL Sunny Australia Lighting: The Ecogem S9041 model is IC rated and able to be covered by insulation.
- **Bunnings** (Victorian head office: 8831 9777 or visit [www.bunnings.com.au](http://www.bunnings.com.au)). Select Deta LED Downlights rated as IC abutted and covered.

Embedded networks /micro-grid The previous issue with embedded networks was regulations restricted their use, but this has been resolved after AEMO implemented the 'Power of Choice' program and created a new role called 'Embedded Network Manager'.

As of December 2017, a consumer within an embedded network can choose to buy from any retailer of their choice and the ENM's role is to facilitate this.

Micro grids are now viable for new apartment, townhouse or subdivision developments, however, benefits can be greater where developments include commercial buildings in order to have a mix of consumption times.

The cost of an embedded network is comparable to a conventional setup when installed at new built stage, however, significant benefits for the future occupants and hence increased sale value to the project owner.

There are few accredited ENMs worth contacting for more detailed answers

[https://www.aemo.com.au/-/media/Files/Electricity/NEM/Retail\\_and\\_Metering/Accreditation/Accredited-Embedded-Network-Managers-National-Electricity-Market.pdf](https://www.aemo.com.au/-/media/Files/Electricity/NEM/Retail_and_Metering/Accreditation/Accredited-Embedded-Network-Managers-National-Electricity-Market.pdf)

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## 2 Indoor Environment Quality

### Background

Access to daylight and sunshine is advantageous to the wellbeing of humans.

Many paints, adhesives, sealants and flooring types contain Volatile Organic Compounds (VOCs) which are released into the air in our homes. Joinery has, over the last 30 years, contained high levels of formaldehyde. VOCs and formaldehyde are recognised as potentially harmful to humans as well as contributors to atmospheric pollution.

### Goals

- To achieve a healthy indoor environment quality for the wellbeing of building occupants, including the provision of fresh air intake, cross ventilation and natural daylight.
- To achieve thermal comfort levels with minimised need for mechanical heating, ventilation and cooling.
- To reduce indoor air pollutants by encouraging use of materials with low toxic chemicals levels.
- To minimise noise levels and noise transfer within and between buildings and associated external areas.

### Initiatives

Natural ventilation	Dwelling windows will meet or exceed BCA minimum 5% room area allowance. The operable component of is to be shown on the plans.	BCA requirement
	All dwelling windows will include an operable component.	Additional sustainability practice
	There are no habitable rooms with borrowed ventilation.	SDAPP - IEQ
	All ground and first floor operable windows will incorporate or have locks fitted to allow windows to be locked open at night safely allowing overnight ventilation.	Additional sustainability practice
	Hinged doors to habitable rooms will have mechanical or magnetic door catches, enabling natural (cross)ventilation between rooms.	BESS tool
Daylight	Glazing levels will meet the BCA minimum 10% room allowance in all habitable rooms.	NCC-BCA Section 3.8.4
	There are no saddleback/battle-axe applications included in this development that would prevent daylight getting to half of a room.	Additional sustainability practice
	Light coloured walls internally will help to maximise daylight levels.	Additional sustainability practice

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Glare (external sources)	Internal blinds will be installed to manage glare rather than rely on tinted glass.	Green Star - Visual Comfort
Glare (internal sources)	All bare light sources will be managed with baffles, louvres, translucent diffusers, ceiling design or other means that obscures the direct light source from all viewing angles of occupants.	Green Star
Localised Lighting control	Sufficient lighting control (on/off and dimmers) and/or power outlets will be provided for future task lights around kitchens (e.g. bench space where food is prepared), bathrooms, predicted furniture layouts, and service areas.	Green Star
Lighting Comfort	Lights installed in the development will be flicker-free.	Green Star
Low VOC products	Paints and adhesives are required to be low VOC types or water based. Contractors are required to provide evidence of these.	Green Star / BESS tool
Low formaldehyde products	Engineered wood products (including MDF, particleboard and plywood) will be Class E1 formaldehyde or better. Formaldehyde is used in the production of resins that act as glues for engineered wood products and is a colourless gas with a strong odour. Exposure to formaldehyde can cause irritation in the eyes, nose and throat with various authorities recommend E1 as a maximum emissions class.	Green Star
Green painters quote	A quote will be obtained from accredited green painters on this job - sourced from <a href="http://www.greenpainters.com.au">www.greenpainters.com.au</a>	Additional sustainability practice

**Additional details**

Ventilation paths Suppliers of mechanical or magnetic door latch stops that can keep doors open include: Gainsborough, Architect and Scope and Bellvue Imports.

Low VOC Volatile Organic Compounds is the term used to describe several hundred petrochemical solvent type compounds found in paints, adhesives, sealants carpets, reconstituted wood products, and new furniture. Newer buildings generally have higher concentrations of these VOC's that contribute to headaches, etc in occupants.

Low VOC product details:

**Low VOC paints, adhesives and sealants** - the VOC content of paints, adhesives and sealants will not exceed the levels listed in the table below (VOC limits are less water and exempt compounds) than Green Star Design and As Built v1.1 guidelines and products and sealants are readily available on the market.

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minimise the price premium. Mapei adhesives offer a full low VOC adhesives range.

Product category	Maximum VOC content (g/litre)
General purpose adhesives and sealants	50
Interior wall and ceiling paint, all sheen levels	16
Trim, varnishes and wood stains	75
Primers, sealers and prep coats	65
One and two pack performance coatings for floors	140
Acoustic sealants, architectural sealant, waterproofing membrane and sealant, fire retardant sealant and adhesives	250
Structural glazing adhesive, wood flooring and laminate adhesive and sealants	100

Low VOC paints are readily available at all suppliers:

- Wattyl ID Eco System Low VOC
- Haymes - [www.haymespaint.com.au](http://www.haymespaint.com.au)
- Porters Paints - [www.porterspains.com](http://www.porterspains.com)
- Bio Products Aust - [www.bioproducts.com.au](http://www.bioproducts.com.au)
- Ecolor - [www.ecolour.com.au](http://www.ecolour.com.au)
- Livos - [www.livos.com.au](http://www.livos.com.au)
- Murobond - [www.murobond.com.au](http://www.murobond.com.au)
- Oikos non toxic Paints - [www.designerpaintco.com](http://www.designerpaintco.com)
- The Natural Paint Company - [www.naturalpaint.com.au](http://www.naturalpaint.com.au)

Low formaldehyde products

Reduced formaldehyde emissions in engineered wood products are classed as below:

Class	Limits (mg/L)
Super E0	Less than or equal to 0.3
E0	Less than or equal to 0.5
E1	Less than or equal to 1.0
E2	Less than or equal to 2.0
E3	Greater than 2.0

Companies offering low formaldehyde products include:

- Polytec offers E1 and E0.
- Nikpol offers E1, E0 and Super E0 for select products.
- Austral Plywood E1, E0 and Super E0 for select products.
- Laminex Australia offer E1, E0, Super E0 and no added formaldehyde for select products.

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### 3 Water Conservation

**Background**

As populations increase and global warming contributes to fast climate change, the access to clean potable water will become more of an issue to Australians and the world. Inefficient use of water can lead to the destruction of habitat for dams, over-use of artesian water supplies creating a rising water table or intensive energy use for desalination plants.

**Goals**

- To ensure the efficient use of water.
- To reduce total operating potable water use.
- To encourage the collection and re-use of stormwater
- To encourage the appropriate use of alternative water sources.
- To minimise associated water costs.

**Initiatives**

Water efficient fixtures, fittings and appliances	Water efficient fixtures, fittings and appliances have been selected in line with the following WELS ratings: <ul style="list-style-type: none"> <li>• 3 star shower (6-7.5L/min)</li> <li>• 4 star toilets</li> <li>• 5 star bathroom taps</li> <li>• 6 star kitchen taps</li> <li>• 4.0 star dishwasher</li> </ul>	BESS, Green Star
Rainwater collection and use	Rainwater collection and use will involve the installation of a rainwater tank(s) of minimum 6,000L capacity, 2000L for each townhouse for townhouses 1, 2 & 6, collecting water from all roof areas and supplying it to all toilets in the development.	STORM, BESS tool, Green Star
Accessibility of pumps	Water pumps and manual over-ride switches will be readily accessible for access in the event of malfunction.	Additional sustainability practice
Individual metering of water	Water will be individually metered for each dwelling, ensuring water saving behaviour is rewarded.	SDAPP – Water efficiency, BESS tool

**Additional details**

Water efficient fixtures & fittings

All fittings to be specified are based on recommendations from [www.savewater.com.au](http://www.savewater.com.au) or from the product search on the following site [www.waterrating.gov.au](http://www.waterrating.gov.au) and will be amongst the most efficient available for the sale purpose of ensuring its consideration and review as part of a planning process under the Planning Environment Act 1987. To reduce this to 7.5-9 litres per minute with a 3 star shower head is a significant improvement.

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Further water efficient appliances will be determined from sources such as the following web site <http://www.waterrating.gov.au>.

## 4 Stormwater Management

### Background

Pollutants that build up on impervious surfaces get washed into the stormwater system and end up in local waterways. Water Sensitive Urban Design is now a major goal of urban development to prevent this occurring.

The quality of water leaving a site (and peak and total stormwater run-off volumes) can be improved by collection of water in water tanks, natural infiltration through gardens and lawns into the soils, and minimisation of impervious pavements or the shedding of water from impervious surfaces into garden beds that have particularly good infiltration into the ground – known as infiltration beds. The following measures have been adopted to ensure these concerns are addressed.

### Goals

- To reduce the impact of stormwater run-off
- To improve the quality of stormwater run-off
- To achieve best practice stormwater quality outcomes
- To incorporate the use of water sensitive urban design, including stormwater re-use

### Initiatives

Best Practice Stormwater treatment	<p>The following is proposed to achieve 100% of Melbourne Water STORM calculator Best Practice Stormwater treatment goals:</p> <ul style="list-style-type: none"> <li>• Rainwater shed from the roof areas of townhouse 1, 2 and 6 will be collected in rainwater tanks of 2,000L capacity each (6,000L combined capacity).</li> <li>• Rainwater tanks will be connected to all toilets within townhouses 1, 2 and 6, serving all toilets for flushing purposes.</li> <li>• Rainwater shed from the roof areas of townhouses 3, 4 and 5 will be treated by a 3.6m<sup>2</sup> raingarden. Should multiple raingardens be specified (with a total area of 3.6m<sup>2</sup>), the size of each individual raingarden will be proportionate to the impervious area being treated.</li> <li>• Leaf diverting rain heads and first flush diverters will be included upstream of the tank to divert the initial sediment flow when rain events occur from entering the tank.</li> <li>• As balconies can gather more pollutants, a better filtration system and maintenance may be required for storing collected water in the water tank.</li> </ul>	STORM, Planning scheme clause 55.07-7 / 58.03-8
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	<ul style="list-style-type: none"> <li>The front landscaping areas will be permeable, allowing direct ground infiltration. As such, these have been excluded from effective impervious areas.</li> <li>See appendices for STORM Areas proof.</li> </ul>	
--	---	--

**Additional details**

Water sensitive urban design - rainwater tanks

The proposed rainwater tank collection system provides benefits of reducing the peak and total stormwater run-off when it rains. Since the water tanks are connected to all of the toilets, the tank water volumes are run down regularly.

This leaves spare capacity to collect new rainfall water and hence reduces the level of rain from the roofs going down the drains. In addition, the pollutants leaving the site to the stormwater system (and hence local creeks) is reduced, by water collected off the roofs, going via the toilets into the sewer system rather than stormwater system as would otherwise have been the case.

The final design of the Stormwater system will meet council drainage engineers' requirements. The designed system complies with Melbourne Water STORM requirements ie meets Victorian Best Practice Stormwater guidelines – see appendix 2.

Collecting rainwater from terrace & balconies

When collecting rainwater from rooftop terraces, rainwater can be exposed to significantly more litter and pollutants than most roofs. Thus, the appropriate filters must be used to remove both coarse and fine sediment; to avoid causing damage to the pump, and to reduce odours and discoloration before the water is re-used within toilets. It is recommended that multiple filters be employed in series, as demonstrated below:

- Pleated Filter - Used for the removal of large particle sediment
- Sediment Filter (20 micron) - Used to remove fine particle sediment (approx. 40 microns is the visible limit of the naked human eye).
- Carbon Filter - Used to remove taste, odour & discolouration

It should be noted that the actual filters incorporated within the rainwater collection & reuse system will depend on several factors, such as the system configuration, pump type & size. The final filter specification will be confirmed during the detailed design process.

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## 5 Material Selection

### Background

Careful selection of construction materials can help to limit the environmental impacts of the production, transport and incorporation of these materials in our buildings. In many cases there are similarly performing, comparable but more environmentally friendly product selection options available.

### Goals

The goals in environmentally sustainable construction material selection should be to:

- Limit the use of new materials where possible - to help minimise the detrimental outcomes of product manufacture or modification
- Select durable materials and re-use materials where possible – increase the lifespan of all products.
- To minimise the environmental impacts materials used by encouraging the use of materials with a favourable lifecycle assessment based on the fate of materials, their recycling / reuse potential, their embodied energy, their biodiversity, human health, and environmental toxicity impacts.

### Initiatives

Supplementary Cement materials SCMs	20-35% partial cement replacement (Geopolymer - Supplementary cement materials - slag and/or flyash) will be incorporated in on-site on-ground poured structural and paving concrete mixes where vehicles will not be regularly driving over the concrete subject to structural engineers approval.  These concrete mixes have a complying strength, are a similar price and use a reduced amount of high greenhouse gas producing Portland cement when compared with standard cement mixes. They also incorporate the recycling of industrial waste products such as fly ash and slag and reduce the amount of raw resources required to produce the end product.	Green Star
Sustainable timbers	No unsustainable rainforest timbers will be incorporated i.e. no Oregon, Western Red Cedar, Meranti, Merbau, Teak or Luan.	Green Star
Accredited plantations	All framing timber will be from accredited plantations - either FSC or PEFC/AFS.	Green Star
Glasswool insulation	Where glasswool insulation is to be used in a product with greater than 50% recycled glass and without the use of formaldehyde as a binder (such as Earthwool or Green Tag certified CSR Bradford Gold batts) will be used.	Green Star

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Polyester insulation	Where polyester insulation is to be used, products with recycled content will be specified. Polyester insulation is also readily re-useable and if clean is recyclable.	Additional sustainability practice
Carpet underlay	Where carpet is installed, underlay with recycled content will be used under carpets  Alternatively, a carpet underlay that is third party GECA certified will be used (e.g. Cloudwalk carpet cushion range).	Additional sustainability practice
Bamboo or recycled timber flooring	Where floorboards are to be installed, bamboo or recycled timber flooring will be used instead of other varieties of new timber (where specified).  Bamboo flooring is cheaper than hardwood and engineered hardwood floors, more durable and can come without visible knots. More details are provided below.	Additional sustainability practice

**Additional details**

Partial cement replacement in concrete

Cement production is the single biggest industrial producer of greenhouse gas generating emissions. Cement production causes 8% of global emissions – more than the global car feet. *(From page7 of the BZE Rethinking Cement report which references International Energy Agency 2015. Various data sources <http://www.iea.org/statistics/>).*

The industry standard cement type has been Portland cement, for which the raw material is limestone. The first stage of cement making is to transform limestone (calcium carbonate - CaCO<sub>3</sub>) into lime (CaO), thus releasing carbon dioxide (CO<sub>2</sub>) a Greenhouse Gas as a waste product. This single process accounts for about half of the carbon emissions associated with cement making, and therefore around 4% of the world's total emissions. The rest comes from the heat required to drive the production processes and the energy to grind and transport material.

Suppliers of geopolymers – Supplementary Cementitious Materials cement:

- **Hansen Concrete** – common mixes include 30-50% fly ash/slag component. Contact Bob Aldersy ph 03 9274 3700 or Kevin Skilling on 9570 3244 for details. Ask for the Green Star mix. Dave Miller is the rep 0418 548 321.
- **Boral Concrete** - product is Envirocrete. Ph 13 3006 rep is Tania Neil 0401 892 027.
- **Barro Concrete** - triple blend mix is the fly ash/slag/cement mix - generally has 20-35% fly ash and/or slag. Contact Tom Kovaks ph9646 5520 - Technical Manager here are the only suppliers. Rep is Piero 0438 181 681.

Polyester insulation

Polyester insulation is recyclable and generally contains 80% recycled PET bottles. Polyester batts can readily be re-used without handling issues from the fibreglass, and do not disintegrate when wet.

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Some companies (e.g. Polyester Solutions) will take back clean insulation for recycling at end of life. Batts must not contain metal or other contaminants. Recycling closes the loop for a circular product lifecycle – the ideal sustainability outcome.

Carpet underlay Carpet underlay with significant recycled content (per above) or other environmental benefits will be used.

Suggested recycled underlay products include:

- **Dunlop flooring** - <http://www.dunlopflooring.com.au/sustainability/recycle-by-dunlop.asp>
- **Airstep carpet underlay** - <http://www.airstep.com.au/environmental-overview/recycling/>
- **Cloudwalk carpet cushion** - <http://cloudwalk.com.au/product-category/carpet-cushion/>

The Cloudwalk carpet cushion range of underlay is third party GECA certified – it has very low VOC emissions avoids toxic or hazardous chemicals in the manufacturing and the underlays are fully recyclable if the user drops them off at Cloudwalk (TBC if collections also occur in Victoria). Their manufacturing processes are also ISO9001 Quality Management System and ISO14001 Environmental Management System certified.

Bamboo products Stains used over bamboo products can impact on the final colour. Water based stains retain the natural bamboo colour. Oil based stains provide a golden appearance to natural bamboo or can darken the colour.

Bamboo is a fast-growing grass which can be harvested every 5 years compared to 20 years for a Tasmanian Oak tree to reach full maturity. It grows as a hollow ring which allows the segments to be cut out and squared up to form 25mm wide flat pieces. Due to its speed of generation it is generally considered a more sustainable option than slower growing and a more land intensive resource such as timber.

Bamboo sheets (12.7mm thick is appropriate) are suitable for wall cladding or ceiling cladding. Thicker bamboo sheets up to 40mm are available for joinery carcasses and benchtops. Contact Leto Bamboo [www.letobamboo.com](http://www.letobamboo.com) for further technical advice.

Bamboo floorboards are available with low VOC glues (emissions rated E0 or E1) and will be used as an alternative to hardwood and engineered hardwood floors. Bamboo flooring is cheaper than both these types of flooring and has superior strength and durability, although it is more expensive than faux timber appearance laminate flooring.

The most common type of bamboo flooring available is strand woven which provides a product with less visible knots.

Retail suppliers include:

- Carpet court (South Melbourne: 7879 1066)  
<http://www.carpetcourt.com.au/brands/letobamboo/>

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- Flooring Xtra (Collingwood: 9486 0404)  
<http://www.flooringextra.com.au/shop/hard-flooring/c162>
- Melbourne floors (Head office: 1300 138 380, Richmond Store: 9428 8900) <http://www.melbournefloors.com>
- Harvey Norman (Chadstone: 9567 6666, ask for flooring department) <http://www.harveynorman.com.au/carpet-flooring-rugs/flooring/bamboo-flooring>
- Timber Flooring Clearance Centre (Springvale: 9546 9076)  
<https://www.timberflooringclearance.com.au/bamboo-flooring.html>

## 6 Location and Transport

### Goals

- To ensure that the built environment is designed to promote the use of walking, cycling and public transport in that order.
- To minimise car dependency
- To promote the use of low emission vehicle technologies and supporting infrastructure

### Location

The location of this development meets urban consolidation goals as set out in government policy documents. The development is relatively close to public transport and facilities.

The location achieves a **Walk Score** of 89 which is considered very walkable.

### Initiatives

Green travel plan	The Local Area Map in appendices will be displayed in the foyer of the development along with a notification reminder that the Google Maps bicycling filter indicates where off road bike trails well as dedicated bike lanes are located.	Green travel plan
Bicycle paths	The development is located approximately 600m from the Greensborough bypass Path, allowing transport throughout Greensborough.	Additional sustainability practice
Bicycle parking	As a residential development of less than four storeys, there is no formal planning scheme requirement for bicycle parking.  Residents can securely store bicycles within their garage. The proposed residential development meets BESS transport guidelines by providing formal bicycle parking space in each dwelling garage (eg. 1 wall mounted bicycle rack).	Planning Scheme clause 52.34 / SDAPP – Transport / BESS
Local public transport information packs	Relevant local train, tram and bus timetables will be included in the Building Users Guide provided. Also included will be brief details of the Melbourne myki public transport payment card	SDAPP – Transport

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	<p>system including how to register and load funds against a myki card.</p> <p>Occupants will be alerted to the existence of various public transport smartphone apps such as the Public Transport Victoria app and/or train or tram tracker</p>	
Public transport	<p>The proposed location is serviced by the following public transport options:</p> <ul style="list-style-type: none"> <li>• Train – 1 kilometre from the site (Greensborough Station)</li> <li>• Bus – 50 metres from the site (Routes 566 and 902)</li> </ul> <p>These are able to be viewed on the public transport Local Area Map attached in the appendices.</p>	Additional sustainability practice

**Additional details**

- Green travel plan    Green travel options are dependent on the following factors:
- Location of the site
  - Walking distance of facilities
  - Cycling facilities – paths and parking
  - Public transport facilities
  - Parking facilities for other motorised vehicles
- Bicycle paths        Principal Bicycle Network (PBN) routes for each council area are available via the following link  
<https://www.vicroads.vic.gov.au/traffic-and-road-use/cycling/bicycle-network-planning>
- Strategic Cycling Corridors (SCCs) are a recent addition to bicycle network planning in metropolitan Melbourne. Identification of SCCs is part of the initiative in Plan Melbourne to 'Support Walking and Cycling in Central Melbourne'. They are corridors developed to improve cycling to an around major activity centres in metropolitan Melbourne. SCCs are a subset of the PBN.
- Public transport     Tram, bus and train timetables can be accessed from  
<http://ptv.vic.gov.au/timetables/>
- A full range of Public Transport Victoria maps can be sourced from  
<http://ptv.vic.gov.au/getting-around/maps/>  
 For more train specific information visit [www.metrotrains.com.au](http://www.metrotrains.com.au)
- A Travel Smart map showing major local travel interchanges can be obtained for the councils listed on the site  
<http://www.transport.vic.gov.au/projects/rapidtransitmaps>

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## 7 Waste Management

### Goals

- To promote waste avoidance, re-use and recycling during the design, construction and operation stages of development.
- To ensure durability and long-term re-usability of building materials.
- To ensure sufficient space is allocated for future change in waste management needs, including (where possible) composting and green waste facilities.

### Initiatives

Demolition stage	The developer has committed to ensuring the demolition contractor recycles a minimum of 80% of materials from the existing building to be demolished. This will include recycling building materials.  The demolition contractor will be required to identify in advance what materials will be recycled, and confirm in writing on company letterhead the percentage of materials by mass actually recycled on completion of works.	SDAPP - Waste
Removal of refrigerant from decommissioned air-conditioning units	Before disposing of air conditioners, all units are to have the refrigerant 'recovered' by a licensed Australian Refrigeration Council (ARC) member technician.  See more details below.	Additional sustainability practice
Construction waste	A minimum of 80% of materials will be recycled during construction.  Written documentation required from contractor(s) in advance on company letterhead confirming items to be recycled, and on completion, confirmation of percentage of materials recycled.	SDAPP - Waste
Plastering waste	The plastering contractor will be required to supply their own bin and recycle plasterboard off-cuts.	Additional sustainability practice
Dual bins in dwellings	Dual bins will be supplied under each kitchen bench to facilitate separation of garbage and recycling in dwellings.	SDAPP - Waste
Compost bins	Compost bins have been provided for residents to encourage organic waste being diverted from landfill.	Additional sustainability practice

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**Additional details**

Relocate existing house in lieu of demolishing

Sell and relocate the existing house

1. Killmore House Removals [www.khr.com.au](http://www.khr.com.au)
2. Homesmart <http://houseremovalsand relocation.com.au/>
3. Moving Views <http://www.movingviews.com.au/>

Recyclable materials

The following materials can generally be recycled:

- Bricks
- Concrete products (ie. Blocks, roof tiles, pavers etc)
- Unpainted or treated timber
- Steel / metal products
- Glass
- Plasterboard
- Plastics
- Carpet or carpet underlay
- Asphalt
- Cardboard
- Green waste

Bin companies or similar that recycle more than others include:

- Jobsite Recyclers. <http://www.jobsiterecyclers.com.au/>
- Mobius Waste <http://www.mobiusmr.com.au/>
- Konstruct Recycling [www.konstructrecycling.com.au](http://www.konstructrecycling.com.au)
- Eastern Recycling [www.easternrecycling.com.au](http://www.easternrecycling.com.au)
- National Recycling Group / Harpers Bins / Quickskips [www.nationalrecyclinggroup.com.au](http://www.nationalrecyclinggroup.com.au)
- Combined Bulk Bins Pty Ltd <http://www.combinedbulkbins.com.au/service.html>

Plastering (recycling)

Bins are available from plasterboard recyclers such as Regyp ([www.regyp.com.au](http://www.regyp.com.au)) and ecoGypsum (<http://www.ecogypsum.com.au/collections.html>) or contact recycling companies such as T&L recycling on 0407 867 133 or similar firms.

Removal of refrigerant from decommissioned air-conditioning units

Air-conditioners on site to be decommissioned are likely to have CFC (ChloroFluouroCarbons), HCFC (HydroChloroFluouroCarbons) or HFC (HydroFluouroCarbons) as the refrigerant. These refrigerants are either very harmful to the ozone layer or very significantly greenhouse gas contributors. If units are not disposed of properly, refrigerant may escape into the atmosphere, contributing significantly to global warming. CFC and HCFCs have been banned for a while now. Before disposing of air conditioners, all units are to have the refrigerant 'recovered' by a licensed Australian Refrigeration Council (ARC) member technician <https://www.arctick.org/>. ARC members must hold a Full Refrigerant and Air-conditioning (Full RAC) licence or Restricted Refrigerant Recoverer licence (RRRL).

The recovered refrigerant is generally returned to a refrigerant gas retailer or wholesaler who will recycle the gas if possible. Where maintenance regimes have not used the manufacturers recommended gases or have used different gases over time, the refrigerant is less likely to be recycled. Recycling is required when enough gas is collected the retailer will be able to send the gas to the refrigerant gas product stewardship organisation Refrigerant Reclaim Australia (RRA).

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<https://refrigerantreclaim.com.au/>. RRA has a facility in Melbourne (the sole approved facility in Australia) for destroying refrigerant gases in an environmentally friendly manner. Gas is sent to this facility from all over Australia.

## 8 Urban Ecology

### Background

Urban development has seen the destruction and displacement of plant species and in turn wildlife habitat. With new developments there is an opportunity to redress this that should be taken up. In all infill development cases there should be an improvement on the current environment.

### Goals

- To protect and enhance habitat bio-diversity of the urban environment
- To encourage the retention of significant trees
- To encourage the planting of indigenous vegetation.
- To reduce CO2 in the atmosphere through increased vegetation
- To provide environmentally sustainable landscapes and natural habitats and minimise the urban heat island effect

### Initiatives

Vegetative cover	Approximately 39% of the proposed development has garden area, helping to minimise the urban heat island effect and increasing opportunities for biodiversity on site.	BESS tool
Indigenous planting	New plantings will be predominantly indigenous natives.	Additional sustainability practice
Facilitating balcony gardens	A tap will be installed on all balconies to help facilitate watering and maintenance of balcony planting.	Additional sustainability practice
Erosion control	Silt fences, erosion control blankets, and drain filters will be utilised during construction to ensure top soil/earth is not eroded to drains and creeks.	Additional sustainability practice

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## 9 Management, Innovation and Community Benefit

### Goals

- To encourage design and innovation in the development, which positively influence the improved life of, and sustainability of, the building.
- To encourage a holistic and integrated design and construction process and ongoing high performance.

### Initiatives

Building Users Guide	An appropriate short Building Users Guide will be provided for tenants explaining some of the sustainability features and intents of this development.	Green Star
Liveable Housing Australia (LHA) Silver Standard	The development will be designed to LHA Silver Standard	Additional sustainability practice

### Additional details

Building users guide

A short building user's guide might include details on:

- The connection of the water tanks to the toilets
- Waste minimisation and recycling strategy and arrangements within the building
- Energy and water metering facilities for each dwelling, and what the readings represent
- Energy portals details from energy suppliers – can provide your energy use up to the previous day if used in conjunction with in house devices
- Energy efficient design choices and materials options that have been incorporated in this building
- Specifications for energy efficient items such as lights and plumbing fittings, and recommendation that replacements obtain or improve on these efficiency levels
- Local public transport stops and routes and timetables. Also included will be brief details of the Melbourne myki public transport payment card system including how to register and load funds against a myki card.
- Development management contact details

Livable Housing Australia design guidelines

The seven core design features elements in the silver level they are:

1. A safe continuous and step free path of travel from the street entrance and / or parking area to a dwelling entrance that is level.
2. At least one, level (step-free) entrance into the dwelling
3. Internal doors and corridors that facilitate comfortable and unimpeded movement between spaces.
4. A toilet on the ground (or entry) level that provides easy access.
5. A bathroom that contains a minimum of one water closet

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6. Reinforced walls around the toilet, shower and bath to support the safe installation of grabrails at a later date.
7. A continuous handrail on one side of any stairway where there is a rise of more than one metre.

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## Appendix 1 - BESS Report

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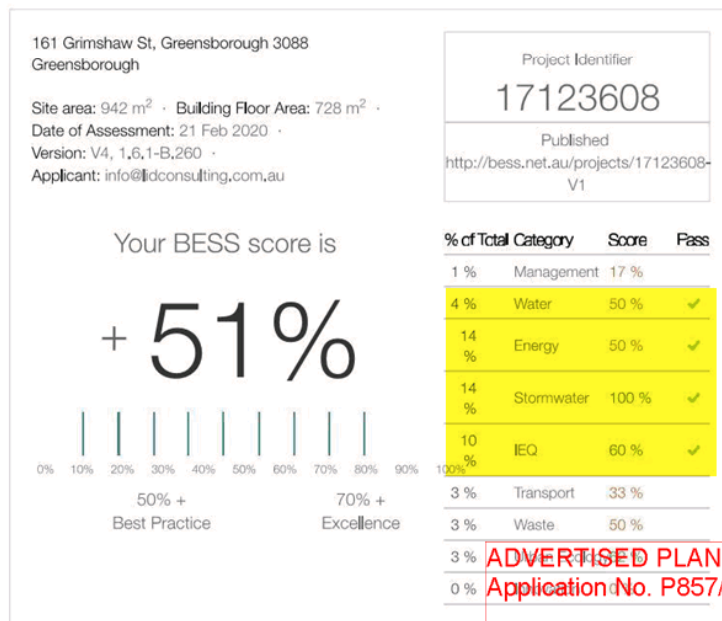
BESS - 161 Grimshaw St

# BESS Report



This BESS report outlines the sustainable design commitments of the proposed development at 161 Grimshaw St Greensborough VIC 3088. The BESS report and accompanying documents and evidence are submitted in response to the requirement for a Sustainable Design Assessment or Sustainability Management Plan at Banyule City Council.

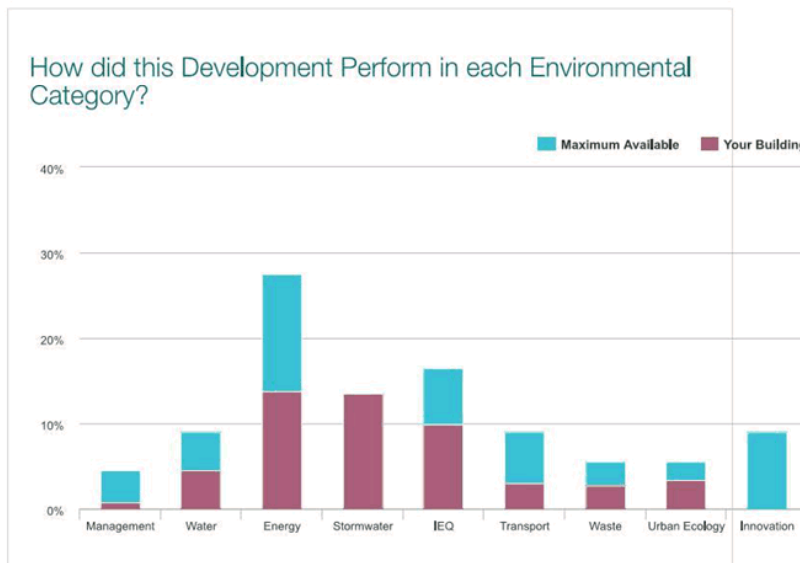
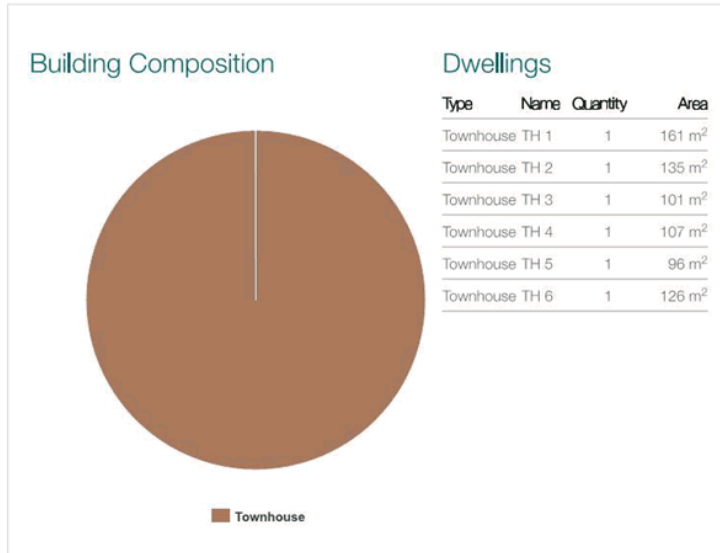
Note that where a Sustainability Management Plan is required, the BESS report must be accompanied by a report that further demonstrates the development's potential to achieve the relevant environmental performance outcomes and documents the means by which the performance outcomes can be achieved.



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2/21/2020

BESS - 161 Grimshaw St



### Sustainable design commitments by category

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BESS - 161 Grimshaw St

The sustainable design commitments for this project are listed below. These are to be incorporated into the design documentation and subsequently implemented.

Management		17% - contributing 1% to overall score	
Credit	Disabled	Scoped out	Score
Management 4.1 Building Users Guide			100 %
Management 4.1 Building Users Guide			100%
<b>Score Contribution</b>	This credit contributes 16.7% towards this section's score.		
<b>Aim</b>	To encourage and recognise initiatives that will help building users to use the building efficiently		
Questions			
Will a building users guide be produced and issued to occupants?			
Yes			
Water		50% - contributing 4% to overall score	
Credit	Disabled	Scoped out	Score
Water 1.1 Pctable water use reduction			40 %
Water 3.1 Water Efficient Landscaping			100 %
Water Approachs			
What approach do you want to use Water?		Use the built in calculation tools	
Are you installing a rainwater tank?		Yes	
Water fixtures, fittings and connections			
	TH 1	TH 2	TH 3
Showerhead	3 Star WELS (>= 6,0 but <= 7,5)	3 Star WELS (>= 6,0 but <= 7,5)	3 Star WELS (>= 6,0 but <= 7,5)
Bath	Scope out	Scope out	Scope out
Kitchen Taps	>= 5 Star WELS rating	>= 5 Star WELS rating	>= 5 Star WELS rating
Bathroom Taps	>= 6 Star WELS rating	>= 6 Star WELS rating	>= 6 Star WELS rating

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2/21/2020

BESS - 161 Grimshaw St

	TH 1	TH 2	TH 3
Dishwashers	>= 4 Star WELS rating	>= 4 Star WELS rating	>= 4 Star WELS rating
WC	>= 4 Star WELS rating	>= 4 Star WELS rating	>= 4 Star WELS rating
Urinals	Scope out	Scope out	Scope out
Washing Machine Water Efficiency	>= 3 Star WELS rating	>= 3 Star WELS rating	>= 3 Star WELS rating
Which non-potable water source is the dwelling/space connected to?	RWT total	RWT total	-1
Non-potable water source connected to Toilets	Yes	Yes	No
	TH 4	TH 5	TH 6
Showerhead	3 Star WELS (>= 6,0 but <= 7,5)	3 Star WELS (>= 6,0 but <= 7,5)	3 Star WELS (>= 6,0 but <= 7,5)
Bath	Scope out	Scope out	Scope out
Kitchen Taps	>= 5 Star WELS rating	>= 5 Star WELS rating	>= 5 Star WELS rating
Bathroom Taps	>= 6 Star WELS rating	>= 6 Star WELS rating	>= 6 Star WELS rating
Dishwashers	>= 4 Star WELS rating	>= 4 Star WELS rating	>= 4 Star WELS rating
WC	>= 4 Star WELS rating	>= 4 Star WELS rating	>= 4 Star WELS rating
Urinals	Scope out	Scope out	Scope out
Washing Machine Water Efficiency	>= 3 Star WELS rating	>= 3 Star WELS rating	>= 3 Star WELS rating
Which non-potable water source is the dwelling/space connected to?	-1	-1	RWT total
Non-potable water source connected to Toilets	No	No	Yes
Rainwater Tanks			<b>RWT total</b>
What is the total roof area connected to the rainwater tank?	Square Metres	282.4	
Tank Size	Litres	6000.0	
Water 1.1 Potable water use reduction	40%		
<b>Score Contribution</b>	This credit contributes 83.3% towards this section's score.		
<b>Aim</b>	Water 1.1 Potable water use reduction (interior uses) What is the reduction in total water use due to efficient fixtures, appliances, and rainwater use? To achieve points in this credit there must be >25% potable water reduction. You are using the following calculation codes. This credit is calculated from information provided in the following table.		

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2/21/2020

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<b>Criteria</b>	What is the reduction in total potable water use due to efficient fixtures, appliances, rainwater use and recycled water use? To achieve points in this credit there must be >25% potable water reduction.
<b>Questions</b>	
Percentage Achieved ?	Percentage %
%	
<b>Calculations</b>	
Reference (kL)	
960	
Proposed (excluding rainwater and recycled water use) (kL)	
744	
Rainwater or recycled water supplied (Internal + External) (kL)	
52	
Proposed (including rainwater and recycled water use) (kL)	
691	
% Reduction in Potable Water Consumption	Percentage %
27 %	
<b>Water 3.1 Water Efficient Landscaping</b>	<b>100%</b>
<b>Score Contribution</b>	This credit contributes 16.7% towards this section's score.
<b>Aim</b>	Are water efficiency principles used for landscaped areas? This includes low water use plant selection (e.g. xeriscaping). Note: food producing landscape areas and irrigation areas connected to rainwater or an alternative water source are excluded from this section.
<b>Questions</b>	
Will water efficient landscaping be installed?	
Yes	

Energy

50% - contributing 14% to overall score

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**Application No. P857/2019**

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25/02/2020

2/21/2020

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Credit	Disabled	Scoped out	Score
Energy 2.1 Greenhouse Gas Emissions			100 %
Energy 2.3 Electricity Consumption			100 %
Energy 2.4 Gas Consumption			100 %
Energy 2.5 Wood Consumption			N/A
Energy 3.2 Hot Water			100 %
Energy 3.3 External Lighting			100 %
Energy 3.4 Clothes Drying			100 %
Energy 3.5 Internal Lighting - Residential Single Dwelling			100 %

Dwellings Energy Approaches

What approach do you want to use for Energy?	Use the built in calculation tools
Gas supplied into building	Natural Gas

Dwelling Energy Profiles

	TH 1	TH 2	TH 3
Below the floor is	Ground or Carpark	Ground or Carpark	Ground or Carpark
Above the ceiling is	Another Occupancy	Another Occupancy	Another Occupancy
Exposed sides	3	3	3
NatHERS Annual Energy Loads - Heat MJ/sqm	100.0	100.0	100.0
NatHERS Annual Energy Loads - Cool MJ/sqm	25.0	25.0	25.0
NatHERS star rating	6.0	6.0	6.0
Type of Heating System	D Reverse cycle space	D Reverse cycle space	D Reverse cycle space
Heating System Efficiency	3 Star	3 Star	3 Star
Type of Cooling System	Refrigerative space	Refrigerative space	Refrigerative space
Cooling System Efficiency	3 Stars	3 Stars	3 Stars
Type of Hot Water System	J Gas Instantaneous 6 star	J Gas Instantaneous 6 star	J Gas Instantaneous 6 star
% Contribution from solar hot water system	0 %	0 %	30 %
Clothes Line	D Private outdoor clothesline	D Private outdoor clothesline	D Private outdoor clothesline
Clothes Dryer	F Clothes dryer 1 stars	F Clothes dryer 1 stars	F Clothes dryer 1 stars
	TH 4	TH 5	TH 6
Below the floor is	Ground or Carpark	Ground or Carpark	Ground or Carpark
Above the ceiling is	Another Occupancy	Another Occupancy	Another Occupancy

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Application No. P857/2019

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2/21/2020

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	TH 4	TH 5	TH 6
Exposed sides	2	3	3
NatHERS Annual Energy Loads - Heat <small>MJ/ism<sup>2</sup></small>	100.0	100.0	100.0
NatHERS Annual Energy Loads - Cool <small>MJ/ism<sup>2</sup></small>	25.0	25.0	25.0
NatHERS star rating	6.0	6.0	6.0
Type of Heating System	D Reverse cycle space	D Reverse cycle space	D Reverse cycle space
Heating System Efficiency	3 Star	3 Star	3 Star
Type of Cooling System	Refrigerative space	Refrigerative space	Refrigerative space
Cooling System Efficiency	3 Stars	3 Stars	3 Stars
Type of Hot Water System	J Gas Instantaneous 6 star	J Gas Instantaneous 6 star	J Gas Instantaneous 6 star
% Contribution from solar hot water system	30 %	30 %	0 %
Clothes Line	D Private outdoor clothesline	D Private outdoor clothesline	D Private outdoor clothesline
Clothes Dryer	F Clothes dryer 1 stars	F Clothes dryer 1 stars	F Clothes dryer 1 stars

Energy 2.1 Greenhouse Gas Emissions 100%

**Score Contribution** This credit contributes 10.0% towards this section's score.

**Aim** Reduce the building's greenhouse gas emissions

**Criteria** Are greenhouse gas emissions >10% below the benchmark?

Questions

Criteria Achieved ?

-

Calculations

Reference Building with Reference Services (BCA only) kg CO<sub>2</sub>

40823.3

Proposed Building with Proposed Services (Actual Building) kg CO<sub>2</sub>

14394.2

% Reduction in GHG Emissions Percentage %

64 %

Energy 2.3 Electricity Consumption

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Application No. P857/2019

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Page | 27

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25/02/2020

2/21/2020

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<b>Score Contribution</b>	This credit contributes 10.0% towards this section's score.
<b>Aim</b>	Reduce consumption of electricity
<b>Criteria</b>	Is the annual electricity consumption >10% below the benchmark?
Questions	
Criteria Achieved ?	
-	
Calculations	
Reference	kWh
33684.7	
Proposed	kWh
10885.0	
Improvement	Percentage %
67 %	
Energy 2.4 Gas Consumption	100%
<b>Score Contribution</b>	This credit contributes 10.0% towards this section's score.
<b>Aim</b>	Reduce consumption of electricity
<b>Criteria</b>	Is the annual gas consumption >10% below the benchmark?
Questions	
Criteria Achieved ?	
-	
Calculations	
Reference	MJ
93007.4	
Proposed	MJ
53449.6	
Improvement	Percentage %
42 %	
Energy 2.5 Wood Consumption	

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2/21/2020

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This credit was scoped out: No wood heating system present

**Aim** Reduce consumption of wood  
**Criteria** Is the annual wood consumption >10% below the benchmark?

Energy 3.2 Hot Water 100%

**Score Contribution** This credit contributes 5.0% towards this section's score.  
**Criteria** Does the hot water system use >10% less energy (gas and electricity) than the reference case?

Questions

Criteria Achieved ?

-

Calculations

Reference kWh

25835.4

Proposed kWh

15145.8

Improvement Percentage %

41 %

Energy 3.3 External Lighting 100%

**Score Contribution** This credit contributes 5.0% towards this section's score.

Questions

Is the external lighting controlled by a motion detector?

Yes

Energy 3.4 Clothes Drying 100%

**Score Contribution** This credit contributes 5.0% towards this section's score.

**Criteria** Does the combination of clothes lines and efficient dryers reduce energy (gas+electricity) consumption by more than 10%?

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2/21/2020

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Questions

Criteria Achieved ?

-

---

Calculations

Reference <sup>kWh</sup>

3640,0

---

Proposed <sup>kWh</sup>

728,0

---

Improvement <sup>Percentage %</sup>

80 %

---

Energy 3.5 Internal Lighting - Residential Single Dwelling 100%

---

**Score Contribution** This credit contributes 5.0% towards this section's score.

---

**Aim** Reduce energy consumption associated with internal lighting

---

Questions

Does the development achieve a maximum illumination power density of 4W/sqm or less?

Yes

---

**Stormwater** 100% - contributing 14% to overall score

---

Credit	Disabled	Scoped out	Score
Stormwater 1.1 Stormwater Treatment			100 %

---

Which stormwater modelling are you using? Melbourne Water STORM tool

---

Stormwater 1.1 Stormwater Treatment 100%

---

**Score Contribution** This credit contributes 100.0% towards this section's score.

---

**Aim** To achieve best practice stormwater quality objectives through reduction of pollutant load (suspended solids, nitrogen and phosphorus)

---

**Criteria** Has best practice stormwater management been demonstrated?

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<b>Questions</b>	
STORM score achieved	
103	
Flow (ML/year) % Reduction	
-	
Total Suspended Solids (kg/year) % Reduction	
-	
Total Phosphorus (kg/year) % Reduction	
-	
Total Nitrogen (kg/year) % Reduction	
-	
<b>Calculations</b>	
Min STORM Score	
100	
<b>IEQ</b> <span style="float: right;">60% - contributing 10% to overall score</span>	
<b>Credit</b>	<b>Disabled</b> <b>Scoped out</b> <b>Score</b>
IEQ 3.1 Thermal comfort - Double Glazing	100 %
IEQ 3.3 Thermal Comfort - Orientation	100 %
IEQ 3.1 Thermal comfort - Double Glazing	100%
<b>Score Contribution</b>	This credit contributes 40.0% towards this section's score.
<b>Aim</b>	To provide comfortable indoor spaces and reduce energy needed for heating and cooling
<b>Questions</b>	
Is double glazing (or better) used to all habitable areas?	
Yes	
IEQ 3.3 Thermal Comfort - Orientation	100%

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<b>Score Contribution</b>	This credit contributes 20.0% towards this section's score.		
<b>Aim</b>	To provide comfortable indoor spaces and reduce energy needed for heating and cooling		
Questions			
Are at least 50% of living areas orientated to the north?			
Yes			
<hr/>			
<b>Transport</b>		33% - contributing 3% to overall score	
<b>Credit</b>	<b>Disabled</b>	<b>Scoped out</b>	<b>Score</b>
Transport 1.1 Bicycle Parking - Residential			100 %
Transport 1.1 Bicycle Parking - Residential			100%
<b>Score Contribution</b>	This credit contributes 33.3% towards this section's score.		
<b>Aim</b>	To encourage and recognise initiatives that facilitate cycling		
<b>Criteria</b>	Is there at least one secure bicycle space per dwelling?		
Questions			
Bicycle Spaces Provided ?			
6			
Calculations			
Min Bicycle Spaces Required			
6			
<hr/>			
<b>Waste</b>		50% - contributing 3% to overall score	
<b>Credit</b>	<b>Disabled</b>	<b>Scoped out</b>	<b>Score</b>
Waste 2.1 - Operational Waste - Food & Garden Waste			100%
Waste 2.1 - Operational Waste - Food & Garden Waste			100%

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2/21/2020

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<b>Score Contribution</b>	This credit contributes 50.0% towards this section's score.		
<b>Aim</b>	To minimise organic waste going to landfill		
<b>Questions</b>			
Are facilities provided for on-site management of food and garden waste?			
Yes			
<hr/>			
<b>Urban Ecology</b>		62% - contributing 3% to overall score	
<b>Credit</b>	<b>Disabled</b>	<b>Scoped out</b>	<b>Score</b>
Urban Ecology 2.1 Vegetation			100 %
Urban Ecology 2.4 Private Open Space - Balcony / Courtyard Ecology			100 %
<hr/>			
Urban Ecology 2.1 Vegetation			100%
<hr/>			
<b>Score Contribution</b>	This credit contributes 50.0% towards this section's score.		
<b>Aim</b>	To encourage and recognise the use of vegetation and landscaping within and around developments		
<b>Criteria</b>	How much of the site is covered with vegetation, expressed as a percentage of the total site area?		
<b>Questions</b>			
Percentage Achieved ?	Percentage %		
39 %			
<hr/>			
Urban Ecology 2.4 Private Open Space - Balcony / Courtyard Ecology			100%
<hr/>			
<b>Score Contribution</b>	This credit contributes 12.5% towards this section's score.		
<b>Aim</b>	Encourage plants to be grown on balconies and courtyards		
<b>Questions</b>			
Is there a tap and floor waste on every balcony / in every courtyard?			
Yes			

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Page | 33

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25/02/2020

2/21/2020

BESS - 161 Grimshaw St



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## Appendix 2 - STORM Report



### STORM Rating Report

TransactionID: 918912  
 Municipality: BANYULE  
 Rainfall Station: BANYULE  
 Address: 161 Grimshaw St  
  
 Greensborough  
 VIC 3088  
 Assessor: LID Consulting  
 Development Type: Residential - Multiunit  
 Allotment Site (m2): 942.00  
 STORM Rating %: 103

Description	Impervious Area (m2)	Treatment Type	Treatment Area/Volume (m2 or L)	Occupants / Number Of Bedrooms	Treatment %	Tank Water Supply Reliability (%)
Roof to RWT TH1	98.90	Rainwater Tank	2,000.00	3	126.40	87.70
Roof to RWT TH2	87.80	Rainwater Tank	2,000.00	3	136.40	87.20
Roof to RG	179.80	Raingarden 300mm	3.60	0	130.20	0.00
Roof to RWT TH6	95.60	Rainwater Tank	2,000.00	3	127.00	89.40
Impervious	120.00	None	0.00	0	0.00	0.00

Date Generated: 21-Feb-2020

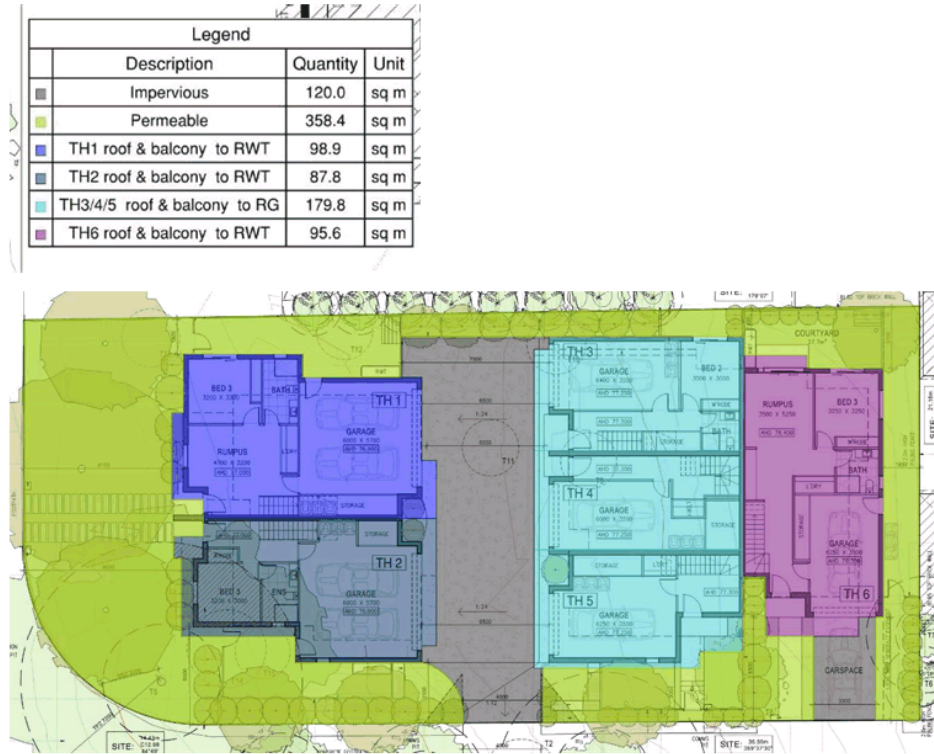
Program Version: 1.0.0

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### Appendix 3 - STORM Area proof



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## Appendix 4 - Preliminary Energy ratings

The FirstRate5 preview energy rating for townhouses 1 and 6 incorporates the full list of assumptions as listed below. Note, additional glazing or shading specifications can be incorporated to improve these ratings.

Dwelling Modelled	Cooling Load (MJ/m <sup>2</sup> )	Star Rating
TH1	12.7	6.2
TH6	12.2	6.0

Full list of assumptions:

- Offset from north point - 270 degrees
- Heating and cooling choices when optional - All rooms except as indicated.
- Floor type - suspended slab to all floors
- Floor coverings – carpet to bedrooms, timber to living areas, tiles to wet areas
- Floor insulation – R2.0 under floor above garage balcony and unconditioned spaces
- Ceiling insulation –
  - TH1 – R4.0 + 1 reflective foil insulation
  - TH6 – R6.0 + 1 reflective foil insulation
- Roof colour – medium light grey / dull zincalume.
- Wall colour – medium
- Wall height to ceiling (ie measured floor to ceiling above) –2.7m on the ground and first floor, and 2.55m to second floor.
- Exterior Walls –
  - TH1 - Brick veneer/lightweight construction with R2.0 insulation.
  - TH2 – Brick veneer/lightweight construction with R2.5 insulation.
- Interior walls – R2.0 insulation between condition and unconditioned spaces
- Windows –
  - TH1 - Aluminium double-glazed air filled clear (U-value = 4.8, SHGC=0.59)
  - TH6 - Aluminium double-glazed air filled clear, low E film (U-value = 4.3, SHGC=0.53)
- Skylights – included where appropriate
- Exhaust fans, all sealed –
  - All bathrooms and ensuites: 300mm
  - Kitchen: 180mm
- Ceiling fans – none
- Eaves – included where appropriate
- Wing walls – included where appropriate
- Fences – included where appropriate
- Lights – no unsealed downlights. Max 4W/m2 density. If downlights are installed, they will be IC rated downlights with insulation installed over downlight as per manufacturer's recommendations.

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Provisional Diagnostic Information

FirstRate® Provisional Diagnostic Information

Project Information

Mode	New Home
Climate	62 Moorabbin Airport
Site Exposure	suburban
Client Name	
Rated Address	161 Grimshaw St Greensborough
Accredited Rater	LID Consulting
Date	21/02/2020
Reference	TH1 - 6.2 Stars

Energy Usage

Type	Energy MJ/m <sup>2</sup>
Total	116.6
Heating	103.9
Cooling	12.7

Areas

Area	Size (m <sup>2</sup> )
Net Conditioned Floor Area (NCFA)	120.6
Unconditioned Room Area	14.3
Garage Area	39.3

Zones

Zone	Area (m <sup>2</sup> )	Conditioning Type	Conditioned
Bedroom 3	12.1	bedroom	Y
Bathroom Ground	5.8	unconditioned	N
Rumpus	24.2	living	Y
Garage	39.3	garage	N
Kitchen/Living	39.5	kitchen	Y
Laundry	3.0	dayTime	Y
Powder Room	1.7	dayTime	Y
Study	7.0	dayTime	Y
Stairs L1	2.3	dayTime	Y
Stairs/Landing L2	9.4	dayTime	Y
Bedroom 1	13.7	bedroom	Y
Ensuite	3.9	unconditioned	N
Bedroom 2	12.0	bedroom	Y

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Bathroom L2	4.6	unconditioned	N
-------------	-----	---------------	---

**Walls**

Type	Bulk Insulation (R)	Num Reflective Airgaps	Area (m <sup>2</sup> )
Brick Veneer	2.0	0	79.0
Internal Plasterboard Stud Wall	2.0	0	31.9
Stud Party Wall	2.0	2	70.4
Internal Plasterboard Stud Wall	0.0	0	64.5
Fibre cement	2.0	1	103.1
Timber Clad	2.0	1	10.8
Internal Plasterboard Stud Wall	2.0	0	25.7

**Floors**

Type	Bulk Insulation (R)	Ventilation	Area (m <sup>2</sup> )
CSOG: Slab on Ground	0.0	encl	81.4
Timber	2.0	encl	43.6
Timber	0.0	encl	50.2
Timber	2.0	elevated	3.1

**Roofs/Ceilings**

Type	Bulk Ceiling Insulation (R)	Bulk Roof Insulation (R)	Area (m <sup>2</sup> )
Disc:Attic-Discontinuous	0.0	0.0	50.8
Framed:Flat - Flat Framed (Metal Deck)	4.0	0.0	84.1
Ceil: Ceiling	0.0	0.0	43.6

**Windows**

Type	U-Value	SHGC	Area (m <sup>2</sup> )
ALM-004-01 A Aluminium B DG Air Fill Clear-Clear	4.80	0.59	24.45

**Window Directions**

Direction	Area (m <sup>2</sup> )
E	10.9
N	9.1
S	4.4

**Air leakage**

Item	Sealed	Unsealed
Generic Vent	-	0
Unflued Gas Heater	-	0

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Exhaust Fan	U	U
Downlight	5	0
Chimney	0	0
Heater Flue	-	0

**Zone Energy Loads**

Zone	Heating (MJ/m2)	Total Heating (MJ)	Cooling (MJ/m2)	Total Cooling (MJ)
Study	172.0	1210.8	17.9	126.2
Rumpus	211.9	5122.7	1.7	40.4
Kitchen/Living	83.6	3305.7	26.5	1048.8
Stairs L1	104.8	238.9	10.4	23.8
Stairs/Landing L2	126.0	1179.6	5.4	50.7
Bedroom 3	99.5	1208.4	12.2	148.1
Bedroom 2	58.7	703.4	9.7	116.0
Laundry	98.5	292.7	0.7	2.1
Powder Room	109.8	183.5	0.5	0.8
Bedroom 1	37.6	513.3	10.6	144.3

Provisional Diagnostic Information 21-02-2020 12:53:40 Ver:5.2.11 (3.13) Engine Ver:3.13 Accredited Rater:LID Consulting Assessor's Accreditation Number:

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Provisional Diagnostic Information

FirstRate® Provisional Diagnostic Information

Project Information

Mode	New Home
Climate	62 Moorabbin Airport
Site Exposure	suburban
Client Name	
Rated Address	161 Grimshaw St Greensborough
Accredited Rater	LID Consulting
Date	21/02/2020
Reference	TH6 - 6.0 Stars

Energy Usage

Type	Energy MJ/m <sup>2</sup>
Total	124.3
Heating	112.1
Cooling	12.2

Areas

Area	Size (m <sup>2</sup> )
Net Conditioned Floor Area (NCFA)	101.7
Unconditioned Room Area	4.8
Garage Area	23.3

Zones

Zone	Area (m <sup>2</sup> )	Conditioning Type	Conditioned
Entry/Rumpus	36.1	dayTime	Y
Bedroom 3	12.2	bedroom	Y
Bathroom G	4.8	unconditioned	N
Garage	23.3	garage	N
Bedroom 2	10.4	bedroom	Y
Bedroom 1	10.8	bedroom	Y
Bathroom L1	4.7	dayTime	Y
Kitchen/Living	31.5	kitchen	Y

Walls

Type	Bulk Insulation (R)	Num Reflective Airgaps	Area (m <sup>2</sup> )
Stud Party Wall	2.0	2	56.4
Brick Masonry	0.5	0	12.2

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Brick veneer	2.5	1	13.9
Internal Plasterboard Stud Wall	0.0	0	48.0
Internal Plasterboard Stud Wall	2.0	0	38.8
Fibre cement	2.5	1	56.7
Timber Clad	2.5	1	10.4

**Floors**

Type	Bulk Insulation (R)	Ventilation	Area (m <sup>2</sup> )
CSOG: Slab on Ground	0.0	encl	76.4
Timber	0.0	encl	42.6
Timber	2.0	elevated	2.1
Timber	2.0	encl	12.7

**Roofs/Ceilings**

Type	Bulk Ceiling Insulation (R)	Bulk Roof Insulation (R)	Area (m <sup>2</sup> )
Framed:Flat - Flat Framed (Metal Deck)	6.0	0.0	78.8
Ceil: Ceiling	0.0	0.0	55.0

**Windows**

Type	U-Value	SHGC	Area (m <sup>2</sup> )
ALM-004-03 A Aluminium B DG Air Fill High Solar Gain low-E -Clear	4.30	0.53	25.86

**Window Directions**

Direction	Area (m <sup>2</sup> )
E	12.8
S	7.3
W	5.8

**Air leakage**

Item	Sealed	Unsealed
Generic Vent	-	0
Unflued Gas Heater	-	0
Exhaust Fan	3	0
Downlight	0	0
Chimney	0	0
Heater Flue	-	0

**Zone Energy Loads**

Zone	Heating (MJ/m2)	Total Heating (MJ)	Cooling (MJ/m2)	Total Cooling (MJ)
Bathroom L1	132.3	620.9	4.5	21.2

ADVERTISED PLAN

Application No. P857/2019

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25/02/2020

Kitchen/Living	87.8	2766.5	29.2	920.4
Entry/Rumpus	220.3	7951.0	2.0	72.7
Bedroom 3	67.9	825.9	12.0	145.3
Bedroom 2	34.9	365.0	16.3	170.0
Bedroom 1	50.1	539.9	9.2	99.1

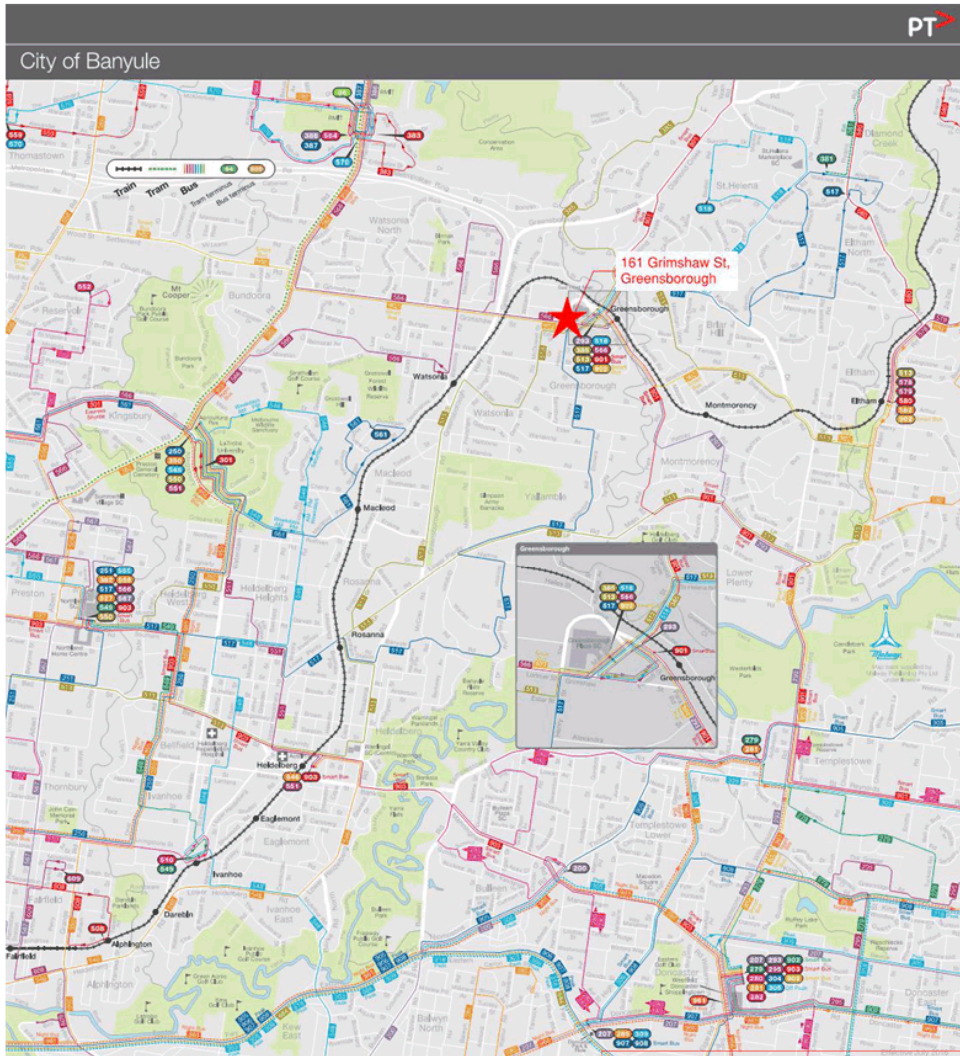
Provisional Diagnostic Information 21-02-2020 12:31:50 Ver:5.2.11 (3.13) Engine Ver:3.13 Accredited Rater:LID Consulting Assessor's Accreditation Number:

ADVERTISED PLAN  
Application No. P857/2019

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## Appendix 5 - Public Transport Local Area Map



ADVERTISED PLAN  
Application No. P857/2019

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**DRAWING SCHEDULE**

- TPA 01 GROUND FLOOR PLAN
- TPA 02 FIRST FLOOR PLAN
- TPA 03 SECOND FLOOR PLAN
- TPA 04 ELEVATIONS, MATERIALS AND FINISHES SCHEDULE
- TPA 05 ELEVATIONS, STREETSCAPE ELEVATIONS
- TPA 06 MATERIALS AND FINISHES SCHEDULE
- TPA 07 DETAILED SHADOW ANALYSIS
- TPA 08 NEIGHBOURHOOD AND SITE DESCRIPTION DETAILED SITE DESIGN RESPONSE
- TPA 09 DETAILED SHADOW ANALYSIS - 9:00AM, 12:00PM, 3:00PM, SEPTEMBER 22
- TPA 10 GARDEN AREA ANALYSIS
- TPA 11 TURNING CIRCLE ANALYSIS (1)
- TPA 12 TURNING CIRCLE ANALYSIS (2)
- TPA 13 PLANNING CONCEPT PLAN

**AREA ANALYSIS**

Table Number	Area	Area (sqm)	Area (sqft)
TABLE 1	Overall Site	11,117	119,997
TABLE 2	Overall Site	11,117	119,997
TABLE 3	Overall Site	11,117	119,997
TABLE 4	Overall Site	11,117	119,997
TABLE 5	Overall Site	11,117	119,997
TABLE 6	Overall Site	11,117	119,997
TABLE 7	Overall Site	11,117	119,997
TABLE 8	Overall Site	11,117	119,997
TABLE 9	Overall Site	11,117	119,997
TABLE 10	Overall Site	11,117	119,997
TABLE 11	Overall Site	11,117	119,997
TABLE 12	Overall Site	11,117	119,997
TABLE 13	Overall Site	11,117	119,997

Table Number	Area	Area (sqm)	Area (sqft)
TABLE 14	Overall Site	11,117	119,997
TABLE 15	Overall Site	11,117	119,997
TABLE 16	Overall Site	11,117	119,997
TABLE 17	Overall Site	11,117	119,997
TABLE 18	Overall Site	11,117	119,997
TABLE 19	Overall Site	11,117	119,997
TABLE 20	Overall Site	11,117	119,997
TABLE 21	Overall Site	11,117	119,997
TABLE 22	Overall Site	11,117	119,997
TABLE 23	Overall Site	11,117	119,997
TABLE 24	Overall Site	11,117	119,997
TABLE 25	Overall Site	11,117	119,997
TABLE 26	Overall Site	11,117	119,997
TABLE 27	Overall Site	11,117	119,997
TABLE 28	Overall Site	11,117	119,997
TABLE 29	Overall Site	11,117	119,997
TABLE 30	Overall Site	11,117	119,997
TABLE 31	Overall Site	11,117	119,997
TABLE 32	Overall Site	11,117	119,997
TABLE 33	Overall Site	11,117	119,997
TABLE 34	Overall Site	11,117	119,997
TABLE 35	Overall Site	11,117	119,997
TABLE 36	Overall Site	11,117	119,997
TABLE 37	Overall Site	11,117	119,997
TABLE 38	Overall Site	11,117	119,997
TABLE 39	Overall Site	11,117	119,997
TABLE 40	Overall Site	11,117	119,997
TABLE 41	Overall Site	11,117	119,997
TABLE 42	Overall Site	11,117	119,997
TABLE 43	Overall Site	11,117	119,997
TABLE 44	Overall Site	11,117	119,997
TABLE 45	Overall Site	11,117	119,997
TABLE 46	Overall Site	11,117	119,997
TABLE 47	Overall Site	11,117	119,997
TABLE 48	Overall Site	11,117	119,997
TABLE 49	Overall Site	11,117	119,997
TABLE 50	Overall Site	11,117	119,997



RED BEAR SUMMITVEST

181 GRIMSHAW STREET, GREENSBOROUGH  
FOR TOWN PLANNING APPLICATION

PROPOSED RESIDENTIAL DEVELOPMENT

181 GRIMSHAW STREET, GREENSBOROUGH

PROPOSED RESIDENTIAL DEVELOPMENT

181 GRIMSHAW STREET, GREENSBOROUGH

FOR TOWN PLANNING APPLICATION

SUMMITVEST PTY LTD

TPA01  
GROUND FLOOR PLAN

DATE: 07/13

SCALE: RL

PROJECT: Advertisement No. 18857/2019

TPA01

Advertisement No. 18857/2019

as part of a planning process under the Resource Management Act 1991.

18-02-2020

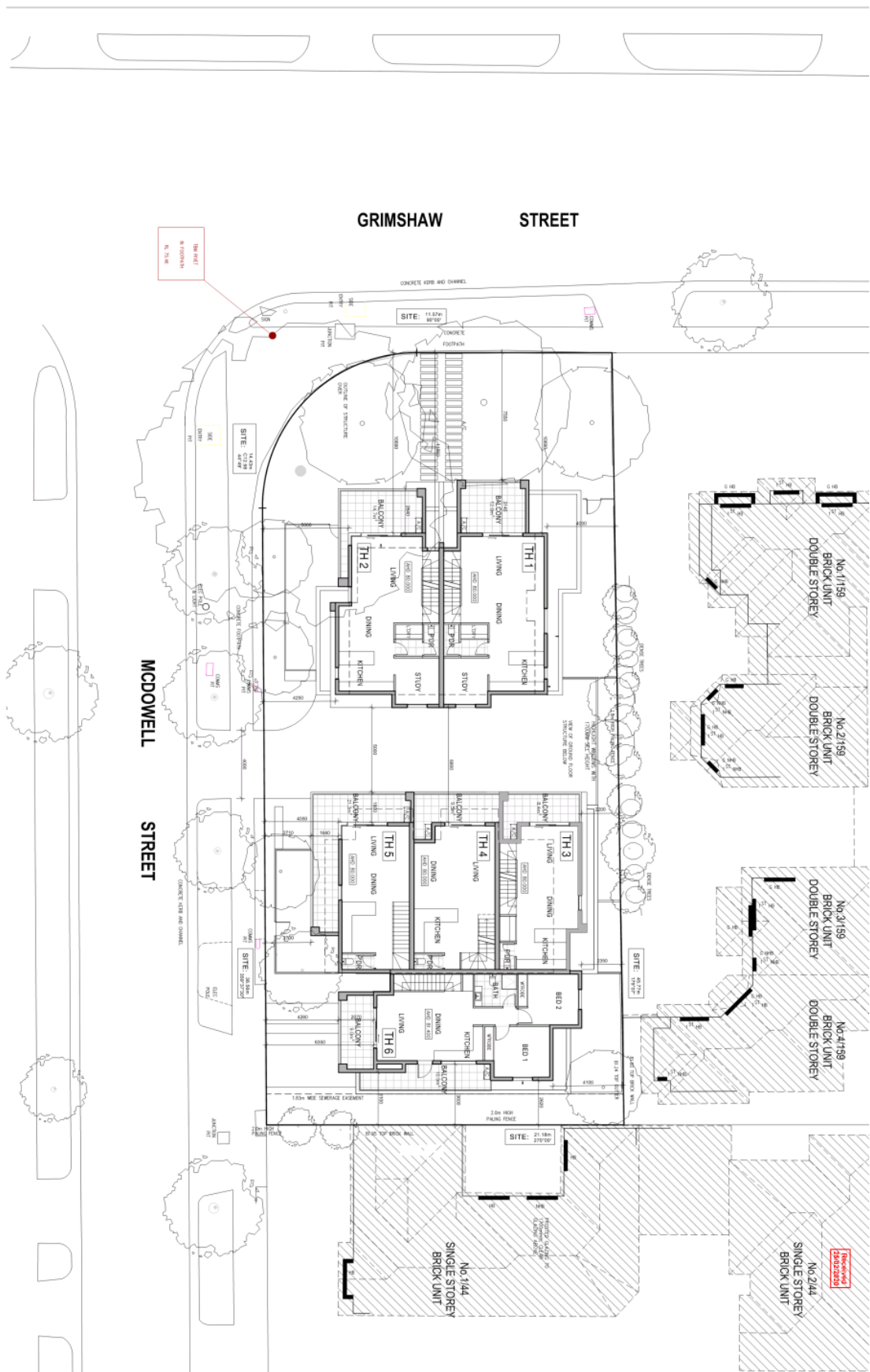


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FOR TOWN PLANNING APPLICATION  
SUMMITVEST PTY LTD

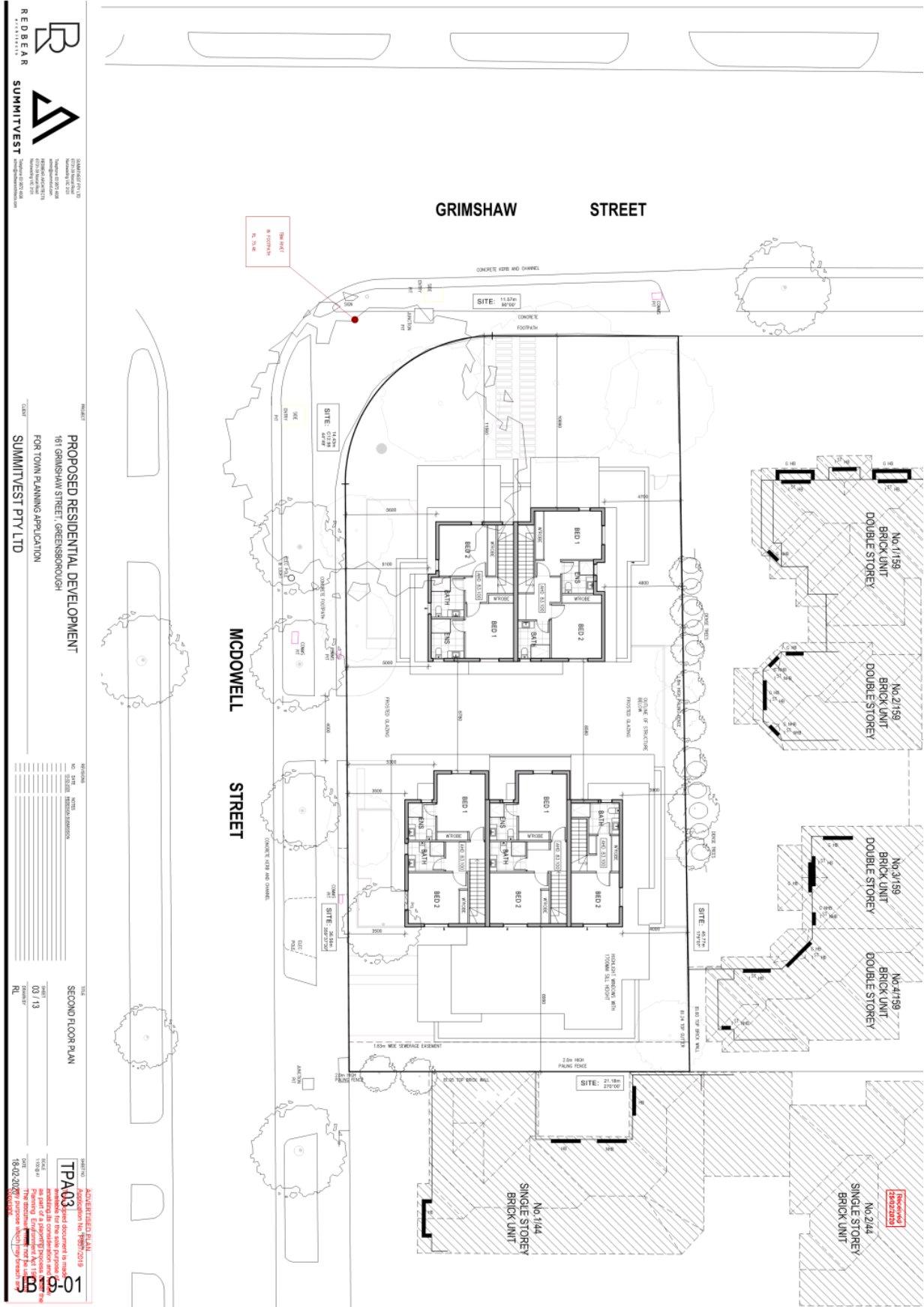
REVISIONS

NO.	DATE	REVISIONS/DESCRIPTION
01	02/13	REVISED

**TPA02**  
18-02-2020  
18-02-2020  
18-02-2020







**RED BEAR SUMMITVEST**

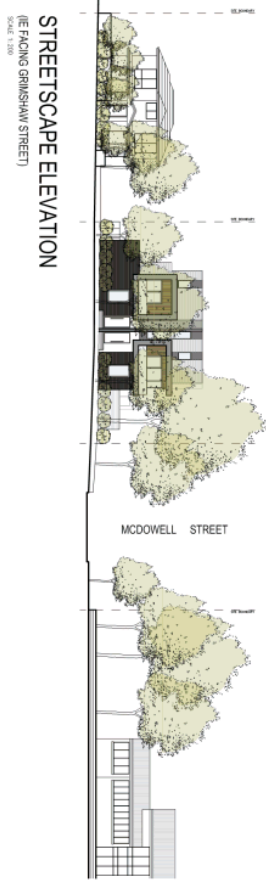
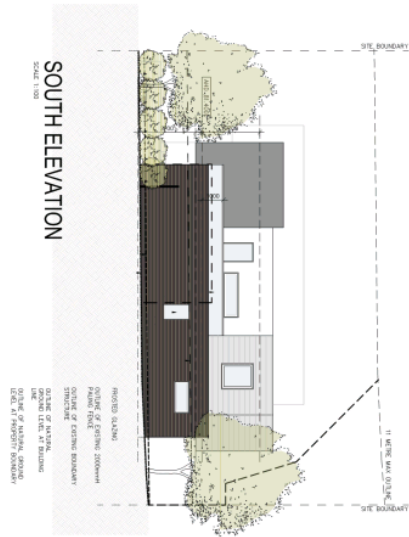
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FOR TOWN PLANNING APPLICATION  
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**SECOND FLOOR PLAN**

**TPA03**  
18-02-2020

**19-01**





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FOR TOWN PLANNING APPLICATION  
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NO.	DATE	REVISION
1	08/13	EL ELEVATIONS, STREETSCAPE ELEVATIONS
2	18.02.2020	REVISIONS

DATE: 18.02.2020  
DRAWN: [Name]  
CHECKED: [Name]  
SCALE: 1:100

**TPA05**  
18-02-2020

# MATERIALS AND FINISHES SCHEDULE

Received  
25/02/2020

ROOF:	"ZINCALUME" STEEL ROOFING SHEET, AND/OR SIMILAR	GARAGE DOOR:	ROLLER DOOR, SELECT COLOUR/BOND COLOUR "DESNAU" OR SIMILAR
WALLS:	<ol style="list-style-type: none"> <li>① FACE BRICKWORK, SELECT AUSTRAL BRICKS INDUSTRIAL CHAR" OR SIMILAR</li> <li>② CEMENT RENDER, SELECT DULUX COLOUR "SUNMIST" OR SIMILAR</li> <li>③ CEMENT RENDER, SELECT DULUX COLOUR "SILKWORT" OR SIMILAR</li> <li>④ SELECT COMPOSITE TIMBER CLADDING, INNOVWOOD SHIRLAP CLADDING, "IRON BARK" OR SIMILAR</li> <li>⑤ SELECT CLADDING, JAMES HARDIE AXON, COLOUR "LEXICON HALF" OR SIMILAR</li> <li>⑥ SELECT CLADDING, JAMES HARDIE AXON, COLOUR "TIMBER" OR SIMILAR</li> <li>⑦ CEMENT RENDER, SELECT DULUX COLOUR "GREY DAZE" OR SIMILAR</li> </ol>	WINDOWS:	ALUMINIUM FRAMED WINDOWS, BLACK ANODISED
FEATURE FRAMES		GUTTERS AND DOWNPIPES:	SHEET METAL, SELECT DULUX COLOUR SPECIFIER "MONUMENT" OR SIMILAR
		FRONT DOOR:	TIMBER DOOR, SELECT COLOUR
		DRIVEWAY:	COLOURED CONCRETE DRIVEWAY - "LIGHT GREY"

5)		ROOFING
6)		1)
7)		2)
		3)
		4)

GARAGE DOOR

**ADVERTISED PLAN**  
Application No. P857/2019

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**R E D B E A R**  
L L P  
ARCHITECTS

**S U M M I T V E S T**  
L L P

181 GREENSHAW STREET, GREENSBOROUGH  
FOR TOWN PLANNING APPLICATION

**PROPOSED RESIDENTIAL DEVELOPMENT**

SUMMITVEST PTY LTD

DATE: 18-02-2020

PLAN NO: JB19-01



**RED E A R**  
**S U M M I T V E S T**

**PROPOSED RESIDENTIAL DEVELOPMENT**  
161 GRIMSHAW STREET, GREENSBROUGH  
FOR TOWN PLANNING APPLICATION  
SUMMITVEST PTY LTD

**REVISIONS:**

NO.	DATE	DESCRIPTION
1	07/13	REVISIONS

**SCALE:** 1:500

**DATE:** 18-02-2020

**PROJECT:** TPA07

**ADVERTISED PLAN**

**19-01**

**18-02-2020**



STANDARD PLAN TO BE SUBMITTED TO THE TOWN ENGINEER FOR REVIEW AND APPROVAL. THIS PLAN IS NOT TO BE USED FOR CONSTRUCTION WITHOUT THE TOWN ENGINEER'S APPROVAL.

PROPOSED RESIDENTIAL DEVELOPMENT  
161 GRIMSHAW STREET, GREENSBOROUGH  
FOR TOWN PLANNING APPLICATION  
SUMMITVEST PTY LTD

NO.	DATE	REVISIONS
1	08/13	ISSUED FOR TOWN PLANNING APPLICATION

DESIGNED BY: **TPA08**  
DRAWN BY: **TPA08**  
CHECKED BY: **TPA08**  
DATE: 08/13

ADVERTISED PLAN  
Application No. 18-02-2020-0019  
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19-01  
18-02-2020

**A** PROPOSED BUILDING SHALL BE CONSTRUCTED TO THE FULL HEIGHT AND PERMITTED TO DEVELOPMENT TO BE DETERMINED BY THE TOWN ENGINEER.

**B** THE PROPOSED BUILDING SHALL BE CONSTRUCTED TO THE FULL HEIGHT AND PERMITTED TO DEVELOPMENT TO BE DETERMINED BY THE TOWN ENGINEER.

**C** THE PROPOSED BUILDING SHALL BE CONSTRUCTED TO THE FULL HEIGHT AND PERMITTED TO DEVELOPMENT TO BE DETERMINED BY THE TOWN ENGINEER.

**D** THE PROPOSED BUILDING SHALL BE CONSTRUCTED TO THE FULL HEIGHT AND PERMITTED TO DEVELOPMENT TO BE DETERMINED BY THE TOWN ENGINEER.

**E** THE PROPOSED BUILDING SHALL BE CONSTRUCTED TO THE FULL HEIGHT AND PERMITTED TO DEVELOPMENT TO BE DETERMINED BY THE TOWN ENGINEER.

**F** THE PROPOSED BUILDING SHALL BE CONSTRUCTED TO THE FULL HEIGHT AND PERMITTED TO DEVELOPMENT TO BE DETERMINED BY THE TOWN ENGINEER.

**G** THE PROPOSED BUILDING SHALL BE CONSTRUCTED TO THE FULL HEIGHT AND PERMITTED TO DEVELOPMENT TO BE DETERMINED BY THE TOWN ENGINEER.

**H** THE PROPOSED BUILDING SHALL BE CONSTRUCTED TO THE FULL HEIGHT AND PERMITTED TO DEVELOPMENT TO BE DETERMINED BY THE TOWN ENGINEER.

**I** THE PROPOSED BUILDING SHALL BE CONSTRUCTED TO THE FULL HEIGHT AND PERMITTED TO DEVELOPMENT TO BE DETERMINED BY THE TOWN ENGINEER.

**DESIGN RESPONSE**

THE DESIGN RESPONSE IS A STATEMENT OF THE DESIGNER'S INTENTIONS TO ADDRESS THE DESIGN RESPONSE CRITERIA. THE DESIGNER HAS CONSIDERED THE DESIGN RESPONSE CRITERIA AND HAS PROVIDED A STATEMENT OF HOW THE DESIGN RESPONSE CRITERIA WILL BE MET.

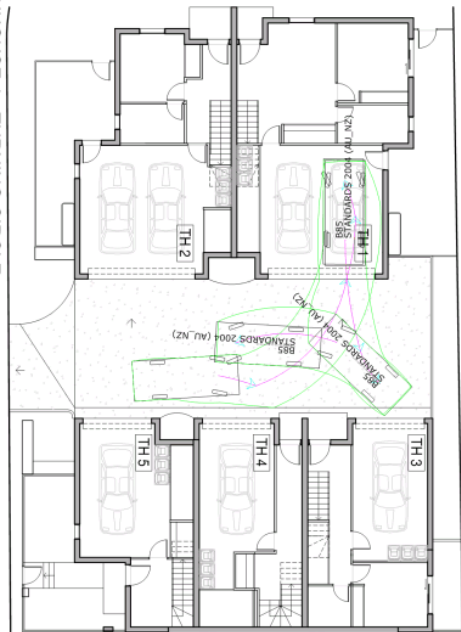
**GENERAL NOTES**

THE DESIGNER HAS CONSIDERED THE DESIGN RESPONSE CRITERIA AND HAS PROVIDED A STATEMENT OF HOW THE DESIGN RESPONSE CRITERIA WILL BE MET. THE DESIGNER HAS CONSIDERED THE DESIGN RESPONSE CRITERIA AND HAS PROVIDED A STATEMENT OF HOW THE DESIGN RESPONSE CRITERIA WILL BE MET.

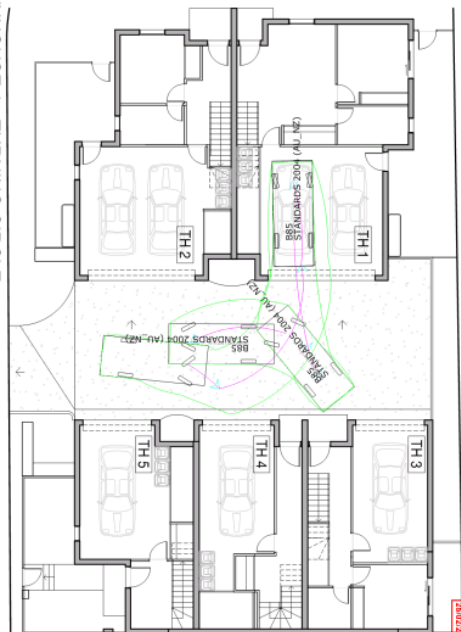




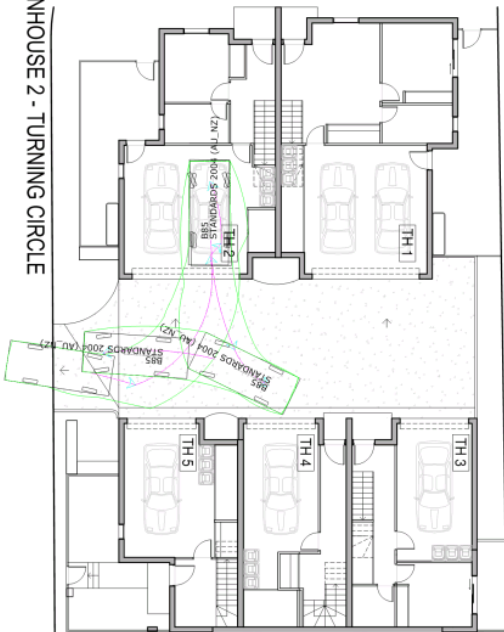




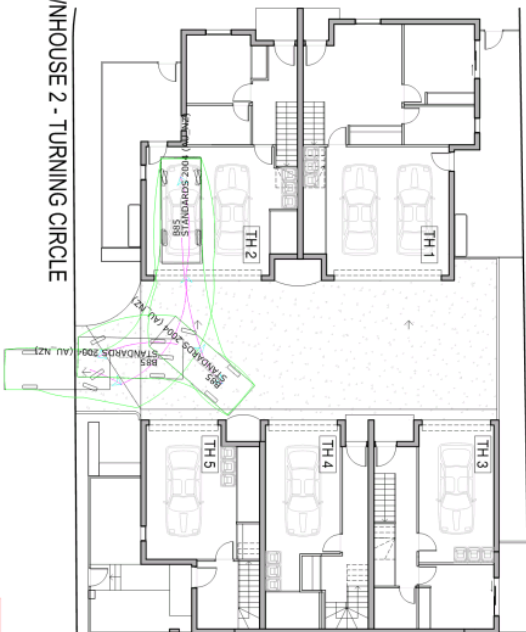
TOWNHOUSE 1 - TURNING CIRCLE



TOWNHOUSE 1 - TURNING CIRCLE



TOWNHOUSE 2 - TURNING CIRCLE



TOWNHOUSE 2 - TURNING CIRCLE



RED BEAR CONSULTANTS  
181 GARDINER STREET, GREENSBOROUGH  
TEL: 077 781 1000  
WWW.REDBEARCONSULTANTS.CO.NZ

SUMMITVEST  
181 GARDINER STREET, GREENSBOROUGH  
TEL: 077 781 1000  
WWW.SUMMITVEST.CO.NZ

PROPOSED RESIDENTIAL DEVELOPMENT  
181 GARDINER STREET, GREENSBOROUGH  
FOR TOWN PLANNING APPLICATION  
SUMMITVEST PTY LTD

NO.	DATE	DESCRIPTION
1	11/13	ISSUED FOR COMMENT
2	11/13	REVISED
3	11/13	REVISED
4	11/13	REVISED
5	11/13	REVISED
6	11/13	REVISED
7	11/13	REVISED
8	11/13	REVISED
9	11/13	REVISED
10	11/13	REVISED
11	11/13	REVISED
12	11/13	REVISED
13	11/13	REVISED
14	11/13	REVISED
15	11/13	REVISED
16	11/13	REVISED
17	11/13	REVISED
18	11/13	REVISED
19	11/13	REVISED
20	11/13	REVISED
21	11/13	REVISED
22	11/13	REVISED
23	11/13	REVISED
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47	11/13	REVISED
48	11/13	REVISED
49	11/13	REVISED
50	11/13	REVISED

TURNING CIRCLE ANALYSIS 01  
11/13  
RL

ADVERTISED PLAN  
Application No. 1807/2019  
TPA11  
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**TOWNHOUSE 3 - TURNING CIRCLE**

**TOWNHOUSE 4 - TURNING CIRCLE**

**TOWNHOUSE 5 - TURNING CIRCLE**

**REDBEAR SUMMITVEST**

**PROPOSED RESIDENTIAL DEVELOPMENT**  
161 GARDINSHAW STREET, GREENSBOROUGH

FOR TOWN PLANNING APPLICATION

**SUMMITVEST PTY LTD**

**TURNING CIRCLE ANALYSIS 02**

DATE: 12/13

REVISION: RL

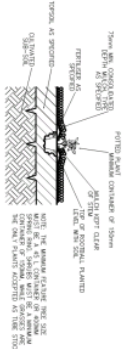
PROJECT: TPA12

APPROVED BY: [Signature]

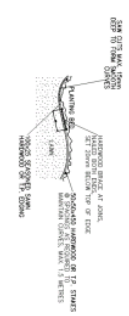
DATE: 18-02-2020

LANDSCAPE NOTES

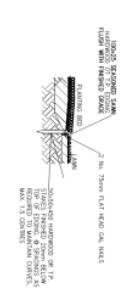
1. THE LANDSCAPE PLAN IS BASED ON THE ARCHITECT'S SITEWORK AND IS TO BE USED FOR THE DEVELOPER'S REFERENCE ONLY.
2. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE PROVISION OF ALL MATERIALS AND LABOUR FOR THE IMPLEMENTATION OF THE LANDSCAPE PLAN AND THE COST OF THE WORK SHALL BE THE RESPONSIBILITY OF THE DEVELOPER. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE PROVISION OF ALL MATERIALS AND LABOUR FOR THE IMPLEMENTATION OF THE LANDSCAPE PLAN AND THE COST OF THE WORK SHALL BE THE RESPONSIBILITY OF THE DEVELOPER.
3. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE PROVISION OF ALL MATERIALS AND LABOUR FOR THE IMPLEMENTATION OF THE LANDSCAPE PLAN AND THE COST OF THE WORK SHALL BE THE RESPONSIBILITY OF THE DEVELOPER.
4. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE PROVISION OF ALL MATERIALS AND LABOUR FOR THE IMPLEMENTATION OF THE LANDSCAPE PLAN AND THE COST OF THE WORK SHALL BE THE RESPONSIBILITY OF THE DEVELOPER.
5. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE PROVISION OF ALL MATERIALS AND LABOUR FOR THE IMPLEMENTATION OF THE LANDSCAPE PLAN AND THE COST OF THE WORK SHALL BE THE RESPONSIBILITY OF THE DEVELOPER.
6. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE PROVISION OF ALL MATERIALS AND LABOUR FOR THE IMPLEMENTATION OF THE LANDSCAPE PLAN AND THE COST OF THE WORK SHALL BE THE RESPONSIBILITY OF THE DEVELOPER.
7. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE PROVISION OF ALL MATERIALS AND LABOUR FOR THE IMPLEMENTATION OF THE LANDSCAPE PLAN AND THE COST OF THE WORK SHALL BE THE RESPONSIBILITY OF THE DEVELOPER.
8. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE PROVISION OF ALL MATERIALS AND LABOUR FOR THE IMPLEMENTATION OF THE LANDSCAPE PLAN AND THE COST OF THE WORK SHALL BE THE RESPONSIBILITY OF THE DEVELOPER.
9. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE PROVISION OF ALL MATERIALS AND LABOUR FOR THE IMPLEMENTATION OF THE LANDSCAPE PLAN AND THE COST OF THE WORK SHALL BE THE RESPONSIBILITY OF THE DEVELOPER.
10. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE PROVISION OF ALL MATERIALS AND LABOUR FOR THE IMPLEMENTATION OF THE LANDSCAPE PLAN AND THE COST OF THE WORK SHALL BE THE RESPONSIBILITY OF THE DEVELOPER.
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15. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE PROVISION OF ALL MATERIALS AND LABOUR FOR THE IMPLEMENTATION OF THE LANDSCAPE PLAN AND THE COST OF THE WORK SHALL BE THE RESPONSIBILITY OF THE DEVELOPER.
16. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE PROVISION OF ALL MATERIALS AND LABOUR FOR THE IMPLEMENTATION OF THE LANDSCAPE PLAN AND THE COST OF THE WORK SHALL BE THE RESPONSIBILITY OF THE DEVELOPER.



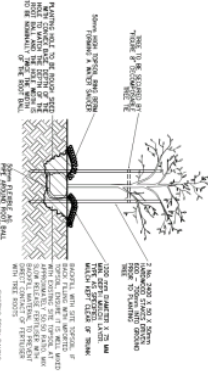
TUBE/POT PLANTING



TIMBER EDGE PLAN



TIMBER EDGE SECTION



ADVANCED TREE PLANTING



PROPOSED RESIDENTIAL DEVELOPMENT  
161 GRIMSHAW STREET, GREENSBOROUGH  
FOR TOWN PLANNING APPLICATION  
SUMMITVEST PTY LTD

NO.	DATE	DESCRIPTION
1	13/11/13	PLANTING CONCEPT PLAN
2	18/02/2020	Advertisement Plan

TPA13  
18-02-2020  
Advertisement Plan



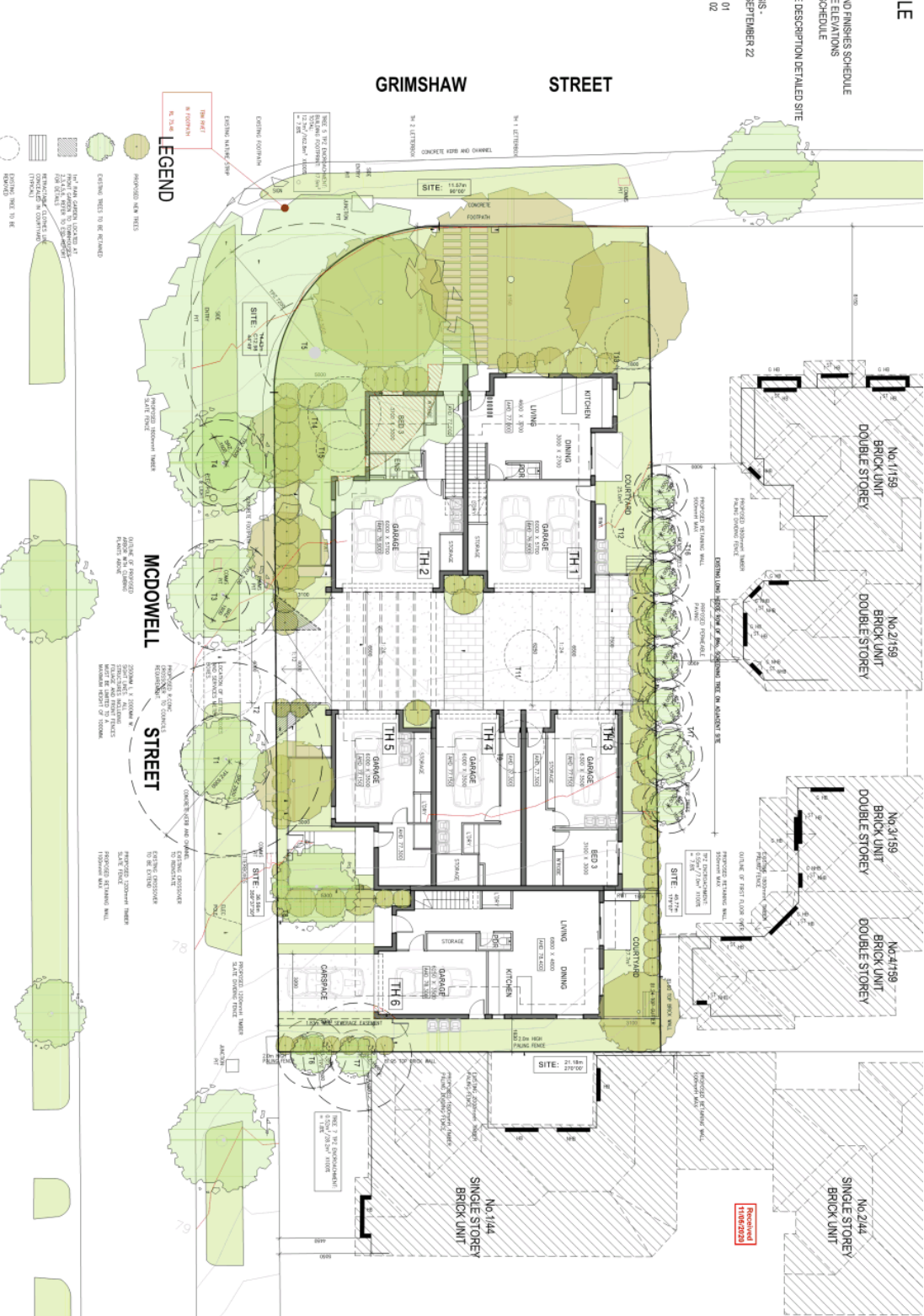
### DRAWING SCHEDULE

- TPA 01 GROUND FLOOR PLAN
- TPA 02 FIRST FLOOR PLAN
- TPA 03 SECOND FLOOR PLAN
- TPA 04 ELEVATIONS, MATERIALS AND FINISHES SCHEDULE
- TPA 05 ELEVATIONS, STREETSCAPE ELEVATIONS
- TPA 06 MATERIALS AND FINISHES SCHEDULE
- TPA 07 NEIGHBOURHOOD AND SITE DESCRIPTION DETAILED SITE DESIGN RESPONSE
- TPA 08 DETAILED SITE ANALYSIS - DESIGN RESPONSE
- TPA 09 DETAILED SHADOW ANALYSIS - 9:00AM, 12 NOON, 3:00 PM, SEPTEMBER 22
- TPA 10 GARDEN AREA ANALYSIS
- TPA 11 TURNING CIRCLE ANALYSIS (1)
- TPA 12 TURNING CIRCLE ANALYSIS (2)
- TPA 13 PLANNING CONCEPT PLAN

### AREA ANALYSIS

TH1	TH2	TH3	TH4	TH5	TH6
CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE
70.1	70.1	70.1	70.1	70.1	70.1
TOTAL BUILDING AREA	TOTAL BUILDING AREA	TOTAL BUILDING AREA	TOTAL BUILDING AREA	TOTAL BUILDING AREA	TOTAL BUILDING AREA
60.2	60.2	60.2	60.2	60.2	60.2
TOTAL AREA	TOTAL AREA	TOTAL AREA	TOTAL AREA	TOTAL AREA	TOTAL AREA
130.3	130.3	130.3	130.3	130.3	130.3

TH1	TH2	TH3	TH4	TH5	TH6
CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE
70.1	70.1	70.1	70.1	70.1	70.1
TOTAL BUILDING AREA	TOTAL BUILDING AREA	TOTAL BUILDING AREA	TOTAL BUILDING AREA	TOTAL BUILDING AREA	TOTAL BUILDING AREA
60.2	60.2	60.2	60.2	60.2	60.2
TOTAL AREA	TOTAL AREA	TOTAL AREA	TOTAL AREA	TOTAL AREA	TOTAL AREA
130.3	130.3	130.3	130.3	130.3	130.3



**PROPOSED RESIDENTIAL DEVELOPMENT**  
 161 GRIMSHAW STREET, GREENSBOROUGH  
 FOR TOWN PLANNING APPLICATION  
 SUMMITVEST PTY LTD

**GROUND FLOOR PLAN**

TPA01

07/13

08-05-2020

JB19-01



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SUMMITVEST

PROPOSED RESIDENTIAL DEVELOPMENT  
161 GRIMSHAW STREET, GREENSBOROUGH  
FOR TOWN PLANNING APPLICATION

SUMMITVEST PTY LTD

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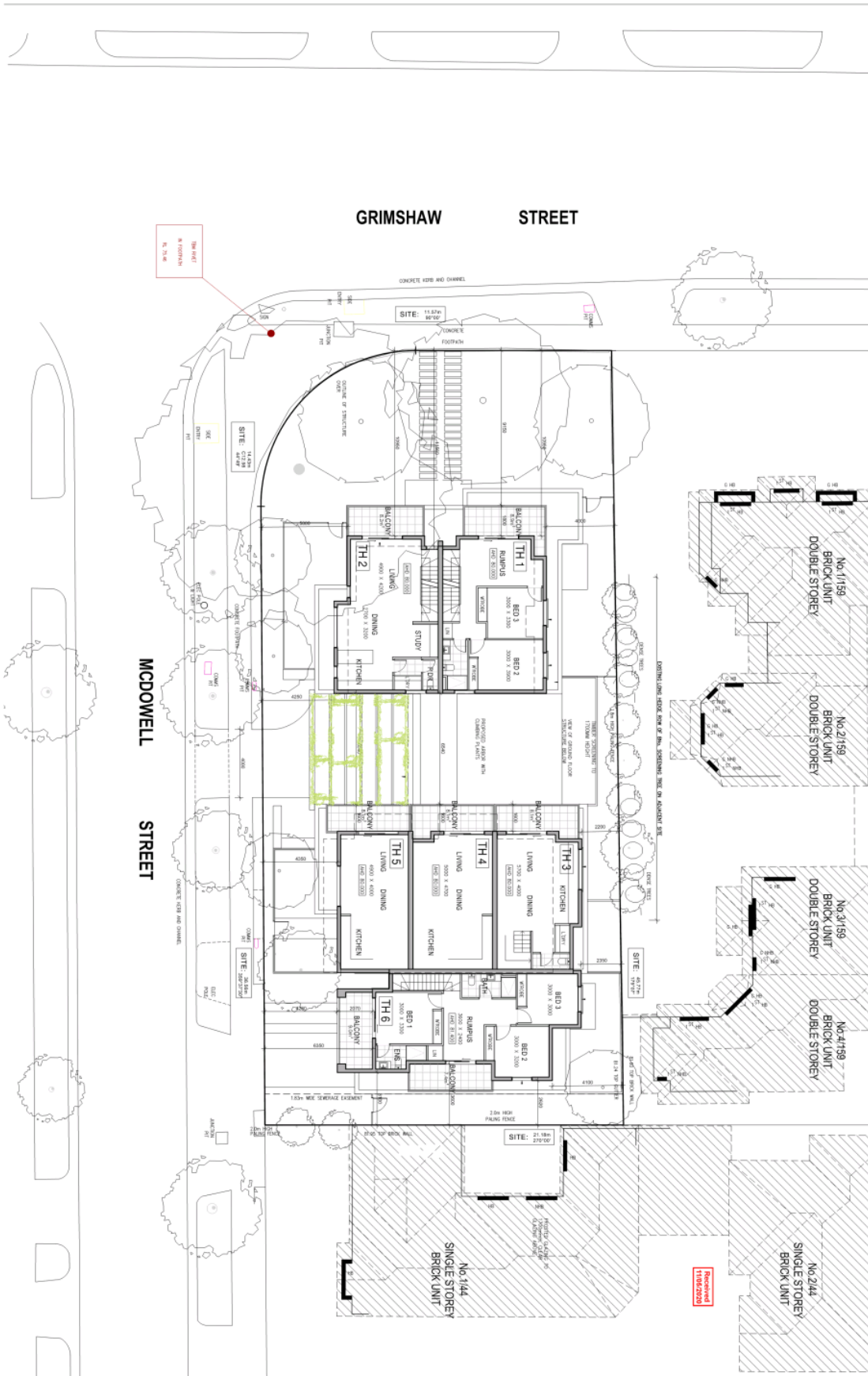
DATE: 02/13


SCALE: RL

TPA02

08-05-2020

JB19-01





**RED BEAR CONSULTANTS**  
SUMMITVEST

181 GRIMSHAW STREET, GREENSBOROUGH  
SUMMITVEST PTY LTD

**PROPOSED RESIDENTIAL DEVELOPMENT**  
181 GRIMSHAW STREET, GREENSBOROUGH  
FOR TOWN PLANNING APPLICATION

SUMMITVEST PTY LTD

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**PROPOSED RESIDENTIAL DEVELOPMENT**  
181 GRIMSHAW STREET, GREENSBOROUGH  
FOR TOWN PLANNING APPLICATION

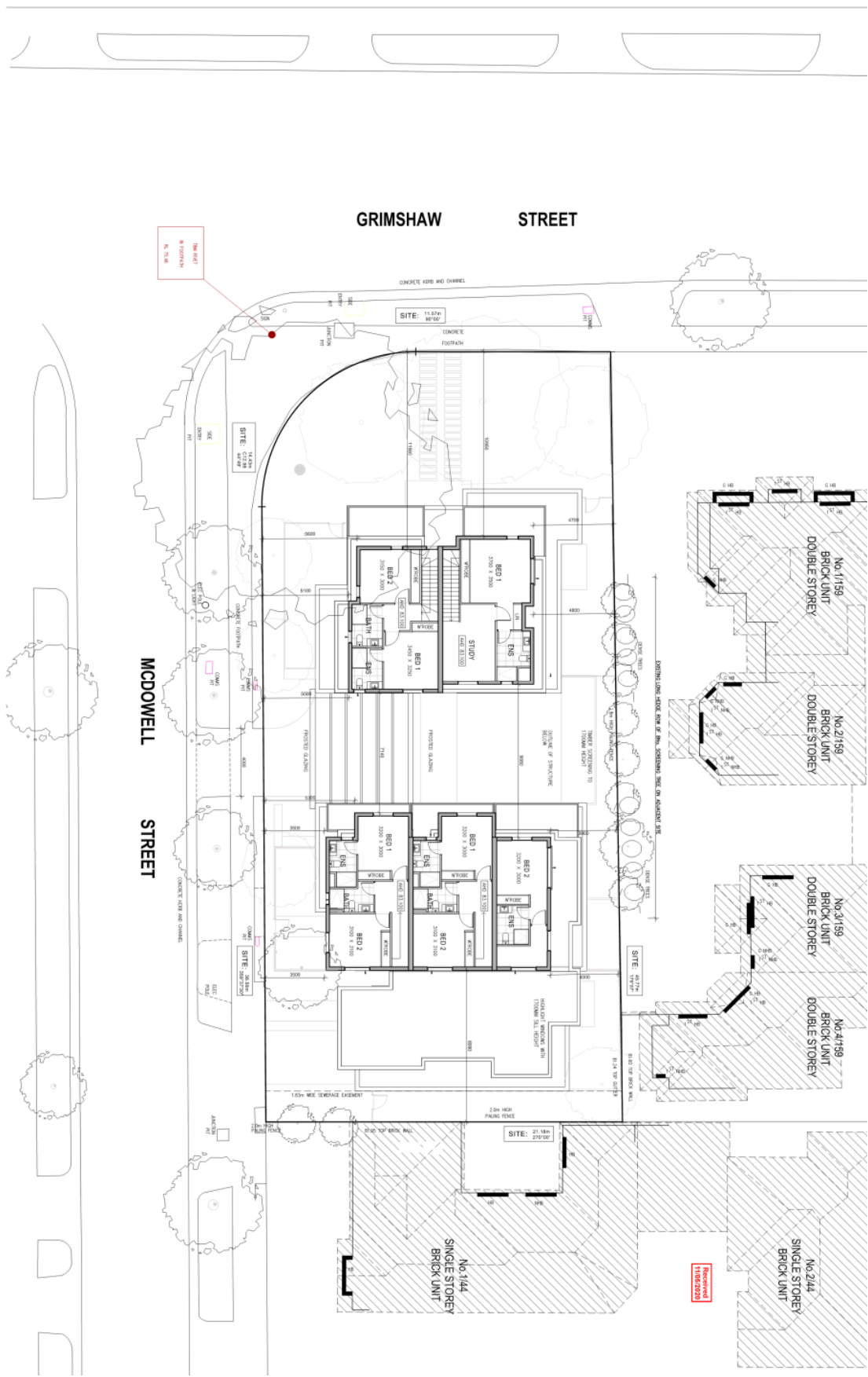
SUMMITVEST PTY LTD

**SECOND FLOOR PLAN**

DATE: 01/13  
SCALE: RL

TPA03  
08-05-2020

JB19-01





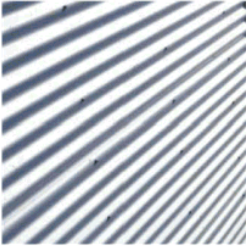
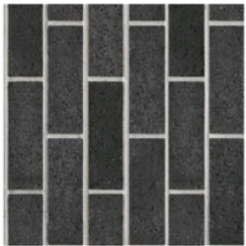









# MATERIALS AND FINISHES SCHEDULE

ROOF:	"ZINCALUME" STEEL ROOFING SHEET, AND/OR SIMILAR	GARAGE DOOR:	ROLLER DOOR, SELECT COLOUR/BOND COLOUR "DIESHAD" OR SIMILAR
WALLS:	<ol style="list-style-type: none"> <li>① FACE BRICKWORK, SELECT AUSTRAL BRICKS INDUSTRIAL CHAR" OR SIMILAR</li> <li>② CEMENT RENDER, SELECT DULUX COLOUR "SUNMIST" OR SIMILAR</li> <li>③ CEMENT RENDER, SELECT DULUX COLOUR "SILKWORT" OR SIMILAR</li> <li>④ SELECT COMPOSITE TIMBER CLADDING, INNOVWOOD SHIRLAP CLADDING, "IRON BARK" OR SIMILAR</li> <li>⑤ SELECT CLADDING, JAMES HARDIE AXON, COLOUR "LEXICON HALF" OR SIMILAR</li> <li>⑥ SELECT CLADDING, JAMES HARDIE AXON, COLOUR "TIMBER" OR SIMILAR</li> <li>⑦ CEMENT RENDER, SELECT DULUX COLOUR "GREY DAZE" OR SIMILAR</li> </ol>	WINDOWS:	ALUMINIUM FRAMED WINDOWS, BLACK ANODISED
FEATURE FRAMES		GUTTERS AND DOWNPIPES:	SHEET METAL, SELECT DULUX COLOUR SPECIFIER "MONUMENT" OR SIMILAR
		FRONT DOOR:	TIMBER DOOR, SELECT COLOUR
		DRIVEWAY:	COLOURED CONCRETE DRIVEWAY - "LIGHT GREY"

Received  
11/05/2020

<p>5) </p> <p>ROOFING</p>	<p>1) </p>	<p>2) </p>	<p>3) </p>
<p>6) </p>	<p>7) </p>	<p>GARAGE DOOR</p>	<p>4) </p>



SUMMITVEST PTY LTD  
 100/100 WILSON STREET  
 GREENSBOROUGH VIC 3088  
 TEL: 08 9437 1000  
 WWW.SUMMITVEST.COM.AU

PROPOSED RESIDENTIAL DEVELOPMENT  
 181 GRINSHAW STREET, GREENSBOROUGH  
 FOR TOWN PLANNING APPLICATION  
 SUMMITVEST PTY LTD

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MATERIALS AND FINISHES SCHEDULE  
 DATE: 08/11/13  
 DRAWN BY: RL

TPA06  
 TOTAL NO. OF SHEETS: 08/13  
 DATE: 08-05-2020



JB19-01



**RED BEAR SUMMITVEST**

**PROPOSED RESIDENTIAL DEVELOPMENT**  
161 GRIMSHAW STREET, GREENSBROUGH  
FOR TOWN PLANNING APPLICATION  
SUMMITVEST PTY LTD

**DETAILED SITE ANALYSIS - NEIGHBOURHOOD AND SITE DESCRIPTION**

DATE: 07/13  
SCALE: RL

**TPA07**

JB19-01



**A** PROPOSED BUILDING TO BE CONSIDERED AS A SINGLE STOREY WEATHERBOARD HOUSE TO BE CONSIDERED AS A WEATHERBOARD HOUSE

**B** PROPOSED BUILDING TO BE CONSIDERED AS A WEATHERBOARD HOUSE TO BE CONSIDERED AS A WEATHERBOARD HOUSE

**C** PROPOSED BUILDING TO BE CONSIDERED AS A WEATHERBOARD HOUSE TO BE CONSIDERED AS A WEATHERBOARD HOUSE

**D** PROPOSED BUILDING TO BE CONSIDERED AS A WEATHERBOARD HOUSE TO BE CONSIDERED AS A WEATHERBOARD HOUSE

**E** PROPOSED BUILDING TO BE CONSIDERED AS A WEATHERBOARD HOUSE TO BE CONSIDERED AS A WEATHERBOARD HOUSE

**F** PROPOSED BUILDING TO BE CONSIDERED AS A WEATHERBOARD HOUSE TO BE CONSIDERED AS A WEATHERBOARD HOUSE

**G** PROPOSED BUILDING TO BE CONSIDERED AS A WEATHERBOARD HOUSE TO BE CONSIDERED AS A WEATHERBOARD HOUSE

**H** PROPOSED BUILDING TO BE CONSIDERED AS A WEATHERBOARD HOUSE TO BE CONSIDERED AS A WEATHERBOARD HOUSE

**I** PROPOSED BUILDING TO BE CONSIDERED AS A WEATHERBOARD HOUSE TO BE CONSIDERED AS A WEATHERBOARD HOUSE

**DESIGN RESPONSE**

PROPOSED BUILDING TO BE CONSIDERED AS A WEATHERBOARD HOUSE TO BE CONSIDERED AS A WEATHERBOARD HOUSE

**GENERAL NOTES**

PROPOSED BUILDING TO BE CONSIDERED AS A WEATHERBOARD HOUSE TO BE CONSIDERED AS A WEATHERBOARD HOUSE

**RED BEAR SUMMITVEST**

**PROPOSED RESIDENTIAL DEVELOPMENT**  
161 GRIMSHAW STREET, GREENSBOROUGH  
FOR TOWN PLANNING APPLICATION

**TPA08**

08/13

08-05-2020

**JB19-01**

**R. D. B. E. A. R.**  
S U M M I T V E S T

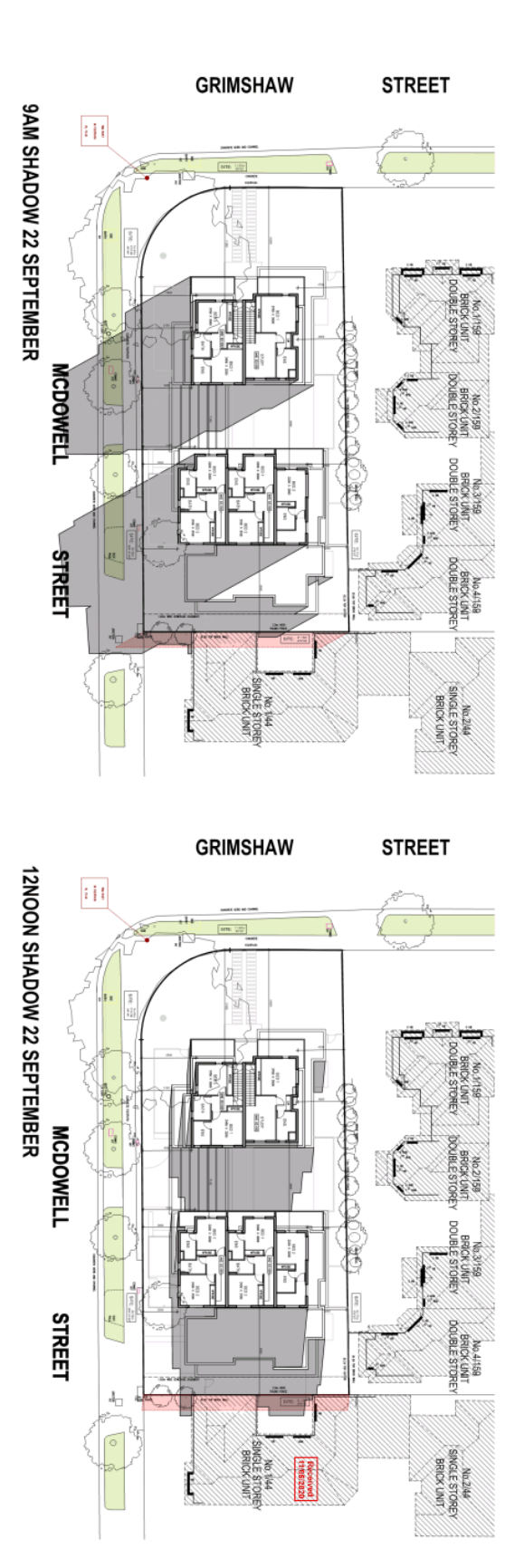
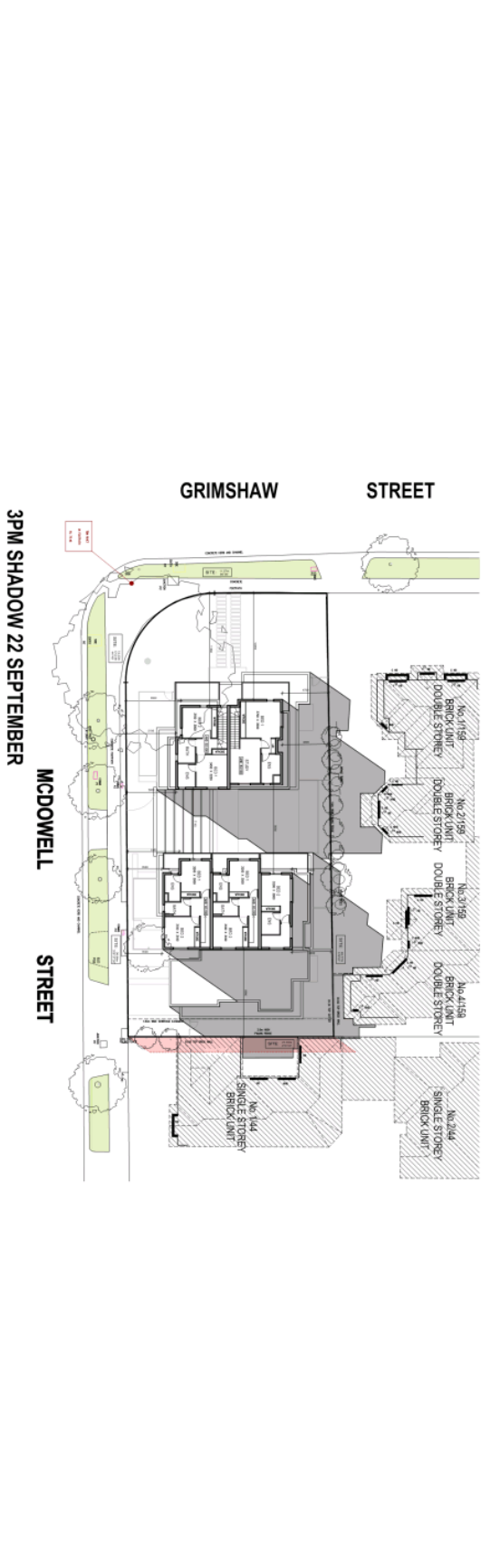
181 GRIMSHAW STREET, GREENSBOROUGH  
S U M M I T V E S T P T Y L T D

PROPOSED RESIDENTIAL DEVELOPMENT  
FOR TOWN PLANNING APPLICATION

99 / 13

08-05-2020

JB19-01



**RED BEAR SUMMITVEST**

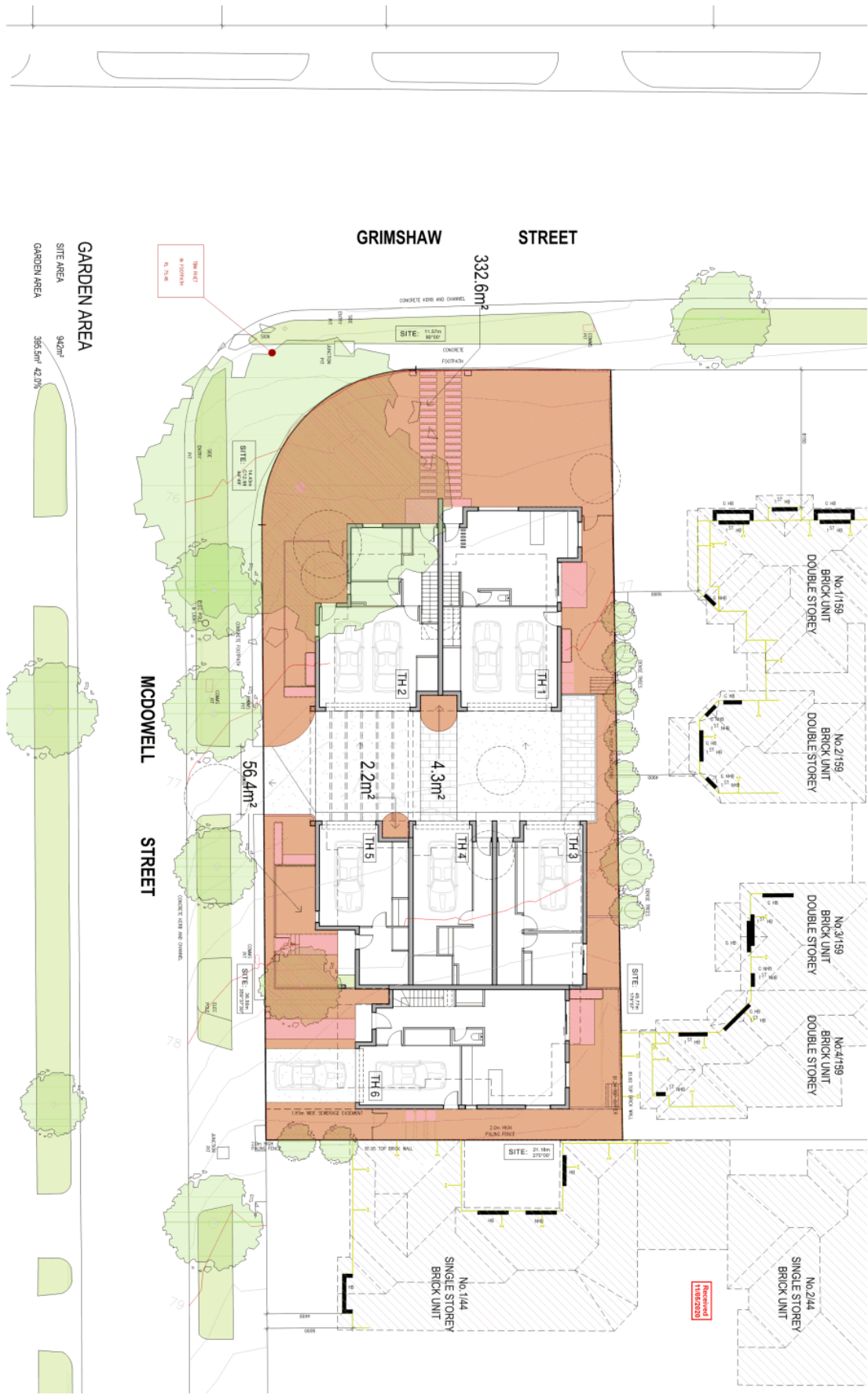
**PROPOSED RESIDENTIAL DEVELOPMENT**  
181 GRIMSHAW STREET, GREENSBOROUGH  
FOR TOWN PLANNING APPLICATION

**GARDEN AREA ANALYSIS**

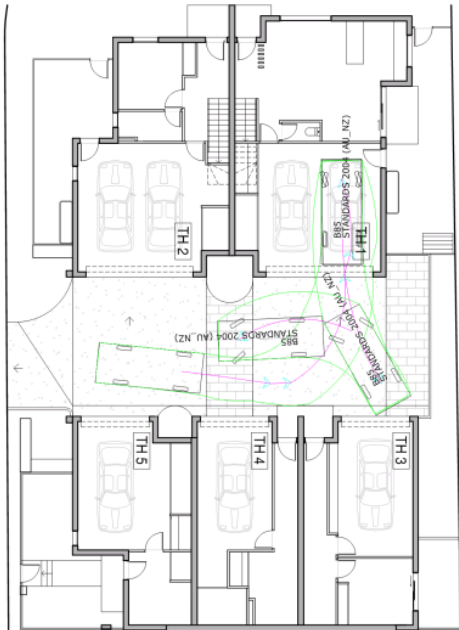
NO.	DATE	REVISIONS
1	10/1/13	ISSUE FOR ADVERTISING
2	08/05/2020	REVISION

TPA10

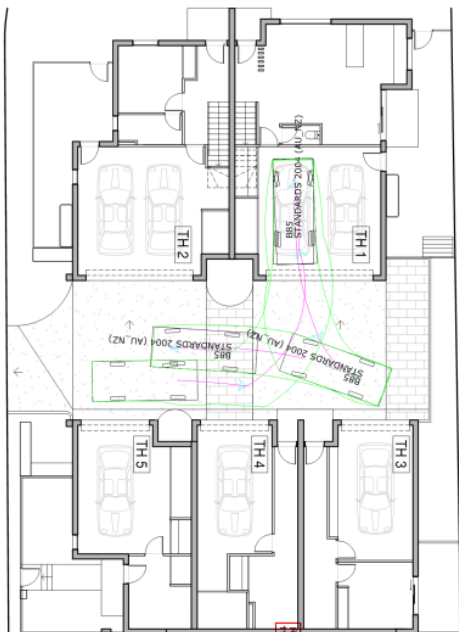
JB19-01



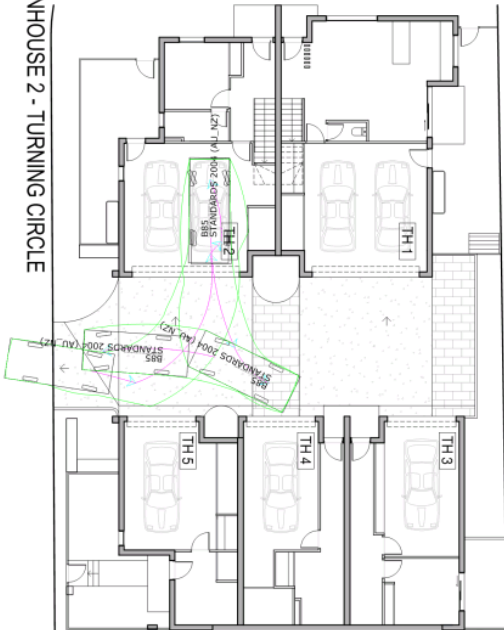
TOWNHOUSE 1 - TURNING CIRCLE



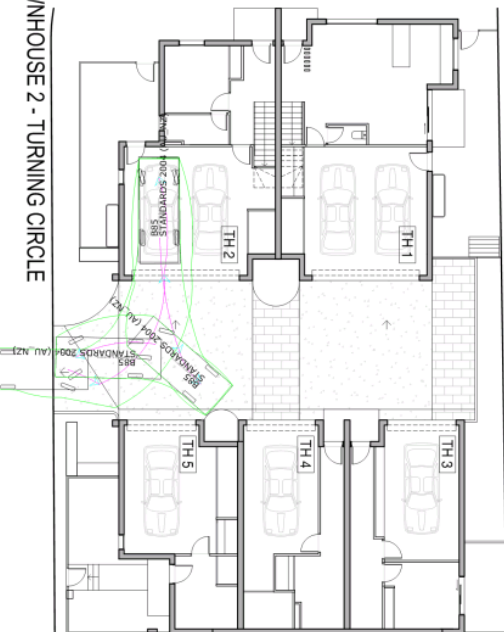
TOWNHOUSE 1 - TURNING CIRCLE



TOWNHOUSE 2 - TURNING CIRCLE



TOWNHOUSE 2 - TURNING CIRCLE






**PROPOSED RESIDENTIAL DEVELOPMENT**  
 161 GARDINSHAW STREET, GREENSBOROUGH  
 FOR TOWN PLANNING APPLICATION  
 SUMMITVEST PTY LTD

TITLE: TURNING CIRCLE ANALYSIS 01  
 DATE: 11/13  
 DRAWN BY: RL  
 CHECKED BY:

PROJECT: TPA11  
 TOTAL SHEETS: 10  
 SHEET NO: 08-05-2020

JB19-01

**TOWNHOUSE 5 - TURNING CIRCLE**

**TOWNHOUSE 3 - TURNING CIRCLE**

**TOWNHOUSE 4 - TURNING CIRCLE**

**REDBEAR SUMMITVEST**

REDA BEAR SUMMITVEST  
181 GARDINSHAW STREET, GREENSBOROUGH  
MOUNTAINVIEW VIC 3023

PROPOSED RESIDENTIAL DEVELOPMENT  
181 GARDINSHAW STREET, GREENSBOROUGH  
FOR TOWN PLANNING APPLICATION

CLIENT: **SUMMITVEST PTY LTD**

DATE: 12/13

PROJECT: **TPA12**

TURNING CIRCLE ANALYSIS 02

DATE: 08-05-2020

JB19-01

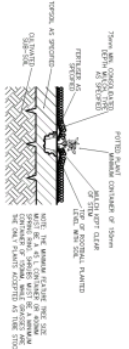


LANDSCAPE NOTES

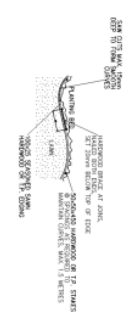
1. THE LANDSCAPE PLAN IS BASED ON THE ARCHITECT'S SITEWORK AND IS TO BE USED FOR THE PROVISION OF PLANTING ONLY.
2. THE PROVISION OF PLANTING IS SUBJECT TO THE APPROVAL OF THE LOCAL AUTHORITY AND THE DESIGN OF PLANTING IS SUBJECT TO THE APPROVAL OF THE LOCAL AUTHORITY AND THE DESIGN OF PLANTING IS SUBJECT TO THE APPROVAL OF THE LOCAL AUTHORITY.
3. PLANTING SHALL BE PROVIDED TO THE DESIGNER'S SATISFACTION AND SHALL BE PROVIDED TO THE DESIGNER'S SATISFACTION AND SHALL BE PROVIDED TO THE DESIGNER'S SATISFACTION.
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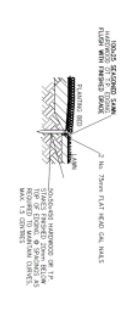
TUBE/POT PLANTING



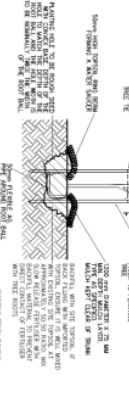
TIMBER EDGE PLAN



TIMBER EDGE SECTION



ADVANCED TREE PLANTING



**RED BEAR SUMMITVEST**

RED BEAR SUMMITVEST  
 181 GRIMSHAW STREET, GREENSBOROUGH  
 TEL: 0114 276 1111  
 WWW.REDBEAR-SUMMITVEST.CO.UK

**PROPOSED RESIDENTIAL DEVELOPMENT**

181 GRIMSHAW STREET, GREENSBOROUGH  
 FOR TOWN PLANNING APPLICATION  
 SUMMITVEST PTY LTD

NO.	DATE	REVISION
1	13/11/13	ISSUED FOR TOWN PLANNING APPLICATION
2	08/05/2020	REVISED FOR TOWN PLANNING APPLICATION

**TPA13**

PLANTING CONCEPT PLAN  
 13/11/13  
 08/05/2020

JB19-01



