

Neighbourhood Character Strategy

Banyule City Council

Approved on 30 July 2012



VERSION CONTROL		
Version	Date	Comment
1	October 2010	Prepared for community consultation between October 2010 and February 2011.
2	30 July 2012	Updated version approved by Council. This has been prepared after considering submissions to version 1 and will inform Planning Scheme Amendment work.

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Executive Summary

This Strategy:

- Is about neighbourhood character in Banyule’s residential areas. It is about the physical features of a neighbourhood such as buildings, trees and the landscape.
- Is Council’s policy framework for supporting housing change in residential areas within an identified desired future neighbourhood character.
- Helps to implement Banyule’s Housing Strategy 2009 which is Council’s long term plan for housing change to 2030.
- Replaces the Neighbourhood Character Strategy prepared in 1999.
- Is guided by the State Planning Policy Framework in the Banyule Planning Scheme.
- Includes an Implementation Plan to guide ongoing work for Neighbourhood Character and related projects. Priority work is for a Planning Scheme Amendment.
- Includes Strategic Precinct Statements that describe the desired future character and objectives for each of the 13 neighbourhood character precincts.

This Strategy is not:

- Planning policy until it is included in the *Banyule Planning Scheme*. To do this Council will prepare a *Planning Scheme Amendment*. Once prepared, the proposed changes to the Planning Scheme will be made available for public comment.
- A detailed design policy. The details will follow in the Planning Scheme Amendment.

The Objectives are:

Cultural Heritage

- To protect all Aboriginal sites, places and objects located within the municipality and to protect and/or enhance the broader Aboriginal cultural heritage values associated with that site, place or object.
- To conserve, protect and enhance heritage places of identified historical, architectural, social, scientific or spiritual significance.

Land Use

Housing

- To guide new dwellings to preferred locations, while continuing to promote appropriate urban consolidation to satisfy housing demand.
- To provide a greater diversity of affordable housing opportunities in appropriate locations to address the needs of those seeking to reside in Banyule.
- To improve housing affordability.

Commercial

- To provide appropriate opportunities for business activities outside Activity Centres.

Industrial

- To ensure that industry does not detrimentally affect the amenity and environment of the municipality.

Natural Environment

- To protect, conserve and enhance areas of floral, faunal and habitat significance.
- To protect and enhance the natural values of waterways and wetlands.
- To protect and improve regional and local significant ridgelines.

Built Environment

- To provide a safe, attractive and high-quality built environment.
- To ensure that development respects and contributes to the desired future character of residential neighbourhoods and the identity of Activity Centres, in a manner that supports varying degrees of housing change.
- To encourage a built form that delivers more environmentally sustainable construction.
- To increase the diversity of housing types and promote new housing that meets the needs of the broader community in a manner that respects and contributes to the desired future character of residential neighbourhoods and identity of Activity Centres.

Transport and Infrastructure

- To reduce of the detrimental effects of transport on amenity.
- To reduce of the detrimental effects of transport on the natural environment of Banyule.

What Happens Next?

- This updated draft will help support planning scheme amendments associated with Neighbourhood Character.

1. Introduction

1.1 Title

Neighbourhood Character Strategy

1.2 Purpose

To provide Council's strategic policy framework for supporting housing change in residential areas within a desired future neighbourhood character.

This Strategy relates to existing and future residentially zoned land (in the Banyule Planning Scheme) as well as other land where residential land use is permitted by the provisions of the relevant zone.

1.3 Definitions

What is Neighbourhood Character?

People have widely differing meanings to the term 'neighbourhood character'. For many, character is about the people who live in the area; for others it is the features of the area, such as closeness to shops or transport, how much open space or traffic there is and car parking. For others it also includes the smells, sounds and colours they experience in their neighbourhood.

As this Strategy will primarily set out actions to change the planning scheme, the definition of neighbourhood character will focus on the physical aspects of character that are capable of being directly described by the Planning Scheme. Fundamentally we are aiming to answer the question: How the buildings 'sit' in their landscape or streetscape?

Neighbourhood character means the way in which buildings, vegetation and the topography, in both the private and public ownership, relate to each other. It's what makes one place different from another. The way these characteristics relate to each other, produces a visual sense of place. Some characteristics are more important than others in creating this distinctive character.

The wider aspects of neighbourhood character may be subject of other Council projects and policies. This includes:

- Car Parking Policy and Strategy
- Integrated Transport Strategy
- Public Open Space Strategy
- Heritage Policy and Plan (under development)
- Housing Strategy
- Activity Centre structure planning

2. Background

2.1 Banyule in Context

Banyule is located between 7 and 21 kilometres north-east of central Melbourne and is made up of 21 suburbs. The City covers an area of about 63 square kilometres and is bordered along the southeast by the Yarra River and in the west by the Darebin Creek.

The City is primarily a residential area with neighbourhoods that surround Activity Centres. While separate houses dominate, increasing numbers of semi-detached houses, townhouses and units are being built.

Banyule's residential areas, particularly the quality and contribution made by *Significant* and *Substantial* trees are highly regarded by Council and the community. For instances when a planning permit is needed for residential land use in the Banyule Planning Scheme or for vegetation removal or improvement, planning policy and guidelines can help to protect and improve these areas and their vegetation.



More information on the makeup of Banyule's housing stock is given in Council's Community Profile. See: <http://profile.id.com.au/Default.aspx?id=132>

2.2 Policy Context

Banyule City Plan 2009 – 2013

The *Banyule City Plan 2009 – 2013* includes five key themes for People, Planet, Place, Prosperity and Participation. 'Place' is about ensuring that the buildings, infrastructure, places and spaces in which we live, shop, work and play enhance our sense of wellbeing and belonging. Relevant to this Strategy is the key direction to "support the character of neighbourhoods and guide growth to accessible places".

Banyule Planning Scheme

The *State Planning Policy Framework* is included in the Banyule Planning Scheme. It provides policy direction on sustainable development, housing, housing growth, character, landscape, natural environment, heritage and cultural identity.

The Local Planning Policy Framework is also in the Banyule Planning Scheme and includes the Municipal Strategic Statement and local planning policies. Council is able to explore changes to this local framework. Changes have to be consistent with the State Planning Policy Framework if they are to be supported by the Minister for Planning.

ResCode is the part of the Banyule Planning Scheme that provides detailed design policy and standards for new residential development. *ResCode* applies to all Planning Schemes

in Victoria. It describes various design themes such as site coverage, street setbacks distances, building heights, side and rear setbacks, fence heights, private open space requirements, overshadowing. ResCode affects all Planning Schemes in Victoria. There are some limited opportunities for Council to add local variations to ResCode. Any changes have to be supported by the Minister for Planning.

Banyule Housing Strategy

The *Banyule Housing Strategy* was adopted in March 2009. The Strategy includes five themes:

- Sustainability
- Affordability
- Diversity
- Character
- Infrastructure, Services and Transport

A goal under ‘Character’ is to protect, enhance and achieve a sustainable neighbourhood character that reflects the aspirations of the local community.

Council has made substantial progress to improve the Banyule Planning Scheme with Amendment C63 to implement the Housing Strategy. Amendment C63 improved the Municipal Strategic Strategy to include a Residential Areas Framework and an indicative Housing Framework Map. The Residential Areas Framework describes the vision for the different residential areas. The Housing Framework Map shows the indicative location of each Residential Area that is referenced in the framework.

Activity Centre Structure Plans

Structure plans are land use and development plans that guide the type and scale of change in and around the activity centres. To date, Council has prepared structure plans for the Heidelberg Major and Specialist Activity Centre and Greensborough Principal Activity Centre. A structure plan is also being prepared for Ivanhoe Major Activity Centre and an Urban Design Framework and Masterplan has been created for the Bell Street Mall. They are prepared in consultation with local residents, businesses and users of the centres. Subsequent changes to the Planning Scheme are made to help implement the plans.

Banyule Heritage Policy and Plan (in preparation)

Banyule’s Heritage Policy and Plan is in preparation. It will include Council’s heritage policy and actions including the review of significant heritage places and precincts to explore opportunities for additions to the Heritage Overlay in the Planning Scheme. Implementation of this policy will involve various changes to the Banyule Planning Scheme that have potential to improve the Municipal Strategic Strategy and local policies.

New Residential Zones

The State Government announced six new residential zones for the Victoria Planning Provisions in July 2012. Changes to industrial, commercial and rural zones were also announced.

The six new residential zones intend to remove the existing Residential 1, Residential 2 and Residential 3 zones and replace them with the:

- Residential Growth Zone
- General Residential Zone
- Neighbourhoods Residential Zone

Some alterations are intended for the three other existing residential zones, which are the Mixed Use Zone, Township Zone and Low Density Zone.

Other than the lower density areas in Lower Plenty, all neighbourhoods in Banyule are currently affected by the Residential 1 Zone in the Banyule Planning Scheme. It is not clear how the existing planning scheme zones will be converted into the new zones. On this, the State has said in its Fact Sheets:

After the Government's comment period concludes and the zones are finalised, councils will have 12 months to consider and apply for a conversion of their existing residential zones.

Criteria will be made available to assist councils with the conversion process.

The announcement for new zones means that Council's ongoing work for neighbourhood character will need to be informed by future conversion of zones. During this time, it will be important for Council to have a local planning policy for neighbourhood character, so that local policy guidelines help to inform any conversion and other changes that may be done.



More information on the Policy Context can be found in the Background Report.

2.3 Key Issues

The key issues are:

Cultural Heritage

- Valued heritage features in Banyule, including structures of historical and architectural significance, trees, streetscapes and landscapes, require protection and enhancement.
- Indigenous heritage features, that include a large number of identified existing and potential archaeological sites and scar trees, require protection.
- Opportunities to improve the environmental sustainability of heritage buildings when they are being renovated or restored are often not realised or are misunderstood.

Land Use

Housing

- Achieving a balance between the objectives of protecting residential amenity and providing for desired future neighbourhood character outcomes, on the one hand, and providing for urban consolidation and satisfying housing demand, on the other hand.
- Providing a suite of housing opportunities to ensure that households seeking to reside in Banyule have a choice as to housing type.
- Providing affordable housing, particularly in the private rental market, and encouraging the provision of crisis

Commercial

- The future retail role of many local centres is limited and premises are often used for office and service business purposes. Residential use or redevelopment may be appropriate in centres where commercial viability cannot readily be influenced.

Industrial

- Changes in employment patterns are affecting land use and development planning.

Natural Environment

- Impacts from development, traffic and pollution threaten Banyule's unique environmental assets.
- The rehabilitation and enhancement of remnant habitats is needed for a number of threatened indigenous species. Promoting their survival requires linking areas of natural habitat.
- The natural habitats along the Yarra River, Plenty River and Darebin Creek require rehabilitation to provide adequate buffers from development.
- Storm water quality is critical.

- Banyule has regionally and locally significant ridgelines. The green, tree dominated landscape character of these ridgelines needs to be protected and improved
- Banyule’s significant ridgelines, outside the core of Activity Areas, are under threat from buildings that dominate their landscape and tree removal that diminishes the tree dominated appearance of these urbanised landscapes.

Built Environment

- The provision of a safe, attractive and high quality built environment.
- The significant contribution that vegetation makes to the environmental quality and character of neighbourhoods is often overlooked or misunderstood.
- Significant trees, substantial trees and other vegetation make a contribution to the desired future character of residential neighbourhoods, identity of Activity Centres, landscape character, streetscapes, habitat links and biodiversity.
- Residential neighbourhoods and Activity Centres on the west-side of the Plenty River have fewer trees than those on the east-side of the river. There are opportunities to further protect and improve vegetation on the west-side of the river.
- Various parts of the City will need to accommodate change, due to population growth and the community’s changing housing needs, requiring a desired future neighbourhood character which supports more change in some parts of the City and limited change in other parts.
- Good quality design outcomes are needed to show the benefit of shop top, townhouse and apartment living lifestyles and mix-use living environments.
- Some new development fails to consider the broader role of significant trees, substantial trees and other vegetation as a contributor to; biodiversity, greenhouse gases absorption, water sensitive design and the shading of buildings and spaces.
- Poorly designed development can erode the desired future neighbourhood character and a community’s sense of place.
- Several areas in the City are subject to flood risk or have experienced drainage problems which need to be taken into account when planning for future development and redevelopment.
- Fire prevention measures are necessary in some areas in the vicinity of the Plenty River Gorge having a high to very high rating. Most of the City has a low to moderate fire hazard rating.
- The environmental benefits of buildings that include best practice design, construction and operation for environmentally sustainable design needs to be realised.
- The impact of the urban heat island effect can be managed by improving shade and shelter onto buildings and public places. Tree protection and further planting helps to manage this impact.
- Poorly designed housing contributes to long-term social and economic costs to the community.

Transport and Infrastructure

- The logical and efficient provision, use and maintenance of urban infrastructure must be a central consideration when planning for development and redevelopment.

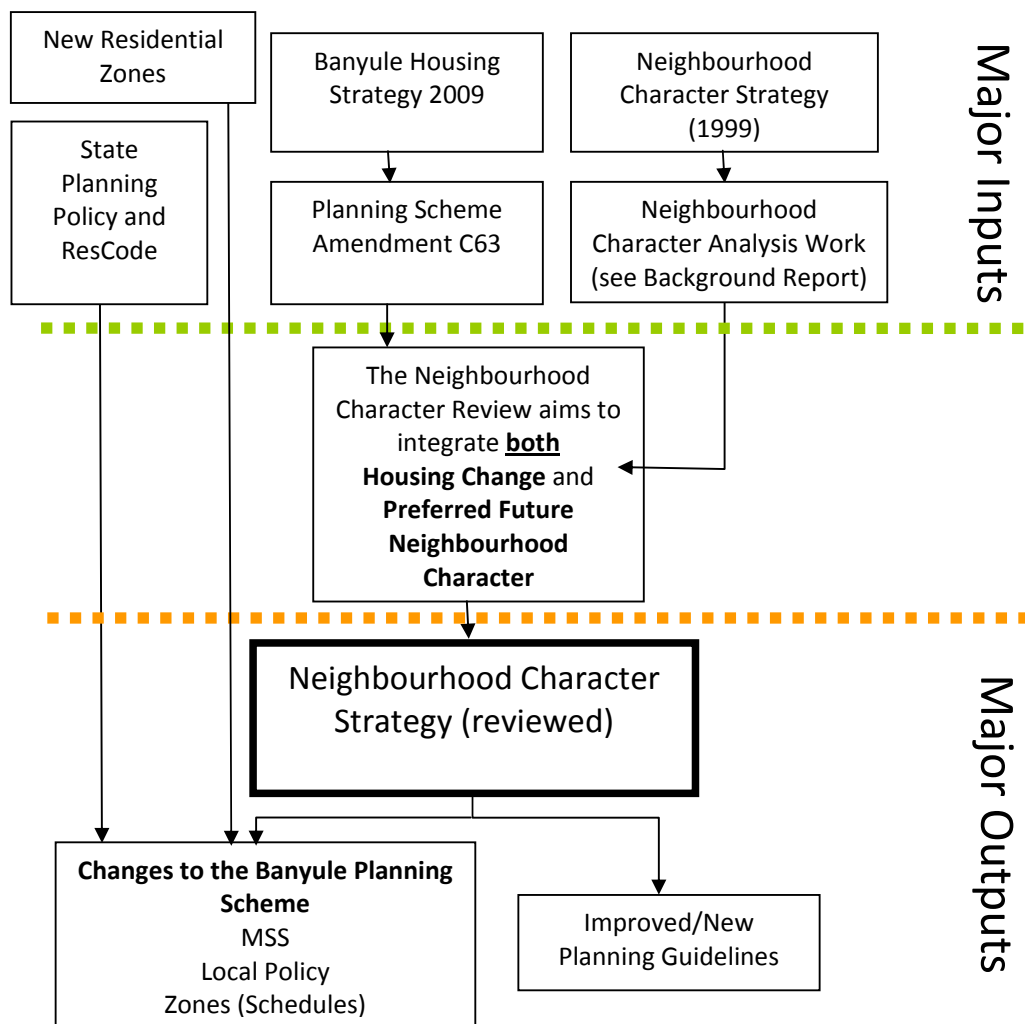
3. POLICY STATEMENT

3.1 Vision Statement

Banyule has neighbourhoods that reflect the diverse topography and history of the area. This includes the bush dominated areas that are mainly on the east of the Plenty River and the older suburbs in the south east around Ivanhoe. Common to all neighbourhoods is the significant contribution made by large trees and vegetation that is reflective of its location.

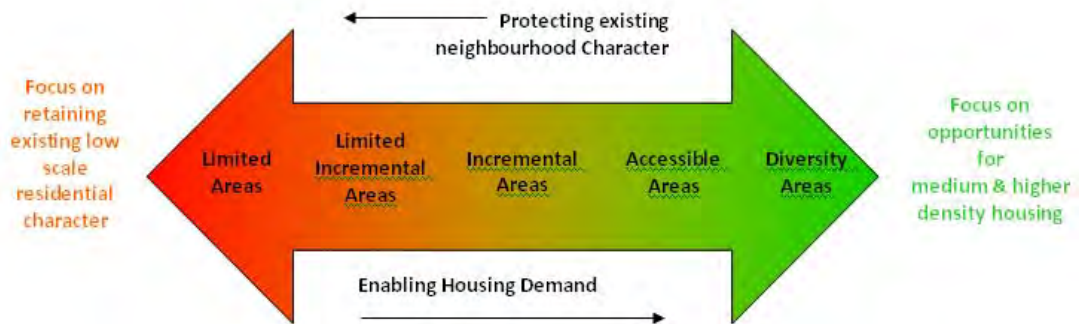
Places close to Activity Centres and the major public transport routes include attractive and well designed dwellings that give different housing types that contribute to a desired future neighbourhood character. Further away from these places, neighbourhoods are characterised by their valued attributes. Highly sensitive dwelling designs exist in the bush dominated areas and those areas with other valued qualities.

3.2 Policy Approach



Increasing the diversity of housing types and promoting new housing that meets the needs of the broader community in a manner that respects and contributes to the desired future character of residential neighbourhoods and identity of Activity Centres will integrate both housing change and preferred future Neighbourhood Character.

Integration Approach



Housing Framework Areas

GO – GO AREA	More new housing	Diversity Areas Accessible Areas
SLOW – GO AREA		Incremental Areas
LOW – GO AREA	Less new housing	Limited Incremental Areas Limited Areas Low Density

3.3 Objectives & Strategies

Cultural Heritage

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Land Use

Housing

- To guide new dwellings to preferred locations, while continuing to promote appropriate urban consolidation to satisfy housing demand.
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- To improve housing affordability.

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- To provide appropriate opportunities for business activities outside Activity Centres.

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- To ensure that industry does not detrimentally affect the amenity and environment of the municipality.

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- To protect and improve regional and local significant ridgelines.

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- To reduce of the detrimental effects of transport on amenity.
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3.4 Human Rights Charter– Statement of Compatibility

The Neighbourhood Character Strategy has been reviewed against the Victorian Charter of Human Rights and Responsibilities and found to be compatible. The subject matter does not raise any human rights issues.

4. STRATEGIC PRECINCT STATEMENTS

4.1 Neighbourhood Character Area Types

Banyule includes five neighbourhood character area types which take into account factors such as topography, vegetation, street and subdivision pattern, era, style and scale and intensity of existing development. The existing character of Banyule ranges from garden suburbs in the south west to the bush landscapes of the north eastern and eastern neighbourhoods. Between these two extremes lie a number of character variations.

Below is a brief description of the key characteristics of the five neighbourhood character area types:

- *Garden Suburban*

The Garden Suburban character area type has a spacious leafy character in generally formal garden settings, with space around and between dwellings, a relatively wide and open street space, and garden style vegetation, often mature and exotic, in both the private and public domain, creating an attractive, tree-dominated landscape setting in some streets. The most important characteristics of the area type are the scale, siting and architectural style of the dwellings and the vegetation and topography of their settings. In these areas new development should reflect the main themes of existing dwelling styles, and defined special characteristics of particular precincts should be protected and enhanced.

The Heidelberg to Eaglemont Ridgeline and the Bundoora to Diamond Village to Army Barracks Ridgeline run through parts of the Garden Suburban Area. The continuous green, dominant treed canopy and natural vegetated appearance of these ridgelines should be maintained and improved. The continuity of the treed canopy should only be punctured by taller development at the core of Activity Centres.

- *Garden Court*

The Garden Court character area type has a curvilinear and cul-de-sac street pattern, low scale, generally brick dwellings dominated by a low-pitched tile roof, set in spacious, often informal garden settings, with a mix of native and exotic plantings. The most important characteristics of the area type are the mature vegetation setting in most of these areas.

In these areas existing tall indigenous native trees should be retained, new development should blend with existing dwellings in terms of siting and other factors, and defined special characteristics of particular precincts should be protected and enhanced. Reference should be made to the City of Banyule Neighbourhood Character Strategy Precinct Brochures for further detail.

The Bundoora to Diamond Village to Army Barracks Ridgeline runs through parts of the Garden Court Area. The continuous green, dominant treed canopy and natural

vegetated appearance of this ridgeline should only be punctured by taller development at the core of Activity Centres.

- *Bush Garden*

The Bush Garden character area type is characterised by stands of substantial large native trees which provide a backdrop for the mainly post war detached dwellings in their mature garden settings. The most important characteristics of the area type are the canopy of indigenous and other native vegetation. Trees and other vegetation dominate the street scene and many longer distance views. Dwellings sit beneath the tree canopy, within established gardens.

In the Bush Garden areas residential development should not dominate the treed landscape, removal of large trees should be avoided, and the defined special characteristics of particular precincts should be protected and enhanced. Reference should be made to the City of Banyule Neighbourhood Character Strategy Precinct Brochures for further detail. The VC Estate, in BG (West), has a sense of identity that is of local interest and should be respected with any new development.

The Foothills Ridgeline runs through the Bush Garden Area. The continuous green, dominant treed canopy and natural vegetated appearance of this ridgeline should be maintained and improved.

- *Semi Bush*

The semi-bush character type is representative of the highly valued native vegetation-dominated residential environments found in some of the hillier north eastern and eastern parts of the metropolitan area, epitomised in the popular imagination by 'Eltham' or 'Bellbird'. These areas are becoming scarcer as they succumb to vegetation clearance and more intense development. The most important characteristics of the area type are the canopy of indigenous trees and abundant vegetation. Trees and other vegetation dominate the street scene and many longer distance views.

Residential development in these areas should be absorbed into this vegetation-dominated landscape, removal of vegetation should be avoided, and defined special characteristics of particular precincts should be protected and enhanced. Reference should be made to the City of Banyule Neighbourhood Character Strategy Precinct Brochures for further detail.

The Foothills Ridgeline runs through the Semi Bush Area. The continuous green, dominant treed canopy and natural vegetated appearance of this ridgeline should be maintained and improved.

- *Bush Woodland*

The Bush Woodland character type retains much of its rural, undeveloped character with significant indigenous vegetation, a farmland landscape character; meandering or straight country roads without made kerbs, and various dwelling types. The most

important characteristics of the area type are the dominant landscape setting of rolling hills and the Yarra River flood plain, together with remnant indigenous vegetation.

Residential development in these areas should be set within this landscape, with indigenous vegetation retained and replanted, and defined special characteristics of particular precincts should be protected and enhanced. The five neighbourhood character area types have informed the desired future character for the different housing change areas described in Section 4.3.

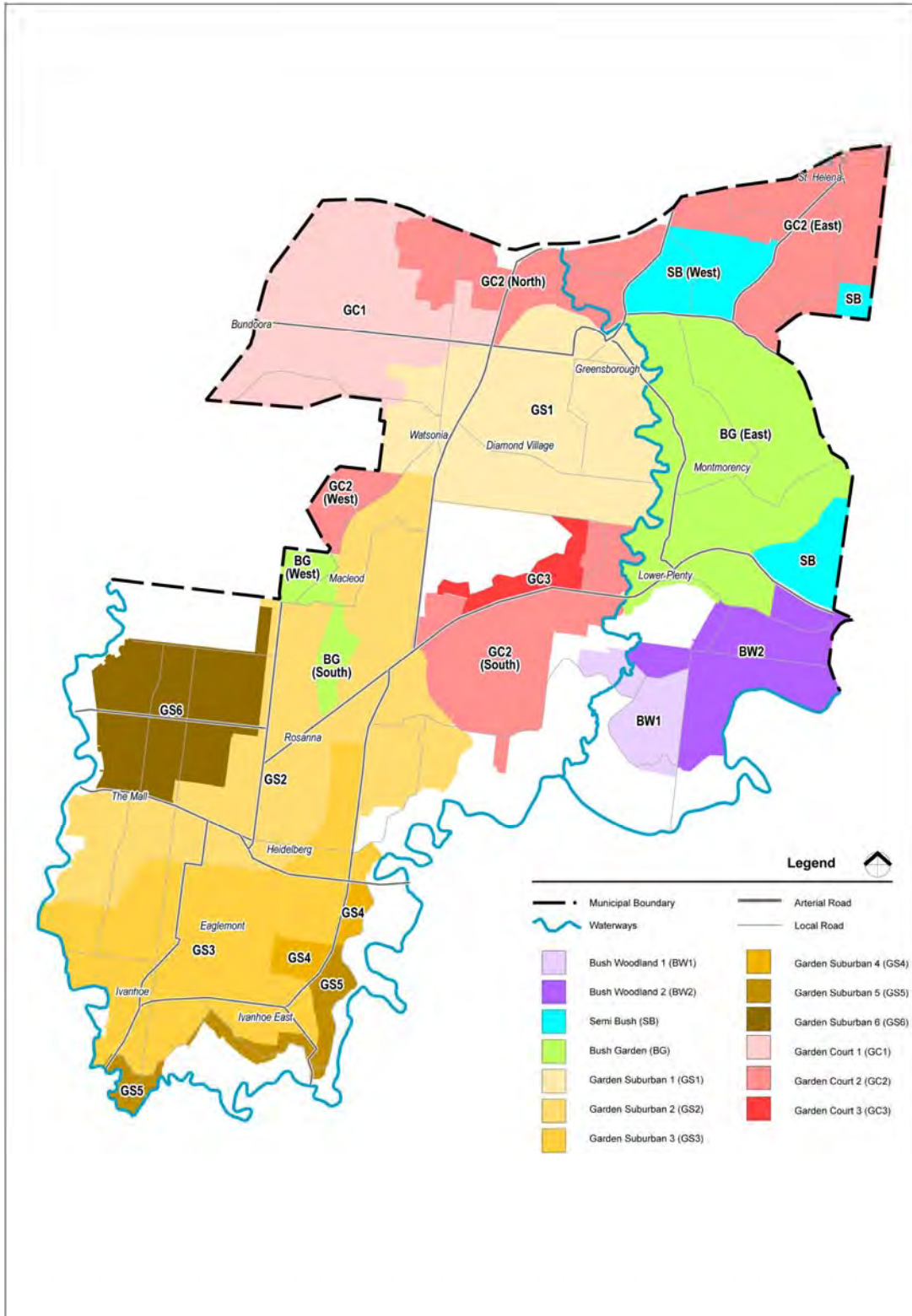
4.2 Neighbourhood Character Precincts

Thirteen precincts have been identified under the five neighbourhood character area types. The breakdown of the precincts is:

- Bush Garden (1 precinct)
- Bush Woodland (2 precincts)
- Garden Court (3 precincts)
- Garden Suburban (6 precincts)
- Semi Bush (1 precinct)

The following plan shows the indicative location of these thirteen proposed precincts.

Figure 1 - Neighbourhood Character Precincts



4.3 Neighbourhood Character and the Housing Areas

Banyule’s Housing Areas

Council has run a separate Planning Scheme Amendment (C63) that made changes to the Municipal Strategic Statement in the Banyule Planning Scheme. The changes introduced a Housing Framework Map and Residential Areas Framework that describes the preferred housing outcomes for various locations in Banyule. It helps to implement the Housing Strategy 2009.

In summary, the Housing Framework Map and Residential Areas Framework encourage higher density housing to occur within and close to Activity Centres and highest priority sections of the Principal Public Transport Network, where good access is available to local services and public transport. Further away from Activity Centres and the Principal Public Transport Network, housing change will be less.

The different housing areas are summarised below.

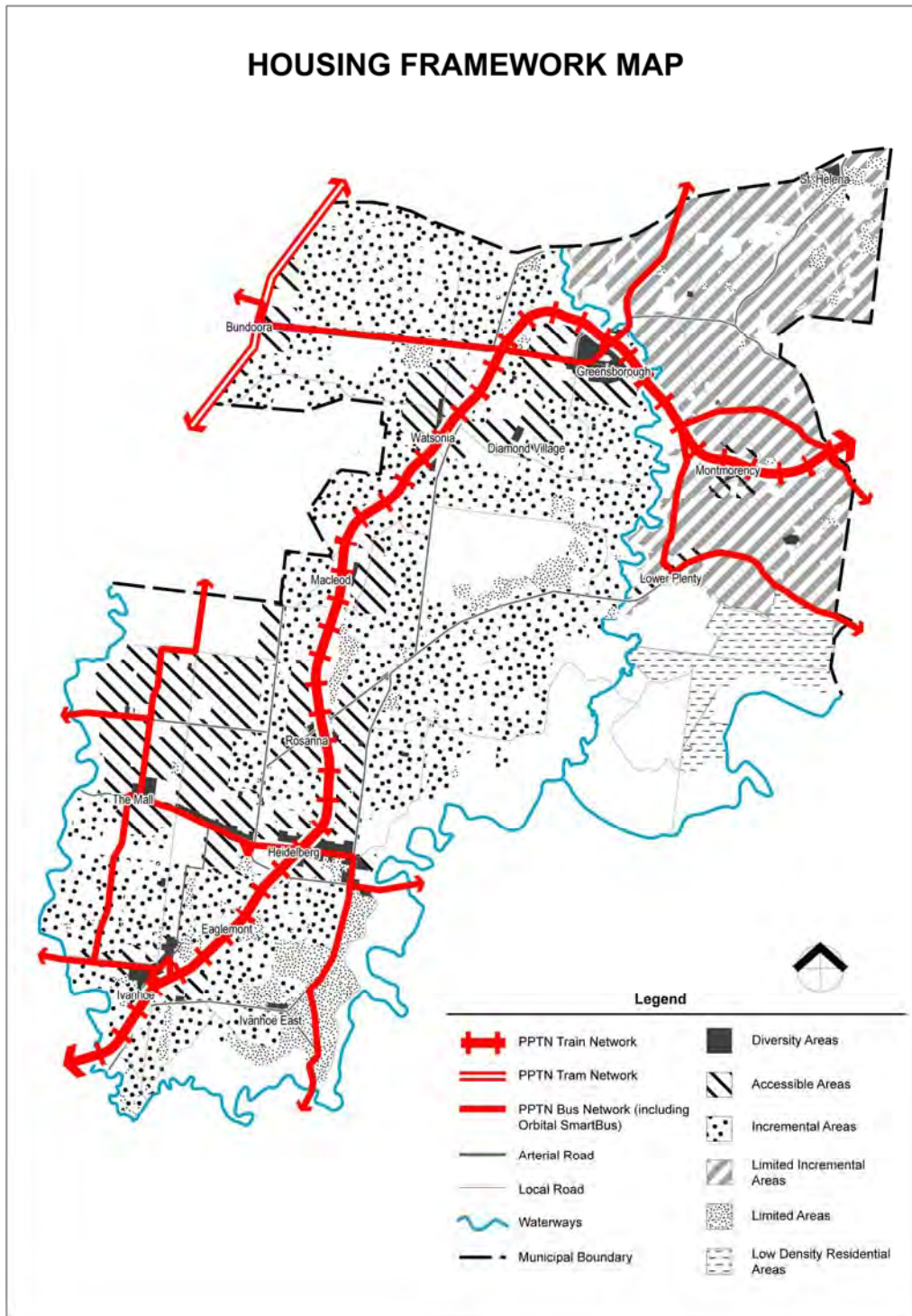
Residential Area	Vision
Diversity	<p>These areas typically have the following characteristics:</p> <ul style="list-style-type: none"> ▪ Within the business core of an Activity Centre. ▪ Some residential properties along streets that immediately surround the business core of an Activity Centre. <p>They will provide for shop-top and apartment living in higher density mixed use and residential developments. These areas include strategic redevelopment sites that provide for higher density housing.</p> <p>Development will make a positive contribution to the identity of the Activity Centre and the desired future character of surrounding residential neighbourhoods.</p> <p>In these areas people live close to train stations, transport interchanges, shops, services and nodes of employment. These areas include higher density and some medium housing opportunities.</p>

<p>Accessible</p>	<p>These areas typically have the following characteristics:</p> <ul style="list-style-type: none"> ▪ Within convenient walking distance to the business core of an Activity Centre. ▪ Are within convenient walking distance to the highest priority sections of the Principal Public Transport Network where higher frequency and quality of public transport services in operation. <p>They will provide town house and other medium density living and some dispersed single dwellings. Some opportunities for higher density housing will also exist. These areas include strategic redevelopment sites that provide for medium density and a higher density housing component.</p> <p>Development must make a positive contribution to the desired future neighbourhood character, including opportunities for tree protection and planting.</p> <p>These areas also include:</p> <p><i>Heidelberg West</i></p> <p>Heidelberg West is renewing. Public housing sites will provide well-designed redevelopment opportunities. A new desired future neighbourhood character will support development opportunities, with a focus on Olympic Village, Bell Street Mall, public housing sites and larger properties, where there may be higher density opportunities as well.</p> <p><i>East of the Plenty River (around the business core of Neighbourhood Activity Centres)</i></p> <p>The residential area east of the Plenty River will continue to be characterised by tall trees, undulating landscapes and 2 storey dwellings that sit below the tree canopy. Town house and unit development will protect and enhance the vegetated character of the area.</p>
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Incremental	<p>These areas are typically located further away from Activity Centres and the Principal Public Transport Network, where there is less convenient pedestrian access.</p> <p>They will provide for well designed single dwellings and medium density dwellings. As an exception, there will be limited opportunities for higher density housing at well located, large strategic redevelopment sites only. Typical attributes of a strategic redevelopment site in this area are:</p> <ul style="list-style-type: none"> ▪ Fronting an arterial road that forms part of the Principal Public Transport Network that is in operation. <p style="padding-left: 40px;">or</p> <p style="padding-left: 40px;">Within 5 minute walking distance (approximately 400 metres) to a Supermarket.</p> <p style="padding-left: 40px;">or</p> <p style="padding-left: 40px;">Within 5 minute walking distance (approximately 400 metres) of a regional employment or education facility, such as a large public hospital, technology park, university or TAFE.</p> <ul style="list-style-type: none"> ▪ Large enough to make a significant contribution to the provision of a diversity of housing types in the area and space for the following: <ul style="list-style-type: none"> a) Buildings and open spaces that provide a transition between abutting dwellings and any taller on-site building component. b) Landscaping, including the planting of substantial trees, at streetscapes, boundaries and between buildings. <p>Development must make a positive contribution to the desired future neighbourhood character, including opportunities for tree protection and planting.</p>
Limited Incremental	<p>These are located east of the Plenty River. They are characterised by tall trees, undulating topography and two storey dwellings that sit below the tree canopy.</p> <p>These areas will provide for sensitively designed single dwellings and some dispersed medium density dwellings that respect the valued attributes of the existing neighbourhood character, with an emphasis on protecting trees and creating new opportunities for vegetation.</p>
Limited	<p>These areas typically have one of the following characteristics:</p> <ul style="list-style-type: none"> ▪ Heritage attributes, including subdivisions that have recognised heritage significance. ▪ Environmental attributes, such as significant landscapes, significant vegetation or higher flood risk.

	<ul style="list-style-type: none"> ▪ Distinctive neighbourhood character attributes for single dwellings. In these locations land may be affected by single dwelling covenants or other legal agreements that limit additional dwellings. <p>These areas support single dwellings with some limited opportunity for medium density housing, if designed to respect and be sensitive to the valued attributes of the existing neighbourhood character.</p>
Low Density Residential	<p>Low Density Residential Areas are found in the Low Density Residential Zone.</p> <p>These areas will provide well dispersed housing that contributes to the diversity of the housing stock in Banyule and continue to contribute to the aesthetic and environmental attributes of the Yarra River corridor.</p>

Figure 2 – Housing Framework Map



NOTE: This map shows the indicative location of the Residential Areas described in the Residential Areas Framework. Further strategic work will define these locations.

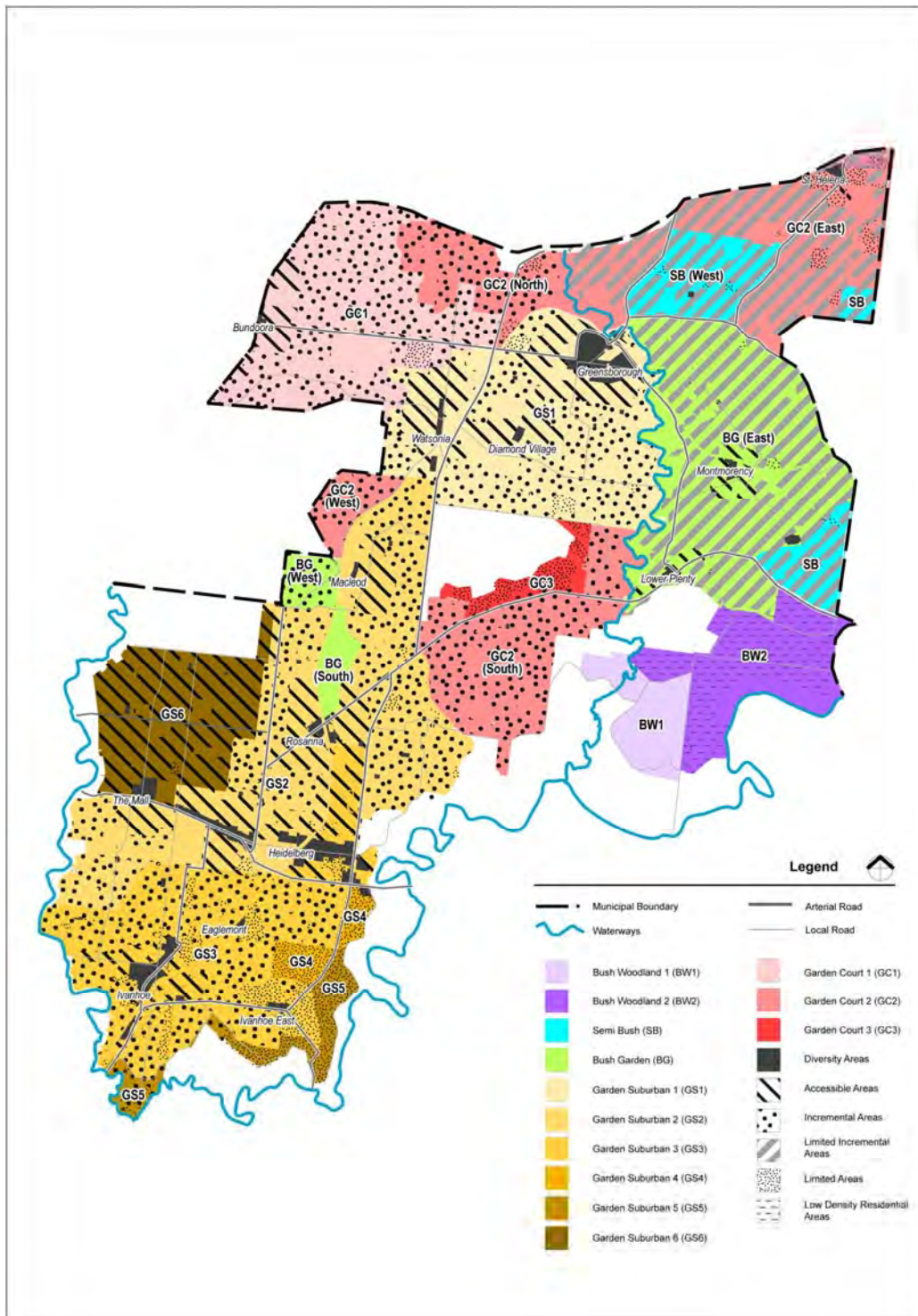
Progress on further strategic work is revealing that the VC Estate in Macleod is in a Limited Incremental Area. This reflects its important bush setting and the need to protect trees in the estate.

Integrating Neighbourhood Character and the Housing Areas

Integrating the neighbourhood character precincts with the new housing areas will ensure housing change occurs within the context of the desired future character of neighbourhoods. The map below shows that integration. Each neighbourhood character precinct will include one or more housing change areas.

This Strategy relates to residentially zoned land only. It does not cover the Diversity Areas (the Activity Centres). Diversity Areas are locations that include a mix of uses such as retail, commercial and residential. Consideration of the future character of these centres has been, or will be, developed as part of a structure planning process for these Centres in the future.

Figure 3 - Housing Change Areas with the Neighbourhood Character Precincts



NOTE: This map shows the indicative location of the Residential Areas described in the Residential Areas Framework. Further strategic work will define these locations.

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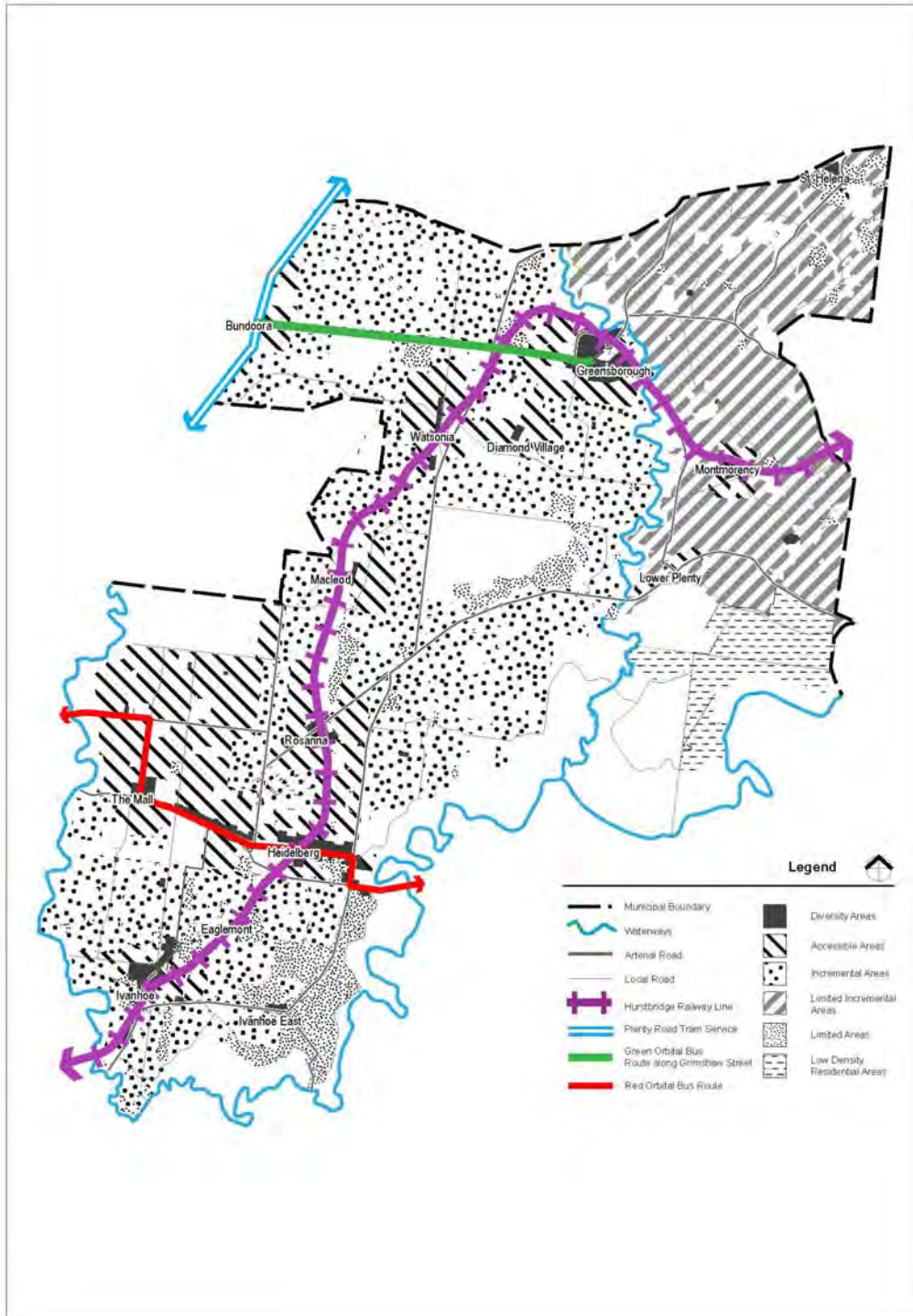
4.4 Highest Priority Sections of the Principal Public Transport Network

For Accessible Areas, the Residential Areas Framework refers to the highest priority sections of the Principal Public Transport Network as places that will support higher levels of housing growth. The highest priority sections of the Principal Public Transport Network are where higher frequency and quality of regional public transport services are in operation. These priority sections are associated with existing public transport services that give access to employment, education, entertainment and other opportunities within the region that benefit local residents.

The highest priority sections of the Principal Public Transport Network are:

1. **Hurstbridge Railway Line** gives direct access to the City and all other stops along the line.
2. **Plenty Road Tram Service** gives direct access to: Latrobe University, Bundoora Park, Preston, RMIT Bundoora, the City, Preston and Bundoora Neighbourhood Activity Centre. It is also links with the Green Orbital Bus Route at Grimshaw Street.
3. **Green Orbital Bus Route along Grimshaw Street** gives direct access to: Bundoora Neighbourhood Activity Centre, Greensborough Principal Activity Centre as well as other highest priority section of the Principal Public Transport Network.
4. **Red Orbital Bus Route** gives direct access to: Heidelberg Specialist and Major Activity Centre, Northland Principal Activity Centre, Bell Street Mall Neighbourhood Activity Centre and Bell Street business/employment area.

Figure 4 - Highest Priority Sections of the Principal Public Transport Network



NOTE: This map shows the indicative location of the Residential Areas described in the Residential Areas Framework. Further strategic work will define these locations.

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4.5 Neighbourhood Character and Environmentally Sustainable Development

The Banyule Housing Strategy sits within Council’s broader policy context to foster a more sustainable city. It encourages housing locations with good access to public transport, shops and services, as well as housing that is designed, constructed and used to substantially reduce environmental impacts, particularly for energy consumption, carbon emissions, water conservation and motor vehicle dependency. Preferred housing locations have been furthered through Planning Scheme Amendment C63 and described in Section 4.3.

Different environmentally sustainable design measures will have different impacts on the character of a neighbourhood. For instance, the solar orientation of the building on a site to increase energy efficiency may be more visually prominent from the street, and may not always be in character with the neighbouring properties. Other design responses such as the retention and planting of native vegetation and substantial trees will have a more natural impact on a neighbourhood and is generally less contentious.

Council’s strategic direction for environmental sustainable design is primarily being furthered through a proposal for a Local Policy on Environmental Sustainable Design (ESD) at Clause 22 of the Banyule Planning Scheme. Banyule is working with other Council’s to explore the State Government’s support for the inclusion of an ESD policy at Clause 22.

4.6 Precinct Strategic Statements

The following Precinct Strategic Statements describe the future neighbourhood character for each precinct within the context of housing change.

Each Statement provides:

1. A summary of the key existing characteristics for each Precinct
2. A summary of the current neighbourhood character issues for each Precinct. This gives a list of issues, threats or risks which may need to be considered to guide neighbourhood character outcomes.
3. A preferred future character statement for the different housing change areas in each Precinct.
4. Neighbourhood character objectives and design responses to achieve the desired future character statements.

The key existing characteristics have informed the preferred future character and the objectives for each precinct.

a) Key Existing Characteristics

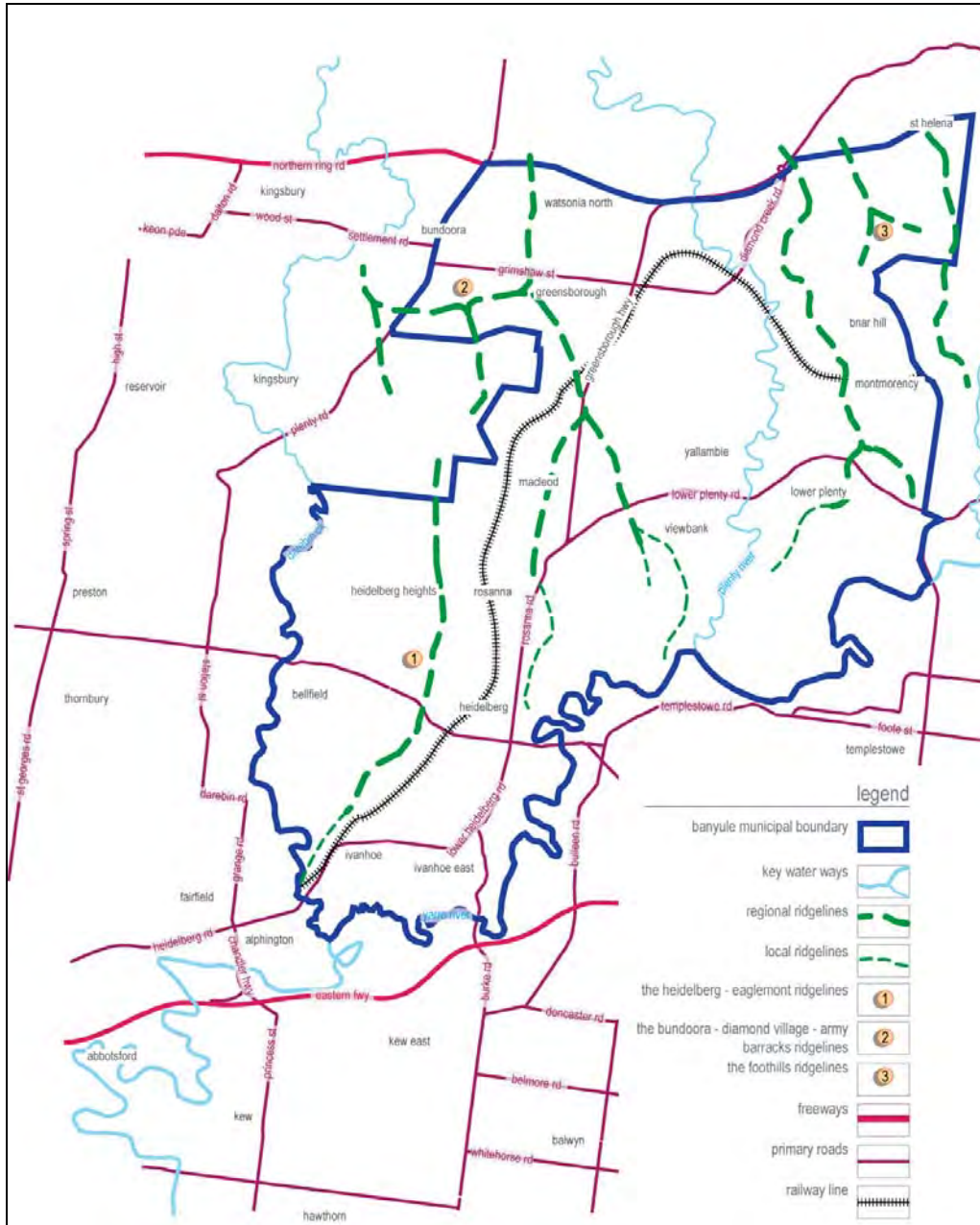
The key existing characteristics differ from precinct to precinct depending on the prominent features for each neighbourhood. However the most important characteristics include:

- *Vegetation cover* – the vegetation from precinct to precinct varies greatly and in its contribution to neighbourhood character, however vegetation cover is one of the most important and desired characteristics for the whole of Banyule.
- *Regional significance* – the presence within the Precinct of a topographical feature of regional significance is of relevance to the character of an area. Most precincts are either characterised by the prominent ridgelines, bushy foothills, vegetated wildlife corridors or the hilly and vegetated backdrops that they provide.
- *Topography and Ridgelines* – Banyule’s topography provides views and ‘green’ backdrops that are a unique characteristic in Melbourne. The ridgelines, river valleys and wildlife corridors provide individually unique neighbourhood character precincts. A map showing the prominent ridgelines is on the following page.
- *Principal Public Transport Network* – The Principal Public Transport Network is a key characteristic in determining the higher density housing areas (Accessible Areas). This includes the train, tram and major bus networks. The highest priority sections of the PPTN are identified.

b) Housing Change Areas

The housing change areas provide direction for future housing growth in Banyule. Within each neighbourhood character precinct there could be one or more housing change area. The desired future character statements and objectives for each Precinct will reflect the relevant housing change areas affecting that Precinct.

Figure 5 – Prominent Ridgelines in Banyule



Source: Landscape Assessment for Significant Ridgelines in Banyule, June 2012. Prepared by Hansen Partnership Pty Ltd & Banyule City Council. See Appendix 2.

Bush Garden

Existing Characteristics

Vegetation cover	Frequent native high canopy trees, including remnant Red Gums, other trees, sometimes forming a semi-closed canopy. Private gardens are mixed in style from native trees and shrubs to exotic trees to cottage gardens, however the remnant Eucalypt canopy, on public and private land, is noticeable throughout. Newer dwellings often contain low scale, establishing gardens and manicured lawns.
Regional significance	Majority of the Bush Garden areas is within the Banyule Foothills, providing the hilly and 'green' backdrop to the municipality and beyond. The Plenty River Corridor borders the precinct and along with the wildlife corridors all throughout the Bush Garden area, highly significant environmental values and important habitat are present.
Height	Dwellings are usually single storey, other than on slopes where two storeys are accommodated in the fall of the land.
PPTN	The Hurstbridge railway line (Priority section of PPTN) runs through the centre of the precinct, linking Montmorency Activity Centre to the rest of Banyule and wider Metropolitan area. The PPTN bus network also runs through this precinct.
Topography and ridgelines	Land is undulating, sloping down towards the Salt Creek and Plenty River valleys. Northern Foothills land is hilly, with views available across the valley. The regionally significant Foothill Ridgeline runs north-south through the centre of the precinct providing one of the key green backdrops to Banyule.
Front boundary	Front fences are generally not present, with gardens often extending beyond the property boundary to the footpath or gutter. Occasional low basalt or sleeper retaining walls. Front gardens are both low level or established, however most contain native plants and at least one substantial tree, usually Eucalypt.
Era/style of development	Western areas of the Precinct are predominantly modest Post war, 1960s and 1970s buildings and a number of recent modern developments. Dwellings in Eastern areas are predominantly 1950s Modern, 1960s Contemporary and 1970s dwellings, some older areas with inter war buildings, and pockets of newer dwellings.
Position on site	Front setbacks are generally 7 – 9metres. Side setbacks are generally 1 and 3 metres in the west and 3 and 4 metres in the east.
Vehicle access/storage	Side driveways and garages are provided, often as part of the building design or a garage/car port adjacent to the dwelling.



Issues

- Removal of canopy trees.
- Buildings that are located forward of the predominant setback in the street.
- Wide driveways and paved areas that reduce the area available for planting.
- Excavation for dwelling sites, driveways or garages, rather than building to follow the topography.
- Buildings that dominate the streetscape and backdrops, or are inappropriate due to scale, architectural style, form or building materials.
- Construction of front fences.
- The creation of formal front gardens.
- Lack of space for planting and growth of trees and understorey vegetation.
- The incremental increase and visual dominance of vehicle crossings, driveways and car parking spaces in the streetscape.
- Fragmentation and loss of canopy vegetation along and leading up to ridgelines.
- Developments that penetrate the tree canopy and would therefore be visible from the other side of the valley.

- Development that diminishes the significant features of the Elliston Estate.
- Loss of street trees and loss of opportunities for planting new street trees.
- Visually obtrusive site services.
- Multi dwelling developments that present mirror image designs to the street.

Preferred Future Character

The character of the precinct is to be retained and enhanced by:

- Designing new buildings and extensions in an architectural style and scale sympathetic with existing dwellings.
- Encouraging design detail variation between dwellings to prevent mirror image street presentations.
- Ensuring buildings do not penetrate the predominant tree canopy height.
- Positioning new dwellings in keeping with the front setbacks of nearby dwellings.
- Retaining existing canopy trees and space around them to ensure survival.
- Removing environmental weeds where appropriate, and planting large indigenous or native trees and understorey vegetation.
- Designing site layouts with spacing around dwellings that allows for planting throughout sites and the future growth of trees to maturity.
- Minimising the excavation and site coverage of buildings and paving of sites.
- Maintaining open front boundary treatments.
- Encouraging informal native, bushy style gardens.
- Planting trees and shrubs in the front setback to improve the bush garden setting and discourage car parking in front of dwellings.
- Ensuring basement ramps, carports and garages do not dominate the streetscape.
- Designing developments with only one single width crossover and a driveway that is softened with curves and vegetation.
- Protecting and enhancing the scenic and environmental qualities of ridgelines.
- Conserving and enhancing the heritage values of the Elliston Estate.
- Protecting and enhancing street trees, as well as the views of trees on private property from the street.
- Obscuring household services from street view.

Part of the Greensborough Principal Activity Centre is in this precinct. The landscaping and vegetated character of residential sites in this Activity Centre is guided by this policy. The preferred future character of the built form on residential sites in this Activity Centre is guided by the Design and Development Overlay Schedule 4.

Outside Accessible Areas

Proposals in these areas will protect and enhance the bush garden character of the precinct with an emphasis on protecting trees and creating new opportunities for vegetation throughout sites. They will provide for a mix of well-designed single dwellings and limited medium density dwellings that sit below large trees, with space around and between dwellings to create an attractive, well landscaped setting.

The VC Estate, in BG (West), has a sense of identity that is of local interest and should be respected with any new development.

Accessible Areas

These areas in this precinct will support the bush garden character of the precinct. All developments will support an enhanced treed environment, including opportunities for tree protection and planting whilst providing for medium density dwellings, as well as some dispersed single dwellings.

Canopy trees and understorey vegetation will continue to the character of the area, particularly in front setbacks to reinforce the character of the street, and along rear boundaries where possible to soften the interface between dwellings.

The treed and spacious feel of the streetscape character will be retained and enhanced by ensuring front setbacks are large enough to plant a large tree and other vegetation. Building heights may also be increased for these developments, with the higher components generally positioned to front onto the street, and recessed from the lower levels to reduce their visual prominence and provide space for tree canopies.

Objectives & Design Responses

Objective	Design Response
<p>To maintain and enhance the native vegetation dominated vistas, streetscapes and backdrops, retain remnant indigenous vegetation, and encourage the replanting of indigenous plants.</p>	<ul style="list-style-type: none"> • Retain existing trees wherever possible. If this cannot be achieved, or a tree is considered appropriate for removal, the site should provide adequate space for offset planting of indigenous or native trees that will grow to a mature height similar to the mature height of the tree to be removed. • One medium to large indigenous or native tree should be provided for every 200 sq.m. of site area. These should be predominantly large trees, and may include existing trees that are worthy of retention. At least one of the large trees should be provided in the front setback (Note: sufficient unpaved space must be provided around each tree for growth). • Building site coverage should not exceed 40%, however it may need to be less than this in order to provide sufficient site area for planting, growth and retention of vegetation. This may be varied if the proposal demonstrates that the vegetated character of the site and Precinct is protected and enhanced by retaining existing vegetation and providing sufficient area for the planting of additional trees and other vegetation. • Buildings should be a sufficient distance from at least one side or rear property boundary to enable the planting and growth of medium to large trees. These setbacks should provide sufficient area for future growth of the mature canopy of trees, and understorey planting. • If more than one dwelling is proposed, sufficient separation should be provided between each dwelling to allow for the planting and future growth of small to medium trees and understorey vegetation. • Tree species and planting locations should be carefully selected to avoid canopy or root conflicts with overhead wires, easements and existing trees. • If there is no street tree within the frontage of a dwelling, a new street tree should be proposed.
<p>To ensure buildings and extensions do not dominate the streetscape or the</p>	<ul style="list-style-type: none"> • Developments should minimise the need for cut and fill throughout the site.

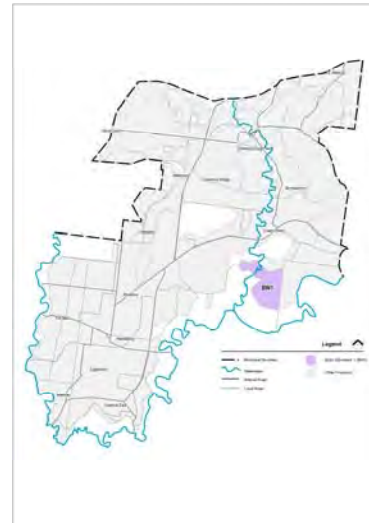
Objective	Design Response
building, and do not adversely affect the outlook and amenity of neighbouring dwellings.	<ul style="list-style-type: none"> • Second storey portions of buildings should be recessed from ground level wall surfaces, incorporated within roof spaces where possible and minimised in height. • Buildings at the rear of a site should be designed to follow the topography of the land and respond sensitively to each interface. Second storeys (where appropriate) should be modest in size, have generous side and rear setbacks and be screened with vegetation. • Buildings should not exceed the predominant tree canopy height.
To ensure new buildings and extensions are sympathetic to the current building form and architectural style.	<ul style="list-style-type: none"> • Wall and roof materials for extensions should blend with existing materials. • In BG (East) roof and plan forms should reflect those of the surrounding period houses including hipped roofs with narrow, boxed eaves. • In BG (South), reflect the main design elements of the 1970s era, including flat roofs, low wall heights, vertical window proportions. • In BG (West) roof and plan forms should reflect those of the surrounding post-war houses, including hipped roof with narrow boxed eaves. • Variation should be provided between each dwelling of a development that faces the street. This can be achieved through varied roof pitches, window and door placement, materials, façade articulation and other design detailing.
To ensure that household services are not a visually prominent feature.	<ul style="list-style-type: none"> • Solar panels should be located to minimise their visual impact. Air conditioning, rainwater tanks, bins and storage should be located and/or screened so they are not visually obtrusive in the streetscape. • In accessible areas, rooftop plant equipment should be screened and/or located to minimise their visual impact and integrate with the roof form.
To maintain consistency of current front setbacks whilst enabling tree planting in front gardens.	<ul style="list-style-type: none"> • Dwellings should be setback in line with the predominant front setback of dwellings along the street. • For corner sites, the front setback of a dwelling facing the side street should be at a transition between the predominant setback along the side street, and the side setback of the dwelling facing the front street.
To minimise excavation for vehicle access, loss of front garden space, and dominance of vehicle access, storage facilities and built form as viewed from the street.	<ul style="list-style-type: none"> • In BG (East) and BG (West), locate carports, garages, and all uncovered parking spaces behind the line of the dwelling. Landscaping such as large shrubs and trees in the front setback should be provided to discourage car parking in the front yard. • In BG (South) dedicated car parking spaces should not be provided between the front wall of a dwelling that faces the street, and the front property boundary. Landscaping such as large shrubs and trees should be provided in the front setback to discourage car parking in this location. Carports and garages should be located behind the line of the dwelling. • Existing vehicle crossovers should be utilised where possible.

Objective	Design Response
	<ul style="list-style-type: none"> • The location and design of any new vehicle crossings should not affect existing street trees or on street parking, and should consider the rhythm and spacing of vehicle crossings along the street. • Only one (1) vehicle crossover, including existing crossovers should be provided. • If more than one (1) dwelling is proposed and the street frontage is more than 22m wide, a second crossover may be considered. This is only appropriate where this results in an improved site layout and landscaping outcome, there is at least 8m between each crossover, street trees are protected, planting opportunities are maintained in the front setback, on street parking is not reduced, and pedestrian and traffic safety is maintained. • Double width vehicle crossings should only be considered where the street frontage is more than 22 metres wide. This outcome is only appropriate where street trees are protected, planting opportunities are maintained in the front setback, and on street parking is not reduced. • Driveways should include curves and bends that provide sufficient room for landscaping at varying heights. • Driveways should be finished with earthy, natural tones such as dark greys and browns to blend with vegetation.
<p>To maintain and strengthen the spaciousness and bush character of front gardens and the view of these gardens and trees from the street.</p>	<ul style="list-style-type: none"> • Front fences should not be provided, where this is the predominant pattern in the street. • Timber and basalt retaining walls are acceptable where necessary. • Sufficient space should be provided in front yards for the retention and/or planting of at least one (1) large tree, and should contain informal understorey planting of indigenous and native species. • Secluded private open space should be located behind the line of a dwelling that faces the street.
<p>To ensure that developments on or near ridgelines retain existing trees, sit below the tree canopies, minimise excavation, and enable further tree planting to form a continuous canopy, so that the scenic quality is maintained and enhanced.</p>	<ul style="list-style-type: none"> • New buildings at or near ridgelines should be designed and sited so that cut and fill is minimised and the building sits below the height of trees along the ridgeline. • New buildings at or near ridgelines should have muted colours and tones, and non-reflective materials. • Trees and vegetation that contribute to the landscape should be retained. New native or indigenous trees should be planted on or near the ridgeline to form a continuous canopy.

Bush Woodland 1

Existing Characteristics

Vegetation cover	Open woodland of remnant native vegetation including River Red Gums, with pockets of more dense vegetation. Areas of cleared or partly cleared, former farm land. Several stands of exotics, usually Pines, provide dense windbreaks.
Street trees	Generally informal remnant vegetation and no formal planting. New subdivisions have a mixture of native and exotic medium sized street trees in a formal arrangement.
Regional significance	The Plenty River Corridor and the Yarra River Corridor together provide the western and southern borders of the precinct. Along with the wildlife corridors that exist throughout the precinct, highly significant environmental values and important habitat are present.
PPTN	The PPTN does not service this precinct.
Topography	Land is undulating to hilly.
Front boundary	Front fences are usually post and rail or post and wire fencing, with occasional entrance gates to larger properties. Front gardens are not formally created.
Kerbs and channel	Kerbs and channels are usually either not made, or are concrete rollover.
Footpaths/nature strips	Footpaths and formal nature strips are generally not provided.
Position on site	Buildings are set in the grounds of the allotment, frequently centrally placed.
Height	Dwellings are single and two storeys, but are generally not highly visible from the road, if at all.
Vehicle access/storage	Driveways are long and frequently unmade, and garages are provided on site, usually out of sight or incorporated into the building design.



Issues

- Removal of remaining indigenous vegetation on public or private land.
- Decreased planting of indigenous or native trees and understorey vegetation and increased use of non-native vegetation.
- Excavation for dwelling sites, driveways or garages, rather than building to follow the topography.
- Paving of driveways.
- Formal street works (e.g. Footpaths, nature strips and formal street planting).
- Fencing other than rural style wire or post and rail.
- The incremental increase and visual dominance of vehicle crossings, driveways and car parking spaces in the streetscape.
- Fragmentation and loss of canopy vegetation along and leading up to ridgelines.
- Visual intrusion of built form along ridgelines.
- Loss of street trees and loss of opportunities for planting new street trees.
- Visually obtrusive site services.

Preferred Future Character

Bush Woodland 1

The character of the precinct is to be retained and enhanced by:

- Positioning new dwellings within the landscape and well back from the road (over 20 metres).
- Retaining all indigenous or native canopy trees.
- Removing environmental weeds where appropriate.
- Encouraging new development to replant indigenous trees and plants wherever possible, and to incorporate natives in the new planting schemes.
- Designing site layouts with spacing around dwellings that allows for planting and the future growth of trees to maturity.
- Minimising the excavation of sites and designing buildings to follow the topography.
- Constructing only post and rail or wire fencing coupled with well vegetated front gardens.
- Planting trees and shrubs in the front setback to improve the bush setting and discourage car parking in front of dwellings.
- Retaining existing informal street treatments including street trees, footpaths and nature strips.
- Designing developments with only one single width crossover and a driveway that is softened with curves and vegetation.
- Constructing driveways with a porous surface such as gravel or toppings.
- Protecting and enhancing the scenic and environmental qualities of ridgelines.
- Protecting and enhancing informal planting of street trees, as well as the views of trees on private property from the street.
- Obscuring household services from street view.

Objectives & Design Responses

Objective	Design Response
To maintain and enhance the indigenous vegetation dominated vistas, streetscapes and backdrops, and encourage the replanting of indigenous plants.	<ul style="list-style-type: none"> • Retain existing canopy indigenous and native trees, wherever possible. If this cannot be achieved, or a tree is considered appropriate for removal, the site should provide adequate space for offset planting of indigenous or native trees that will grow to a mature height similar to the mature height of the tree to be removed. • Plant trees in clumps or in an informal open woodland arrangement. • Tree species and planting locations should be carefully selected to avoid canopy or root conflicts with overhead wires, easements and existing trees. • If there is no street tree within the frontage of a dwelling, a new street tree should be proposed.
To ensure buildings and extensions do not dominate the landscape or the building, and do not adversely affect the outlook and amenity of neighbouring dwellings.	<ul style="list-style-type: none"> • Developments should minimise the need for cut and fill throughout the site. • Second storey portions of buildings should be recessed from ground level wall surfaces, incorporated within roof spaces where possible and minimised in height. • Buildings at the rear of a site should be designed to follow the topography of the land and respond sensitively to each

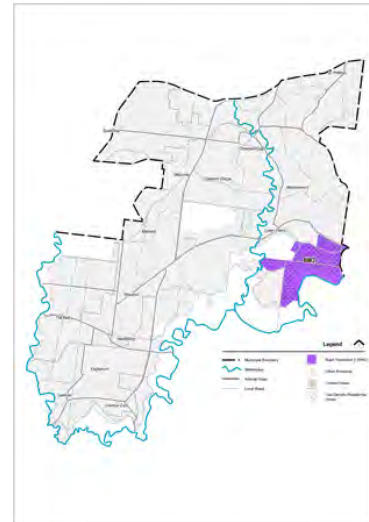
Objective	Design Response
	<p>interface. Second storeys (where appropriate) should be modest in size, have generous side and rear setbacks and be screened with vegetation.</p> <ul style="list-style-type: none"> • Buildings and extensions should not penetrate the tree canopy, where a canopy is present.
<p>To ensure that household services are not a visually prominent feature.</p>	<ul style="list-style-type: none"> • Solar panels should be located to minimise their visual impact. Air conditioning, rainwater tanks, bins and storage should be located and/or screened so they are not visually obtrusive in the streetscape.
<p>To ensure new buildings are sympathetic to the landscape context.</p>	<ul style="list-style-type: none"> • Wall and roof materials should be of earthy, 'bush' tones.
<p>To ensure buildings and extensions are sited and designed so as to minimise intrusion into the landscape vistas.</p>	<ul style="list-style-type: none"> • Dwellings should be sited so as to minimise visibility from the road and long distance views. • Dwellings should be located centrally within the site, and partly obscured from vision by distance from the front boundary, topography or vegetation. • All buildings on the site should be grouped together. • Areas in front of buildings and extensions should be planted with large trees, preferably indigenous, or alternatively complementary natives. Lower level planting should also be indigenous or native. • Front fences, other than post and rail or wire, should not be provided.
<p>To minimise excavation for vehicle access, and dominance of vehicle access, storage facilities and built form as viewed from the street and built form.</p>	<ul style="list-style-type: none"> • Locate carports, garages, and all uncovered parking spaces behind the line of the dwelling. Landscaping such as large shrubs and trees in the front setback should be provided to discourage car parking in the front yard. • Existing vehicle crossovers should be utilised where possible. • The location and design of any new vehicle crossings should not affect existing street trees or on street parking, and should consider the rhythm and spacing of vehicle crossings along the street. • Only one (1) single width vehicle crossover, including existing crossovers should be provided. • More than one (1) single width vehicle crossover, or a double width crossover, should only be considered where tree protection and planting is enabled in front setbacks, nature strips provide for street trees, on street parking is protected, pedestrian and traffic safety is maintained, and stormwater and infrastructure are not adversely affected. • Driveways should include curves and bends that follow the contours of the site and provide sufficient room for landscaping at varying heights. • Driveways should not be paved for their length, but should use a porous surface such as gravel.
<p>To ensure that developments on or near ridgelines retain existing trees, sit below the tree canopies, minimise excavation, and enable further tree planting to form</p>	<ul style="list-style-type: none"> • New buildings on hill faces and upper slopes should be designed and sited so that cut and fill is minimised and rooftops are set below the top of the ridge. • New buildings on hill faces and upper slopes should

Objective	Design Response
a continuous canopy, so that the scenic quality is maintained and enhanced.	<p>complement the scenic quality of their location and enhance the treed setting with muted colours and tones, and non-reflective materials.</p> <ul style="list-style-type: none"> • Trees and vegetation that contribute to the landscape should be retained. New native or indigenous trees should be planted on or near the ridgeline to form a continuous canopy.

Bush Woodland 2

Existing Characteristics

Vegetation cover	Pockets and individual remnant native vegetation including River Red Gums. Large areas of cleared, former farm land to the south and east. New planting is taking place in areas of new subdivisions.
Street trees	Generally informal remnant vegetation and no formal planting. New subdivisions have a mixture of native and exotic medium sized street trees in a formal arrangement.
Regional significance	The Yarra River Corridor provides the south-east border of the precinct. Along with the wildlife corridors that exist throughout the precinct, highly significant environmental values and important habitat are present.
PPTN	The PPTN does not service this precinct.
Topography and Ridgelines	Land is hilly to very hilly. The beginning of The Foothills Ridgeline is located within this precinct, providing a locally significant topography to Banyule.
Front boundary	Front fences are rarely present. Occasional post and rail or wire fencing, and entrance gates to larger properties. Front gardens often incorporate expansive lawn areas, sometimes remnant trees and planted trees and low level vegetation.
Kerbs and channel	Kerbs and channels are usually not made, other than in new subdivisions where concrete kerbs, usually rollover, are constructed.
Footpaths/nature strips	Footpaths are generally not provided other than in new subdivisions. Formal nature strips are not provided, other than in new subdivisions.
Position on site	Buildings are set in the grounds of the allotment, frequently centrally placed with large setbacks from all boundaries.
Height	Dwellings are predominantly single storey, although some two storey buildings occur particularly on sloping sites.
Vehicle access/storage	Driveways are long and frequently unpaved, other than in new subdivisions, and garages are provided on site, usually out of sight or incorporated into the building design.



Issues

- Removal of remaining indigenous vegetation on public or private land.
- Decreased planting of indigenous or native trees and understorey vegetation.
- Excavation for dwelling sites, driveways or garages, rather than building to follow the topography.
- Formal street works (e.g. footpaths and square kerbing).
- The incremental increase and visual dominance of vehicle crossings, driveways and car parking spaces in the streetscape.
- Fragmentation and loss of canopy vegetation along and leading up to ridgelines.
- Visual intrusion of built form along ridgelines.
- Loss of street trees and loss of opportunities for planting new street trees.
- Visually obtrusive site services.

Preferred Future Character

Bush Woodland 2 – Low Density Residential Areas

The character of the precinct is to be retained and enhanced by:

- Positioning new dwellings within the landscape and well back from the road (over 20 metres).
- Retaining indigenous and native canopy trees on public and private land.
- Removing environmental weeds where appropriate.
- Encouraging new development to replant indigenous trees and plants wherever possible, and to incorporate natives in the new planting schemes.
- Designing site layouts with spacing around dwellings that allows for planting and the future growth of trees to maturity.
- Minimising the excavation of sites and designing buildings and driveways to follow the topography.
- Constructing only post and rail or wire fencing coupled with well vegetated front gardens.
- Constructing driveways with a porous surface such as gravel or toppings.
- Retaining existing informal street treatments including, footpaths and nature strips.
- Planting trees and shrubs in the front setback to improve the bush setting and discourage car parking in front of dwellings.
- Designing developments with only one single width crossover and a driveway that is softened with curves and vegetation.
- Protecting and enhancing the scenic and environmental qualities of treed ridgelines.
- Protecting and enhancing informal planting of street trees, as well as the views of trees on private property from the street.
- Obscuring household services from street view.

These large lot, semi-rural areas, will retain the appearance of rolling paddocks and flood plains of the Yarra River. They will provide low density development that will be complemented by planted native trees throughout sites.

Objectives & Design Responses

Objective	Design Response
To maintain and enhance the indigenous vegetation dominated vistas, streetscapes and backdrops, and encourage the replanting of indigenous plants.	<ul style="list-style-type: none"> • Retain existing canopy indigenous and native trees, wherever possible. If this cannot be achieved, or a tree is considered appropriate for removal, the site should provide adequate space for offset planting of indigenous or native trees that will grow to a mature height similar to the mature height of the tree to be removed. • Landscaping should be an integral part of any new development and should utilise indigenous plants and tall trees throughout the site. • Tree species and planting locations should be carefully selected to avoid canopy or root conflicts with overhead wires, easements and existing trees • If there is no street tree within the frontage of a dwelling, a new street tree should be proposed.

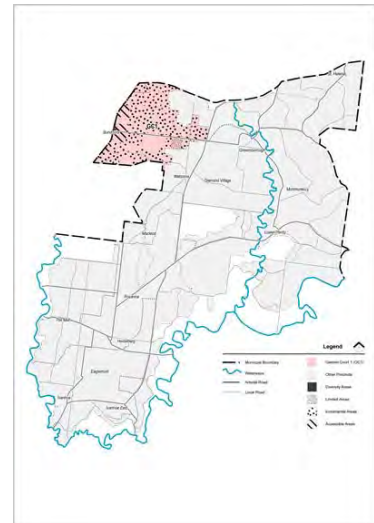
Objective	Design Response
To ensure buildings and extensions do not dominate the landscape or the building, and do not adversely affect the outlook and amenity of neighbouring dwellings.	<ul style="list-style-type: none"> • Developments should minimise the need for cut and fill throughout the site. • Second storey portions of buildings should be recessed from ground level wall surfaces, incorporated within roof spaces where possible and minimised in height. • Buildings at the rear of a site should be designed to follow the topography of the land and respond sensitively to each interface. Second storeys (where appropriate) should be modest in size, have generous side and rear setbacks and be screened with vegetation. • Buildings should not penetrate the tree canopy, where a canopy is present. • Front fences, other than post and rail or wire, should not be provided. • Front gardens should be planted with large trees, preferably indigenous to the area. Lower level planting should also be indigenous or native.
To ensure that household services are not a visually prominent feature.	<ul style="list-style-type: none"> • Solar panels should be located to minimise their visual impact. Air conditioning, rainwater tanks, bins and storage should be located and/or screened so they are not visually obtrusive in the streetscape.
To ensure new buildings are sympathetic to the landscape context.	<ul style="list-style-type: none"> • Wall and roof materials should be of earthy, 'bush' tones.
To maintain the appearance of 'buildings in grounds'.	<ul style="list-style-type: none"> • Dwellings should be sited so as to be as isolated from other dwellings as possible. • Dwellings and extensions should be located centrally within the site, and partly obscured from vision by distance from the front boundary, topography and vegetation including tall trees.
To minimise excavation for vehicle access, loss of front garden space, and dominance of vehicle access, storage facilities and built form as viewed from the street.	<ul style="list-style-type: none"> • Locate carports, garages, and all uncovered parking spaces behind the line of the dwelling. Landscaping such as large shrubs and trees in the front setback should be provided to discourage car parking in the front yard. • Existing vehicle crossovers should be utilised where possible. • The location and design of any new vehicle crossings should not affect existing street trees or on street parking, and should consider the rhythm and spacing of vehicle crossings along the street. • Only one (1) vehicle crossover, including existing crossovers should be provided. • More than one (1) single width, or a double width vehicle crossover, should only be considered where tree protection and planting is enabled in front setbacks, nature strips provide for street trees, on street parking is protected, pedestrian and traffic safety is maintained, and stormwater and infrastructure are not adversely affected. • Driveways should follow the contours of the site and include curves and bends that provide opportunities for landscaping at varying heights. • Driveways should not be paved for their length, but should use a

Objective	Design Response
	porous surface such as gravel or toppings.
<p>To ensure that developments on or near ridgelines retain existing trees, sit below the tree canopies, minimise excavation, and enable further tree planting to form a continuous canopy, so that the scenic quality is maintained and enhanced.</p>	<ul style="list-style-type: none"> • New buildings on hill faces and upper slopes should be designed and sited so that cut and fill is minimised and rooftops are set below the top of the ridge. • New buildings on hill faces and upper slopes should complement the scenic quality of their location and enhance the treed setting with muted colours and tones, and non-reflective materials. • Trees and vegetation that contribute to the landscape should be retained. New native or indigenous trees should be planted on or near the ridgeline to form a continuous canopy.

Garden Court 1

Existing Characteristics

Vegetation cover	Low level of vegetation cover throughout the area. Occasional pockets of remnant native trees vegetation provide a backdrop.
Regional significance	The wildlife corridors that exist throughout the precinct provide significant environmental values and important habitat links, including the Yallambie-Bundoora Plains local habitat link, which extends from northern areas to Gresswell Forest Wildlife Reserve to the south.
Topography and Ridgelines	The Bundoora- Diamond Valley- Army Barracks Ridgeline is a key topographical feature within Banyule, with the regionally significant parts of the ridgeline being located all throughout this precinct. It provides high points that characterise Banyule from surrounding areas of Melbourne.
PPTN	The Plenty Road tram service (Priority section of PPTN) runs along the western boundary of this precinct. The PPTN bus network also runs through this precinct (Priority section of PPTN).
Era/style of development	Consistently late 1960s and early 1970s era dwellings. Low hipped roof forms, horizontally proportioned windows.
Materials	Almost always brick, in a range of cream, red and brown tones, and predominantly concrete tiles.
Front boundary	Front fences are generally not present, and often no delineation of front boundary is present. Occasional low brick retaining walls, brick matching the house. Front gardens are generally low level, with grassed areas predominating.
Position on site	Front setbacks are consistent at 7 – 7.5 throughout the precinct. Side setbacks are generally 1 and 3 metres.
Height	Dwellings are almost always single storey, other than occasional second storey additions.



Issues

- Dwellings, carports or garages that are located forward of the predominant setback in the street.
- New dwellings that are highly visible in streetscapes and backdrops due to their inappropriate scale or architectural style.
- Removal of trees, particularly remnant indigenous trees.
- Construction of front fences.
- Minimal landscaping in front setbacks.
- Lack of space for planting and growth of trees and understorey vegetation.
- The incremental increase and visual dominance of vehicle crossings, driveways and car parking spaces in the streetscape.
- Fragmentation and loss of canopy vegetation along and leading up to ridgelines.
- Visual intrusion of built form along ridgelines outside activity centres.
- Loss of street trees and loss of opportunities for planting new street trees.
- Visually obtrusive site services.
- Multi dwelling developments that present mirror image designs to the street.

Preferred Future Character

The character of the precinct is to be retained and enhanced by:

- Designing new buildings and extensions in an architectural style sympathetic with existing dwellings.
- Encouraging design detail variation between dwellings to prevent mirror image street presentations.
- Maintaining the overall one or two storey scale of dwellings outside the accessible areas.
- Ensuring the scale of new dwellings in the accessible areas are sympathetic to the existing dwellings on neighbouring properties and the surrounding precinct.
- Positioning new buildings in keeping with the front setbacks of along the street, and with sufficient space for tree planting.
- Encouraging the retention of existing indigenous and native trees for aesthetic and wildlife habitat reasons.
- Enhancing the landscape setting by removing environmental weeds where appropriate and planting native or indigenous trees and understorey vegetation.
- Designing site layouts (including basements) with spacing around dwellings that allows for the planting and the future growth of trees to maturity.
- Protecting and enhancing spines of trees along neighbouring rear yards.
- Landscaping the front setback to improve the garden setting and discourage car parking in front of dwellings.
- Ensuring basement ramps, carports and garages do not dominate the streetscape.
- Designing developments with only one single width crossover and a driveway that is softened with curves and vegetation.
- Maintaining open front boundary treatments coupled with vegetated front gardens.
- Protecting and enhancing the scenic and environmental qualities of treed ridgelines.
- Providing or enhancing avenues of street trees, and the views of trees on private property from the street.
- Obscuring household services from street view.

Outside Accessible Areas

Proposals in these areas will protect and enhance the garden character of the precinct with an emphasis on protecting trees and creating new opportunities for vegetation. They will provide for a mix of well designed single dwellings and medium density dwellings in garden settings, with space around and between dwellings to create an attractive, treed landscape setting.

Accessible Areas

These areas will support the garden character of the precinct. All developments will contribute to an enhanced treed environment, including opportunities for tree protection and planting, whilst providing for town houses and other medium density dwellings, as well as some dispersed single dwellings. Canopy trees and understorey vegetation will continue to contribute to the character of the area, particularly in front setbacks to reinforce the character of the street, and along rear boundaries to soften the interface between dwellings.

The site coverage may be greater for accessible areas as long as tree and vegetation protection is achieved. The treed and spacious feel of the streetscape character will be retained and enhanced by ensuring front setbacks are large enough to plant a large tree and other vegetation. Building heights may also be increased

for these developments, with the higher components generally positioned to front onto the street, and recessed from the lower levels.

Objectives & Design Responses

Objective	Design Response
To ensure new buildings and extensions are sympathetic to the current building form and style.	<ul style="list-style-type: none"> • Reflect the roof and plan forms, in correct proportion and scale, from the 1960s/1970s styles ie: low wall heights and low hipped roof forms; narrow, boxed eaves. • Wall materials should be exposed brick and materials for extensions should blend with existing materials. • Variation should be provided between each dwelling of a development that faces the street. This can be achieved through varied roof pitches, window and door placement, materials, façade articulation and other design detailing.
To maintain consistency of current front setbacks, whilst enabling tree planting in front gardens.	<ul style="list-style-type: none"> • Dwellings should be setback in line with the predominant front setback of dwellings along the street. • In accessible areas only, a reduced front setback for new buildings (including basements) may be acceptable, if this respects the predominant front setback of nearby dwellings and supports the planting and future growth of a large tree to maturity. • For corner sites, the front setback of a dwelling facing the side street should be at a transition between the predominant setback along the side street, and the side setback of the dwelling facing the front street.
To ensure buildings and extensions do not dominate the streetscape or the building, and do not adversely affect the outlook and amenity of neighbouring dwellings.	<ul style="list-style-type: none"> • Second storey portions of buildings should be recessed from ground level wall surfaces, incorporated within roof spaces where possible and minimised in height. • In accessible areas, upper levels should be positioned towards the street frontage and be recessed from the lower level wall surfaces. • Buildings at the rear of a site should be designed to follow the topography of the land and respond sensitively to each interface. Second storeys (where appropriate) should be modest in size, have generous side and rear setbacks and be screened with vegetation.
To ensure that household services are not a visually prominent feature.	<ul style="list-style-type: none"> • Solar panels should be located to minimise their visual impact. Air conditioning, rainwater tanks, bins and storage should be located and/or screened so they are not visually obtrusive in the streetscape.

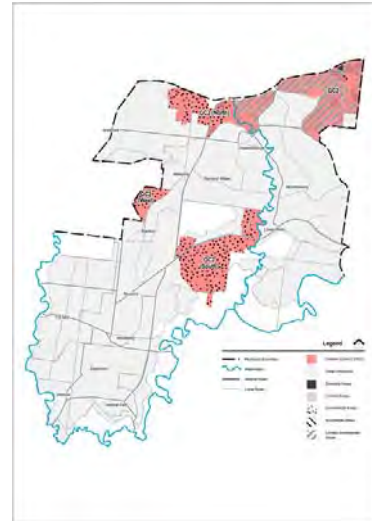
Objective	Design Response
<p>To minimise loss of front garden space, and the dominance of vehicle access, storage facilities and built form as viewed from the street.</p>	<ul style="list-style-type: none"> • Locate carports and garages behind the line of the dwelling. • Dedicated car parking spaces should not be provided between the front wall of a dwelling that faces the street, and the front property boundary. Landscaping such as large shrubs and trees in the front setback and garden beds along driveway edges should be provided to discourage car parking in this location. • Existing vehicle crossovers should be utilised where possible. • The location and design of any new vehicle crossings should not affect existing street trees or on street parking, and should consider the rhythm and spacing of vehicle crossings along the street. • Only one (1) vehicle crossover, including existing crossovers should be provided. • If more than one (1) dwelling is proposed and the street frontage is more than 20m wide, a second crossover may be considered. This is only appropriate where this results in an improved site layout and landscaping outcome, there is at least 8m between each crossover, street trees are protected, planting opportunities are maintained in the front setback, on street parking is not reduced, and pedestrian and traffic safety is maintained. • Double width vehicle crossings should only be considered where the street frontage is more than 20 metres wide. This outcome is only appropriate where street trees are protected, planting opportunities are maintained in the front setback, and on street parking is not reduced. • Driveways should include curves and bends that provide sufficient room for landscaping at varying heights. • Driveways should be finished in muted tones that soften their appearance and blend with vegetation.
<p>To maintain the openness of front boundary treatments, the street presentation of dwellings, and the view of established front gardens and trees from the street</p>	<ul style="list-style-type: none"> • Front fences should not be provided. • Front gardens should be provided with at least one (1) large tree and understorey landscaping including lawn and shrubs. • Secluded private open space should be located behind the line of a dwelling that faces the street.
<p>To maintain and strengthen the garden and tree dominated streetscape character and the landscaped setting of the precinct, and to support the maintenance of wildlife habitats.</p>	<ul style="list-style-type: none"> • Retain existing trees wherever possible. If this cannot be achieved, or a tree is considered appropriate for removal, the site should provide adequate space for offset planting of indigenous or native trees that will grow to a mature height similar to the mature height of the tree to be removed. • One (1) medium to large tree should be provided for every 400 sq.m of site area, with a preference for large trees. This may include existing trees that are worthy of retention. At least one of the large trees should be provided in the front setback. • Buildings (including basements) should be a sufficient distance from at least one side or rear property boundary to enable the planting and growth of medium to large trees. These setbacks should provide sufficient area for future growth of the mature canopy of trees, and understorey planting. • If more than one dwelling is proposed on a site outside an

Objective	Design Response
	<p>accessible area, sufficient separation should be provided between each dwelling to allow for the planting and future growth of small to medium trees and understorey vegetation.</p> <ul style="list-style-type: none"> • Tree species and planting locations should be carefully selected to avoid canopy or root conflicts with overhead wires, easements and existing trees. • Building site coverage should not exceed 40% in order to provide sufficient site area for planting, growth and retention of vegetation. . This may be varied if the proposal is in an accessible area and demonstrates that the vegetated character of the site and Precinct is protected and enhanced by retaining existing vegetation and providing sufficient area for the planting of additional trees and other vegetation. • If there is no street tree within the frontage of a dwelling, a new street tree should be proposed.
<p>To ensure that developments on or near ridgelines retain existing trees, sit below the tree canopies, minimise excavation, and enable further tree planting to form a continuous canopy, so that the scenic quality is maintained and enhanced.</p>	<ul style="list-style-type: none"> • New buildings at or near ridgelines should be designed and sited so that cut and fill is minimised and the building sits below the height of trees along the ridgeline. • New buildings at or near ridgelines should have muted colours and tones, and non-reflective materials. • Trees and vegetation that contribute to the landscape should be retained. New native or indigenous trees should be planted on or near the ridgeline to form a continuous canopy.

Garden Court 2

Existing Characteristics

Vegetation cover	Pockets of remnant native trees and other high canopy planted native trees. Occasionally streetscapes include a number or groups of tall trees, while most have understorey vegetation with occasional tall natives. Tall exotic species are infrequent.
Regional significance	Located within or adjacent to the Garden Court 2 areas are the Banyule Foothills, providing the hilly and 'green' backdrop to the municipality; the Plenty River and Yarra River Corridors, which and along with the wildlife corridors all throughout Banyule provide highly significant environmental values and important habitat; and the Watsonia North/Greensborough interchange for its gateway appearance to the Yarra Valley.
PPTN	Some parts of this precinct are serviced by the Hurstbridge railway line (Priority section of PPTN). The southern sections of this precinct are not serviced by the PPTN.
Topography and ridgelines	Land is undulating to hilly, particularly where the land slopes down to the Plenty River valley. The Foothills regionally significant ridgeline is located to the north, in and around St Helena, whilst the locally significant Bundoora- Diamond Village- Army Barracks Ridgeline is located to the south of the precinct in Viewbank. Views of substantial areas of tree cover are available across the river valley at many points. Views of the Yarra valley are available from ridgelines in the south of the precinct area. Almost all lots have a significant slope and many have magnificent views.
Front boundary	Front fences are generally not present, however sleeper retaining walls are common, and occasionally brick or basalt is used. Front gardens are a mixture of bushy and establishing, low level exotics and natives, with frequent high canopy natives.
Position on site	Front setbacks are generally 7 – 9 metres, with some newer developments 5-6 metres. Side setbacks are generally 1 and 3 metres, other than car ports and garages, and in new developments where zero lot setback is common.
Height	Dwellings are frequently two storeys with a number of recent second storey additions, particularly on slopes and where views are available, although single storey is still predominant in some areas.



Issues

- Dwellings, carports or garages that are located forward of the predominant setback in the street.
- New dwellings that are inappropriate in architectural style.
- Major site excavation for new dwellings or car access.
- Removal of the remaining indigenous vegetation and native trees.
- Construction of front fences.
- Minimal landscaping in front setbacks.
- New dwellings that are visually prominent in streetscapes and backdrops and do not respect the general form of existing dwellings.
- Lack of space for planting and growth of trees and understorey vegetation.
- The incremental increase and visual dominance of vehicle crossings, driveways and car parking spaces in the streetscape that reduce the area available for planting.
- Fragmentation and loss of canopy vegetation along and leading up to ridgelines.
- Visual intrusion of built form along ridgelines outside activity centres.
- Loss of street trees and loss of opportunities for planting new street trees.

- Visually obtrusive site services.
- Multi dwelling developments that present mirror image designs to the street.

Preferred Future Character

The character of the precinct is to be retained and enhanced by:

- Designing new buildings and extensions in an architectural style sympathetic with existing dwellings.
- Encouraging detailed design variation between dwellings to prevent mirror image street presentations.
- Maintaining the overall one or two storey scale of dwellings outside the accessible areas.
- Ensuring the scale of new dwellings in the accessible areas are sympathetic to the existing dwellings on neighbouring properties and the surrounding precinct.
- Positioning new dwellings in keeping with the front setbacks of dwellings along the street and with sufficient space for tree planting.
- Encouraging new dwellings and appurtenances to follow the natural topography of the land.
- Removing environmental weeds where appropriate, retaining indigenous and native trees both on public and private land where possible, and planting indigenous trees and understorey vegetation throughout development sites.
- Designing site layouts (including basements) with spacing around dwellings that allows for planting and the future growth of trees to maturity.
- Protecting and enhancing spines of trees along neighbouring rear yards.
- Constructing open style wire fences only in parts of the precinct where they predominate, coupled with vegetated front gardens.
- Landscaping the front setback (excluding paving) to improve the garden setting and discourage car parking in front of dwellings.
- Ensuring basement ramps, carports and garages do not dominate the streetscape.
- Designing developments with only one single crossover and a driveway that is softened with curves and vegetation.
- Protecting and enhancing the scenic and environmental qualities of treed ridgelines.
- Protecting and enhancing avenues of street trees, as well as the views of trees on private property from the street.
- Obscuring household services from street view.

Outside Accessible Areas

Proposals in these areas will protect and enhance the garden character of the precinct with an emphasis on protecting trees and creating new opportunities for vegetation throughout sites. They will provide for a mix of well designed single dwellings and medium density dwellings in garden settings, with space around and between dwellings to create an attractive, treed landscape setting.

Accessible Areas

These areas will support the garden character of the precinct. All developments will contribute to an enhanced treed environment, including opportunities for tree protection and planting, whilst providing for town houses and other medium density dwellings, as well as some dispersed single dwellings. Canopy trees and understorey vegetation will continue to contribute to the character of the area, particularly in front setbacks to reinforce the character of the street, and along rear boundaries to soften the interface between dwellings.

The site coverage may be greater for accessible areas as long as tree and vegetation protection is achieved. The treed and spacious feel of the streetscape character will be retained and enhanced by ensuring front setbacks are large enough to plant a large tree and other vegetation. Building heights may also be increased for these developments, with the higher components generally positioned to front onto the street, and recessed from the lower levels to reduce their visual prominence and provide space for tree canopies.

Objectives & Design Responses

Objective	Design Response
<p>To ensure buildings and extensions do not dominate the streetscape or the building, and do not adversely affect the outlook and amenity of neighbouring dwellings.</p>	<ul style="list-style-type: none"> • Developments should minimise the need for cut and fill throughout the site. • Second storey portions of buildings should be recessed from ground level wall surfaces, incorporated within roof spaces where possible and minimised in height. • In accessible areas, upper levels should be positioned towards the street frontage and recessed from the lower level wall surfaces. • Buildings at the rear of a site should be designed to follow the topography of the land and respond sensitively to each interface. Second storeys (where appropriate) should be modest in size, have generous side and rear setbacks and be screened with vegetation. • In GC2 (West), the plan and roof form of new dwellings should reflect those of nearby development.
<p>To ensure new buildings and extensions are sympathetic to the current building form and architectural style.</p>	<ul style="list-style-type: none"> • In GC2 (North) and GC2 (West), new dwellings should incorporate the main themes from nearby buildings including the predominant roof forms, and articulation to the façade. • In GC2 (South), infill development in 1960s/1970s areas should incorporate the main themes, in correct proportion and scale, from the 1960s/1970s styles i.e.: low wall heights and low hipped roof forms. • In GC2 (South), wall materials should be exposed brick and materials for extensions should blend with existing materials. • Variation should be provided between each dwelling of a development that faces the street. This can be achieved through varied roof pitches, window and door placement, materials, façade articulation and other design detailing.
<p>To ensure that household services are not a visually prominent feature.</p>	<ul style="list-style-type: none"> • Solar panels should be located to minimise their visual impact. Air conditioning, rainwater tanks, bins and storage should be located and/or screened so they are not visually obtrusive in the streetscape. • In accessible areas, rooftop plant equipment should be screened and/or located to minimise their visual impact and integrate with the roof form.
<p>To maintain consistency of current front setbacks, whilst enabling tree planting in front gardens.</p>	<ul style="list-style-type: none"> • Dwellings should be setback in line with the predominant front setback of dwellings along the street. • A reduced front setback for new dwellings (including basements) may be acceptable in accessible areas if this respects the predominant front setback of nearby dwellings and supports the planting and future growth of a large tree to maturity.

Objective	Design Response
	<ul style="list-style-type: none"> For corner sites, the front setback of a dwelling facing the side street should be at a transition between the predominant setback along the side street, and the side setback of the dwelling facing the front street.
<p>To minimise loss of front garden space, and the dominance of vehicle access, storage facilities and built form as viewed from the street.</p>	<ul style="list-style-type: none"> Locate carports and garages behind the line of the dwelling. In GC2 (East) locate carports, garages, and all uncovered parking spaces behind the line of the dwelling. Landscaping such as large shrubs and trees in the front setback and garden beds along driveway edges should be provided to discourage car parking in the front yard In GC2 (North) (South) & (West), dedicated car parking spaces should not be provided between the front wall of a dwelling that faces the street, and the front property boundary. Landscaping such as large shrubs and trees in the front setback and garden beds along driveway edges should be provided to discourage car parking in this location. Existing vehicle crossovers should be utilised where possible. The location and design of any new vehicle crossings should not affect existing street trees or on street parking, and should consider the rhythm and spacing of vehicle crossings along the street. Only one (1) vehicle crossover, including existing crossovers should be provided. If more than one (1) dwelling is proposed and the street frontage is more than 20m wide in GC2 (South) and GC2 (West), or 22m wide in GC2 (North) or GC2 (East), a second crossover may be considered. This is only appropriate where this results in an improved site layout and landscaping outcome, there is at least 8m between each crossover, street trees are protected, planting opportunities are maintained in the front setback, on street parking is not reduced, and pedestrian and traffic safety is maintained. Double width vehicle crossings should only be considered where the street frontage is more than 20m wide in GC2 (South) and GC2 (West), or 22m wide in GC2 (North) or GC2 (East). This outcome is only appropriate where street trees are protected, planting opportunities are maintained in the front setback, and on street parking is not reduced. Driveways should include curves and bends that provide sufficient room for landscaping at varying heights. Driveways should be finished in muted tones that soften their appearance and blend with vegetation.
<p>To maintain the openness of front boundary treatments and the presentation of dwellings to the street</p>	<ul style="list-style-type: none"> Front fences should not be provided. A large tree and understorey landscaping including large shrubs should be provided in the front setback. Secluded private open space should be located behind the line of a dwelling that faces the street.
<p>To maintain and strengthen the garden and tree dominated streetscape</p>	<ul style="list-style-type: none"> Retain existing trees wherever possible. If this cannot be achieved, or a tree is considered appropriate for removal, the

Objective	Design Response
<p>character and the landscaped setting of the precinct, and to support the maintenance of wildlife habitats.</p>	<p>site should provide adequate space for offset planting of indigenous or native trees that will grow to a mature height similar to the mature height of the tree to be removed.</p> <ul style="list-style-type: none"> • Retain the existing Melbourne Yellow-gums (<i>Eucalyptus leucoxylon subsp. Connata</i>), which are listed as vulnerable on the Advisory List of Rare or Threatened Plants in Victoria, DSE 2005. • One (1) medium to large tree should be provided for every 400 sq.m. of site area, with a preference for large trees. This may include existing trees that are worthy of retention. At least one of the large trees should be provided in the front setback. • Buildings (including basements) should be a sufficient distance from at least one side or rear property boundary to enable the planting and growth of medium to large trees. These setbacks should provide sufficient area for future growth of the mature canopy of trees, and understorey planting. • If more than one dwelling is proposed on a site outside an accessible area, sufficient separation should be provided between each dwelling to allow for the planting and future growth of small to medium trees and understorey vegetation. • Tree species and planting locations should be carefully selected to avoid canopy or root conflicts with overhead wires, easements and existing trees. • If there is no street tree within the frontage of a dwelling, a new street tree should be proposed. • Building site coverage should not exceed 40% in order to provide sufficient site area for planting, growth and retention of vegetation. . This may be varied if the proposal is in an accessible area and demonstrates that the vegetated character of the site and Precinct is protected and enhanced by retaining existing vegetation and providing sufficient area for the planting of additional trees and other vegetation.
<p>To ensure that developments on or near ridgelines retain existing trees, sit below the tree canopies, minimise excavation, and enable further tree planting to form a continuous canopy, so that the scenic quality is maintained and enhanced.</p>	<ul style="list-style-type: none"> • New buildings at or near ridgelines should be designed and sited so that cut and fill is minimised and the building sits below the height of trees along the ridgeline. • New buildings at or near ridgelines should have muted colours and tones, and non-reflective materials. • Trees and vegetation that contribute to the landscape should be retained. New native or indigenous trees should be planted on or near the ridgeline to form a continuous canopy.

Garden Court 3

Existing Characteristics

Vegetation cover	Pockets of remnant native trees. Many streetscapes will include a number of tall trees, while others will have understorey vegetation with occasional tall natives.
Regional significance	The wildlife corridors that exist throughout the precinct provide significant environmental values and important habitat links, including the Banyule Creek local habitat link to the west, the Yallambie Creek link to the east and the Yallambie-Bundoora Plains link to the north-west.
PPTN	The PPTN does not service this precinct.
Topography and ridgelines	The locally significant Bundoora- Diamond Valley- Army Barracks Ridgeline passes through this precinct, providing a key landscape feature within Banyule.
Materials	Exposed brick; reds and red-brown colours predominate. Predominantly concrete tiles, often terracotta or grey tones.
Subdivision pattern	Site sizes are consistent at approximately 500 – 600 sq.m. Frontages are generally 15 – 18 metres. Subdivision pattern is curvilinear streets and cul-de-sacs. Single lot covenants affect this precinct.
Front boundary	Front fences are present in some streets, however in general front fences are not present. Railway sleepers and basalt are frequently used for retaining walls. Front gardens are generally well landscaped and tended, incorporating low level exotics and natives, and establishing trees, usually natives. The area has occasional remnant high canopy natives.
Position on site	Front setbacks are generally 5 - 6 metres. Side setbacks are generally 1 metre, other than for car ports or garages, however zero lot setbacks are also frequent.
Height	Dwellings are generally single storey, with some buildings incorporating a second storey within the roof form.
Vehicle access/storage	Side driveways are provided; car ports and garages are generally present, adjacent to the dwelling and frequently part of the dwelling design.



Issues

- Removal of trees, including the remaining indigenous and native trees.
- Dwellings, carports or garages that are located forward of the predominant setback in the street.
- Construction of front fences, where fences do not predominate, and solid fences anywhere.
- Excessive paving and minimal vegetation in front gardens.
- New dwellings that are highly visible in streetscapes and backdrops due to their inappropriate scale.
- Lack of space for planting and growth of trees and understorey vegetation.
- The incremental increase and visual dominance of vehicle crossings, driveways and car parking spaces in the streetscape.
- Fragmentation and loss of canopy vegetation along and leading up to ridgelines.
- Visual intrusion of built form along ridgelines outside activity centres.
- Loss of street trees and loss of opportunities for planting new street trees.
- Visually obtrusive site services.
- Multi dwelling developments that present mirror image designs to the street.

Preferred Future Character

Garden Court 3 – Limited Areas

- The character of the precinct is to be retained and enhanced by:
- Retaining the remnant indigenous and native trees.
- Designing new buildings and extensions in a scale sympathetic with existing dwellings.
- Encouraging detailed design variation between dwellings to prevent mirror image street presentations.
- Positioning new buildings in keeping with the front setbacks of the dwellings along the street, and with sufficient space for tree planting.
- Providing permeable front boundary treatments coupled with vegetated front gardens.
- Enhancing the landscape setting by removing environmental weeds where appropriate, and planting native or indigenous trees and understorey vegetation.
- Designing site layouts with spacing around dwellings that allows for planting and the future growth trees to maturity.
- Protecting and enhancing spines of trees along neighbouring rear yards.
- Landscaping the front setback (excluding paving) to improve the garden setting and to discourage car parking in front of dwellings.
- Ensuring carports and garages do not dominate the streetscape.
- Designing developments with only one single width crossover and a driveway that is softened with curves and vegetation.
- Protecting and enhancing the scenic and environmental qualities of treed ridgelines.
- Protecting and enhancing avenues of street trees, as well as the views of trees on private property from the street.
- Obscuring household services from street view.

This precinct will continue to be developed for single dwellings that respect the garden character of the precinct with an emphasis on protecting trees and creating new opportunities for vegetation throughout sites.

Objectives & Design Responses

Objective	Design Response
To ensure new buildings and extensions are sympathetic to the current building form and architectural style.	<ul style="list-style-type: none"> • New development should incorporate articulation to the facades and a hipped or gable end roof form. • Wall materials should be exposed, and materials for extensions should blend with existing materials. • Variation should be provided between each dwelling of a development that faces the street. This can be achieved through varied roof pitches, window and door placement, materials, façade articulation and other design detailing.
To maintain consistency of current front setbacks whilst enabling tree planting in front gardens.	<ul style="list-style-type: none"> • Dwellings should be setback in line with the predominant front setback of dwellings along the street. • For corner sites, the front setback of a dwelling facing the side street should be at a transition between the predominant setback along the side street, and the side setback of the

Objective	Design Response
	dwelling facing the front street.
To ensure that household services are not a visually prominent feature.	<ul style="list-style-type: none"> Solar panels should be located to minimise their visual impact. Air conditioning, rainwater tanks, bins and storage should be located and/or screened so they are not visually obtrusive in the streetscape.
To ensure buildings do not dominate the streetscape, and do not adversely affect the outlook and amenity of neighbouring dwellings.	<ul style="list-style-type: none"> Second storey portions of buildings should be recessed from ground level wall surfaces, incorporated within roof spaces where possible and minimised in height. Buildings at the rear of a site should be designed to follow the topography of the land and respond sensitively to each interface. Second storeys (where appropriate) should be modest in size, have generous side and rear setbacks and be screened with vegetation.
To minimise loss of front garden space, and the dominance of vehicle access, storage facilities and built form as viewed from the street.	<ul style="list-style-type: none"> Locate carports and garages behind the predominant setback of buildings in the street. Dedicated car parking spaces should not be provided between the front wall of a dwelling that faces the street, and the front property boundary. Landscaping such as large shrubs and trees in the front setback and garden beds along driveway edges should be provided to discourage car parking in this location. Existing vehicle crossovers should be utilised where possible. The location and design of any new vehicle crossings should not affect existing street trees or on street parking, and should consider the rhythm and spacing of vehicle crossings along the street. Only one (1) vehicle crossover, including existing crossovers should be provided. If more than one (1) dwelling is proposed and the street frontage is more than 20m wide, a second crossover may be considered. This is only appropriate where this results in an improved site layout and landscaping outcome, there is at least 8m between each crossover, street trees are protected, planting opportunities are maintained in the front setback, on street parking is not reduced, and pedestrian and traffic safety is maintained. Double width vehicle crossings should only be considered where the street frontage is more than 20 metres wide. This outcome is only appropriate where street trees are protected, planting opportunities are maintained in the front setback, and on street parking is not reduced. Driveways should include curves and bends that provide sufficient room for landscaping at varying heights. Driveways should be finished in muted tones that soften their appearance and blend with vegetation.
To maintain the openness of front boundary treatments and the presentation of dwellings to the street.	<ul style="list-style-type: none"> Where not predominant, front fences should not be provided. Buildings should be sited to allow for the planting and growth of trees and shrubs. Front gardens should contain at least one (1) large tree and understorey landscaping, including large shrubs. Secluded private open space should be located behind the line of

Objective	Design Response
	a dwelling that faces the street.
<p>To maintain and strengthen the garden and tree dominated streetscape character and the landscaped setting of the precinct.</p>	<ul style="list-style-type: none"> • Retain existing trees wherever possible. If this cannot be achieved, or a tree is considered appropriate for removal, the site should provide adequate space for offset planting of indigenous or native trees that will grow to a mature height similar to the mature height of the tree to be removed. • One (1) medium to large tree should be provided for every 400 sq.m. of site area, with a preference for large trees. This may include existing trees that are worthy of retention. At least one of the large trees should be provided in the front setback. • Buildings should be a sufficient distance from at least one side or rear property boundary to enable the planting and growth of medium to large trees. These setbacks should provide sufficient area for future growth of the mature canopy of trees, and understorey planting. • If more than one dwelling is proposed, sufficient separation should be provided between each dwelling to allow for the planting and future growth of small to medium trees and understorey vegetation. • Tree species and planting locations should be carefully selected to avoid canopy or root conflicts with overhead wires, easements and existing trees. • Building site coverage should not exceed 40% in order to provide sufficient site area for planting, growth and retention of vegetation. This may be varied if the proposal demonstrates that the vegetated character of the site and Precinct is protected and enhanced by retaining existing vegetation and providing sufficient area for the planting of additional trees and other vegetation. • Buildings should be sited to allow for the planting and growth of trees and shrubs. Front gardens should contain at least one (1) large tree and understorey landscaping, including large shrubs. • If there is no street tree within the frontage of a dwelling, a new street tree should be proposed.
<p>To ensure that developments on or near ridgelines retain existing trees, sit below the tree canopies, minimise excavation, and enable further tree planting to form a continuous canopy, so that the scenic quality is maintained and enhanced.</p>	<ul style="list-style-type: none"> • New buildings at or near ridgelines should be designed and sited so that cut and fill is minimised and the building sits below the height of trees along the ridgeline. • New buildings at or near ridgelines should have muted colours and tones, and non-reflective materials. • Trees and vegetation that contribute to the landscape should be retained. New native or indigenous trees should be planted on or near the ridgeline to form a continuous canopy.

Garden Suburban 1

Key Existing Characteristics

Vegetation cover	Occasional pockets of high canopy and medium planted native trees. Generally vegetation cover is light. Tree cover becomes greater to the east, on the hillside overlooking the Plenty River.
Regional significance	The Plenty River Corridor that bounds the precincts to the east and the wildlife corridors that exist throughout the precinct provide significant environmental values and important habitat links, including the Yallambie-Bundoora Plains link and the powerline links that are present within the precinct.
PPTN	The Hurstbridge railway line (Priority section of PPTN) runs through the centre of the precinct, linking Watsonia and Greensborough Activity Centres to the rest of Banyule and wider Metropolitan area. The PPTN bus network also runs through this precinct (Priority section of PPTN).
Era/style of development	Predominantly 1950s and 1960s dwellings, with some areas of 1970s and increasingly recent modern dwellings and unit infill developments.
Materials	Generally a mixture of brick, in a range of cream and orange tones, weatherboard and render. Predominantly concrete tiles, of various colours.
Subdivision pattern	Site sizes are generally 500 – 700 sq.m. Frontages are generally 15 – 18 metres. Subdivision pattern is modified grid with some cul-de-sacs. Unit developments on traditional lots are becoming more common.
Topography	Land is undulating, with a flatter ridge top running through the centre of the precinct to the south-east. Land to the east slopes down to towards the Plenty River. The locally significant Bundoora- Diamond Valley- Army Barracks Ridgeline passes through this precinct from Watsonia to Diamond Village, providing a key landscape feature within Banyule.
Front boundary	Occasionally permeable front fences are present but are not common. Front gardens are generally low level with lawn and shrubs, becoming more established with substantial trees, to the east.
Position on site	Front setbacks are traditionally 7 - 9 metres throughout the precinct, however most newer dwellings are setback approximately 4-5 metres. Side setbacks are generally 1 and 3 metres, other than car ports and garages.
Height	Dwellings are more often single storey. However two storey dwellings and additions are increasing and are often located on slopes and where views are available.



Issues

- Removal of remnant indigenous and other native trees on private and public land.
- Lack of space for planting and growth of trees and understorey vegetation.
- Dwellings, carports or garages that are located forward of the predominant setback in the street.
- New buildings or extensions that are visually prominent in streetscapes and backdrops due to their inappropriate architectural style or scale.
- Construction of front fences.
- Minimal landscaping in front setbacks.
- The incremental increase and visual dominance of vehicle crossings, driveways and car parking spaces in the streetscape.
- Fragmentation and loss of canopy vegetation along and leading up to ridgelines.
- Visual intrusion of built form along ridgelines outside activity centres.
- Loss of street trees and loss of opportunities for planting new street trees.

- Visually obtrusive site services.
- Multi dwelling developments that present mirror image designs to the street.

Preferred Future Character

The character of the precinct is to be retained and enhanced by:

- Designing new dwellings and extensions in an architectural style sympathetic with existing dwellings in the precinct.
- Encouraging detailed design variation between dwellings to prevent mirror image street presentations.
- Maintaining the overall one or two storey scale of dwellings outside the accessible areas.
- Ensuring the scale of new dwellings in the accessible areas are sympathetic to the existing dwellings on neighbouring properties and the surrounding precinct.
- Positioning new buildings in keeping with the front setback of dwellings along the street, and with sufficient space for tree planting.
- Encouraging the planting of indigenous trees and understorey vegetation and removal of environmental weeds where appropriate to enhance the existing wildlife links in the area and landscape setting of the precinct.
- Designing site layouts (including basements) with spacing around dwellings that allows for the retention of trees and the planting and future growth of trees to maturity.
- Protecting and enhancing spines of trees along neighbouring rear yards.
- Providing permeable front boundary treatments coupled with vegetated front gardens.
- Landscaping the front setback to improve the garden setting and discourage car parking in front of dwellings.
- Ensuring basement ramps, carports and garages do not dominate the streetscape.
- Designing developments with only one single width crossover and a driveway that is softened with curves and vegetation.
- Protecting and enhancing the scenic and environmental qualities of the treed ridgelines.
- Maintaining and enhancing avenues of street trees, as well as views of trees on private property from the street.
- Obscuring household services from street view.

This precinct includes parts of the Greensborough Principal Activity Centre. The landscaping and vegetated character of residential sites in this Activity Centre is guided by this policy. The preferred future character of the built form on residential sites in this Activity Centre is guided by the Design and Development Overlay Schedule 4.

Outside Accessible Areas

These areas will protect and enhance the garden suburban character of the precinct with an emphasis on protecting trees and creating new opportunities for vegetation throughout sites. They will provide for a mix of well-designed single dwellings and medium density dwellings in garden settings, with space around and between dwellings to create an attractive, treed landscape setting.

Accessible Areas

These areas will accommodate change in a manner that retains and enhances the garden suburban character of the precinct. All developments will contribute to an enhanced treed environment, including opportunities for tree protection and planting, whilst providing for town houses and other medium density dwellings, as well as some dispersed single dwellings. Canopy trees and understorey vegetation will continue to contribute

to the character of the area, particularly in front setbacks to reinforce the character of the street, and along rear boundaries to soften the interface between dwellings.

The site coverage may be greater for accessible areas as long as tree and vegetation protection is achieved. The treed and spacious feel of the streetscape character will be retained and enhanced by ensuring front setbacks are large enough to plant a large tree and other vegetation. Building heights may also be increased for these developments, with the higher components generally positioned to front onto the street, and recessed from the lower levels to reduce their visual prominence and provide space for tree canopies.

Objectives & Design Responses

Objective	Design Response
To ensure new buildings and extensions are sympathetic to the current building form and architectural style.	<ul style="list-style-type: none"> • Where nearby dwellings are predominantly from the 1950 – 1960s era, incorporate the roof and plan forms of these buildings, in correct proportions and scale, i.e.: low pitched, hipped roof forms with a second or third hipped roof fronting the street; narrow, boxed eaves. • Variation should be provided between each dwelling of a development that faces the street. This can be achieved through varied roof pitches, window and door placement, materials, façade articulation and other design detailing.
To ensure that household services are not a visually prominent feature.	<ul style="list-style-type: none"> • Solar panels should be located to minimise their visual impact. Air conditioning, rainwater tanks, bins and storage should be located and/or screened so they are not visually obtrusive in the streetscape. • In accessible areas, rooftop plant equipment should be screened and/or located to minimise their visual impact and integrate with the roof form.
To maintain consistency of current front setbacks whilst enable tree planting in front gardens.	<ul style="list-style-type: none"> • Dwellings should be setback in line with the predominant front setback of dwellings along the street. • In accessible areas only, a reduced front setback for new buildings (including basements) may be acceptable, if this respects the predominant front setback of nearby dwellings and supports the planting and future growth of a large tree to maturity. • For corner sites, the front setback of a dwelling facing the side street should be at a transition between the predominant setback along the side street, and the side setback of the dwelling facing the front street.
To ensure buildings and extensions do not dominate the streetscape or the building, and do not adversely affect the outlook and amenity of neighbouring dwellings.	<ul style="list-style-type: none"> • Developments should minimise the need for cut and fill throughout the site. • Second storey portions of buildings should be recessed from ground level wall surfaces and minimised in height. • Buildings at the rear of a site should be designed to follow the topography of the land and respond sensitively to each interface. Second storeys (where appropriate) should be modest in size, have generous side and rear setbacks and be screened with vegetation. • In accessible areas, upper levels should be positioned towards the street frontage and recessed from the lower level wall surfaces.

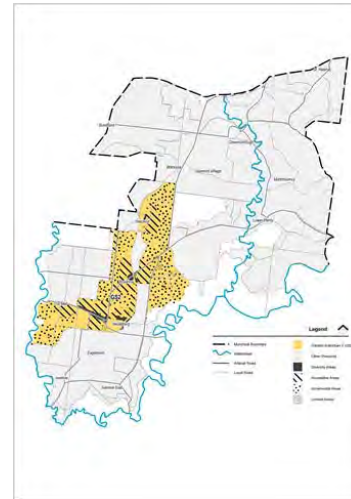
Objective	Design Response
<p>To minimise loss of front garden space, and the dominance of vehicle access, storage facilities and built form as viewed from the street.</p>	<ul style="list-style-type: none"> • Buildings (excluding a garage or carport on one side) should be setback from both boundaries to accommodate landscaping. • Locate carports and garages behind the line of the dwelling. • Dedicated car parking spaces should not be provided between the front wall of a dwelling that faces the street, and the front property boundary. Landscaping such as large shrubs and trees in the front setback and garden beds along driveway edges should be provided to discourage car parking in this location. • Existing vehicle crossovers should be utilised where possible. • The location and design of any new vehicle crossings should not affect existing street trees or on street parking, and should consider the rhythm and spacing of vehicle crossings along the street. • Only one (1) vehicle crossover, including existing crossovers should be provided. • If more than one (1) dwelling is proposed and the street frontage is more than 20m wide, a second crossover may be considered. This is only appropriate where this results in an improved site layout and landscaping outcome, there is at least 8m between each crossover, street trees are protected, planting opportunities are maintained in the front setback, on street parking is not reduced, and pedestrian and traffic safety is maintained. • Double width vehicle crossings should only be considered where the street frontage is more than 20 metres wide. This outcome is only appropriate where street trees are protected, planting opportunities are maintained in the front setback, and on street parking is not reduced. • Driveways should include curves and bends that provide sufficient room for landscaping at varying heights. • Driveways should be finished in muted tones that soften their appearance and blend with vegetation.
<p>To maintain the openness of front boundary treatments and the presentation of dwellings to the street.</p>	<ul style="list-style-type: none"> • Utilise vegetation as an alternative to front fencing wherever possible. Front fences should otherwise be low and permeable. • Secluded private open space should be located behind the line of a dwelling that faces the street.
<p>To maintain and strengthen the garden and tree dominated streetscape character and the landscaped setting of the precinct.</p>	<ul style="list-style-type: none"> • Retain existing trees wherever possible. If this cannot be achieved, or a tree is considered appropriate for removal, the site should provide adequate space for offset planting of indigenous or native trees that will grow to a mature height similar to the mature height of the tree to be removed. • One (1) medium to large tree should be provided for every 400 sq.m. of site area, with a preference for large trees. This may include existing trees that are worthy of retention. At least one of the large trees should be provided in the front setback. • Understorey landscaping should be provided in the front setback. This should include large shrubs. • Buildings (including basements) should be a sufficient distance

Objective	Design Response
	<p>from at least one side or rear property boundary to enable the planting and growth of medium to large trees. These setbacks should provide sufficient area for future growth of the mature canopy of trees, and understorey planting.</p> <ul style="list-style-type: none"> • If more than one dwelling is proposed on a site outside an accessible area, sufficient separation should be provided between each dwelling to allow for the planting and future growth of small to medium trees and understorey vegetation. • Tree species and planting locations should be carefully selected to avoid canopy or root conflicts with overhead wires, easements and existing trees. • Building site coverage should enable sufficient pervious site area for planting, growth and retention of vegetation. • If there is no street tree within the frontage of a dwelling, a new street tree should be proposed.
<p>To ensure that developments on or near ridgelines retain existing trees, sit below the tree canopies, minimise excavation, and enable further tree planting to form a continuous canopy, so that the scenic quality is maintained and enhanced.</p>	<ul style="list-style-type: none"> • New buildings at or near ridgelines should be designed and sited so that cut and fill is minimised and the building sits below the height of trees along the ridgeline. • New buildings at or near ridgelines should have muted colours and tones, and non-reflective materials. • Trees and vegetation that contribute to the landscape should be retained. New native or indigenous trees should be planted on or near the ridgeline to form a continuous canopy.

Garden Suburban 2

Key Existing Characteristics

Vegetation cover	Occasional small pockets of remnant native vegetation. Occasionally street trees add to the vegetation cover of private gardens creating a semi-enclosed canopy. Few tall trees. Gardens usually contain shrubs and sometimes substantial trees, exotic and native mix.
Regional significance	The Darebin Creek and Yarra River Corridors both border the GS2 precinct and along with the wildlife corridors all throughout Banyule, highly significant environmental values and important habitats are present.
Topography and ridgelines	Banyule's 'highest point' passes through Heidelberg and Rosanna providing a major landmark for Banyule. This Heidelberg-Eaglemont Ridgeline is also the second highest ridge within Melbourne, providing a significant backdrop within Banyule and a key marker for the surrounding areas of Melbourne.
PPTN	The Hurstbridge railway line (Priority section of PPTN) runs through the centre of the precinct, linking Heidelberg, Rosanna and Macleod Activity Centres to the rest of Banyule and wider Metropolitan area. The PPTN bus network also runs through this precinct (Priority section of PPTN).
Era/style of development	Predominantly 1950s and 1960s housing, occasional interwar, post war styles and newer modern dwellings including dual occupancy developments.
Materials	Predominantly brick, and a mix of brick and weatherboard. New dwellings incorporate a mix of render. Predominantly concrete tiles, red-black and grey.
Subdivision pattern	Site sizes are generally 500 – 800 sq.m. Frontages are consistent at approximately 12-18m. Subdivision pattern is modified grid with some cul-de-sacs and some rear laneways.
Front boundary	Front fences are generally either not present, 1 metre permeable or low brick matching the dwelling. Front gardens are generally low level with lawn and low shrubs.
Position on site	Front setbacks vary between 6-10 metres depending upon the depth of the block. However setbacks are often consistent within a street. Side setbacks are generally 1 and 3 metres.
Height	Dwellings are generally single storey, however newer dwellings are more often double storey. Two storey dwellings are sometimes located on slopes and where views area available. Two storey blocks of flats occur at intervals, generally in groups of three or four.
Vehicle access/storage	Side driveways are provided; carports are generally not present, garages are sometimes located to the rear of the dwelling.



Issues

- Dwellings, carports or garages that are located forward of the predominant setback in the street.
- New buildings, including dual occupancy developments at the rear of properties on corners, or extensions to existing dwellings that are visually prominent in streetscapes and backdrops due to their inappropriate architectural style or scale.
- Construction of high or solid front fences.
- Minimal landscaping in front setbacks.
- Loss of trees including the Eucalypt street trees and split carriageway treatments.
- Lack of space for planting and growth of trees and understorey vegetation.
- The incremental increase and visual dominance of vehicle crossings, driveways and car parking spaces in the streetscape.
- Fragmentation and loss of canopy vegetation along and leading up to ridgelines.

- Visual intrusion of built form along ridgelines outside activity centres.
- Development that diminishes the significant features of the Warringal Village Heritage Precinct.
- Visually obtrusive site services.
- Multi dwelling developments that present mirror image designs to the street.

Preferred Future Character

The character of the precinct is to be retained and enhanced by:

- Designing new infill dwellings and extensions in a scale and architectural style that is sympathetic with existing dwellings in the precinct.
- Encouraging detailed design variation between dwellings to prevent mirror image street presentations.
- Maintaining the overall one or two storey scale of the dwellings outside accessible areas.
- Ensuring the scale of new dwellings in the accessible areas are sympathetic to the existing dwellings on neighbouring properties and the surrounding precinct.
- Positioning new dwellings in keeping with the front setbacks of dwellings along the street and with sufficient space for tree planting.
- Positioning new carports or garages behind or in line with the dwelling.
- Providing low and permeable front fencing coupled with vegetated front gardens.
- Improving streetscapes with the consistent planting of larger street trees in avenues, retaining the eucalypt street trees and carriageway treatments, and enhancing the view of trees on private properties from the street.
- Removing environmental weeds where appropriate and planting large native or indigenous trees and understorey vegetation.
- Designing site layouts (including basements) with spacing around dwellings that allows for the planting and future growth of trees to maturity.
- Protecting and enhancing spines of trees along neighbouring rear yards.
- Landscaping the front setback to improve the garden setting and discourage car parking in front of dwellings.
- Ensuring basement ramps do not dominate the streetscape.
- Designing developments with only one single width crossover and a driveway that is softened with curves and vegetation.
- Protecting and enhancing the scenic and environmental qualities of treed ridgelines.
- Conserving and enhancing the heritage values of the Warringal Village Heritage Precinct.
- Obscuring household services from street view.

Parts of the Heidelberg Specialised and Major Activity Centres are in this precinct. The detailed landscaping and vegetation outcomes for residential sites in these Activity Centres are guided by this policy. The preferred future built form character of residential sites in these Activity Centres is guided by the Design and Development Overlay Schedule 5.

Outside Accessible Areas

These areas will protect and enhance the garden suburban character of the precinct with an emphasis on protecting trees and creating new opportunities for vegetation throughout sites. They will provide for a mix of well-designed single dwellings and medium density dwellings in garden settings, with space around and between dwellings to create an attractive, treed landscape setting.

Accessible Areas

These areas will accommodate change in a manner that supports the garden suburban character of the precinct. All developments will contribute to an enhanced treed environment, including opportunities for tree protection and planting, whilst providing for town houses and other medium density dwellings, as well as some dispersed single dwellings. Canopy trees and understorey vegetation will continue to contribute to the character of the area, particularly in front setbacks to reinforce the character of the street, and along rear boundaries to soften the interface between dwellings.

The site coverage may be greater for accessible areas as long as tree and vegetation protection is achieved. The treed and spacious feel of the streetscape character will be retained and enhanced by ensuring front setbacks are large enough to plant a large tree and other vegetation. Building heights may also be increased for these developments, with the higher components generally positioned to front onto the street, and recessed from the lower levels to reduce their visual prominence and provide space for tree canopies.

Objectives & Design Responses

Objective	Design Response
To ensure new buildings and extensions are sympathetic to the current building form and architectural style.	<ul style="list-style-type: none"> • Incorporate the main themes, in correct proportions and scale from the 1950s and 1960s era as appropriate to the street, i.e.: low pitched, hipped roof forms with a second or third hipped roof fronting the street; narrow, boxed eaves. • Second storey additions should reflect the architectural style and form of the existing building. • In accessible areas, upper levels should be positioned towards the street frontage and recessed from the lower level wall surfaces. • Period detailing is not encouraged, but if used should complement the architectural style and scale of the building. • Variation should be provided between each dwelling of a development that faces the street. This can be achieved through varied roof pitches, window and door placement, materials, façade articulation and other design detailing.
To ensure that household services are not a visually prominent feature.	<ul style="list-style-type: none"> • Solar panels should be located to minimise their visual impact. Air conditioning, rainwater tanks, bins and storage should be located and/or screened so they are not visually obtrusive in the streetscape. • In accessible areas, rooftop plant equipment should be screened and/or located to minimise their visual impact and integrate with the roof form.
To maintain consistency of current front setbacks whilst enabling tree planting in front gardens.	<ul style="list-style-type: none"> • Dwellings should be setback in line with the predominant front setback of dwellings along the street. • In accessible areas only, a reduced front setback for new buildings (including basements) may be acceptable, if this

Objective	Design Response
	<p>respects the predominant front setback of nearby dwellings and supports the planting and future growth of a large tree to maturity.</p> <ul style="list-style-type: none"> For corner sites, the front setback of a dwelling facing the side street should be at a transition between the predominant setback along the side street, and the side setback of the dwelling facing the front street.
<p>To ensure buildings and extensions do not dominate the streetscape or the building, and do not adversely affect the outlook and amenity of neighbouring dwellings.</p>	<ul style="list-style-type: none"> Second storey portions of buildings should be recessed from ground level wall surfaces, incorporated within roof spaces where possible and minimised in height. Buildings at the rear of a site should be designed to follow the topography of the land and respond sensitively to each interface. Second storeys (where appropriate) should be modest in size, have generous side and rear setbacks and be screened with vegetation. In accessible areas, all upper levels should be positioned towards the street frontage and recessed from ground level wall surfaces. Developments should minimise the need for cut and fill throughout the site.
<p>To minimise loss of front garden space, and the dominance of vehicle access, storage facilities and built form as viewed from the street.</p>	<ul style="list-style-type: none"> Buildings should be sited to allow for the planting and growth of trees and shrubs. Locate carports and garages behind the line of the dwelling. Dedicated car parking spaces should not be provided between the front wall of a dwelling that faces the street, and the front property boundary. Landscaping such as large shrubs and trees in the front setback and garden beds along driveway edges should be provided to discourage car parking in this location. Existing vehicle crossovers should be utilised where possible. The location and design of any new vehicle crossings should not affect existing street trees or on street parking, and should consider the rhythm and spacing of vehicle crossings along the street. Only one (1) vehicle crossover, including existing crossovers should be provided. If more than one (1) dwelling is proposed and the street frontage is more than 20m wide, a second crossover may be considered. This is only appropriate where this results in an improved site layout and landscaping outcome, there is at least 8m between each crossover, street trees are protected, planting opportunities are maintained in the front setback, on street parking is not reduced, and pedestrian and traffic safety is maintained. Double width vehicle crossings should only be considered where the street frontage is more than 20 metres wide. This outcome is only appropriate where street trees are protected, planting opportunities are maintained in the front setback, and on street parking is not reduced. Driveways should include curves and bends that provide sufficient room for landscaping at varying heights. Driveways should be finished in muted tones that soften their

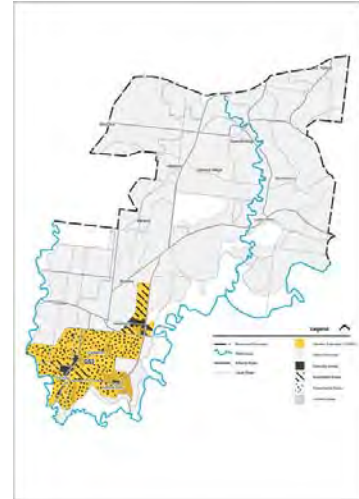
Objective	Design Response
	appearance and blend with vegetation.
To maintain the openness of front boundary treatments, the view of established front gardens and tree lined streets, and the presentation of dwellings to the street.	<ul style="list-style-type: none"> • Buildings should be sited to allow for the planting and growth of trees and shrubs. Front gardens should contain at least one (1) large tree and understorey landscaping. • Secluded private open space should be located behind the line of a dwelling that faces the street. • Provide for open style fences appropriate to the era of the dwelling.
To maintain and strengthen the view of established front gardens and tree lined streets, and to reflect the predominant era of the dwellings.	<ul style="list-style-type: none"> • Front gardens should contain at least one (1) large tree and understorey landscaping, including large shrubs. • Front fences should be preferably permeable.
To maintain and strengthen the garden dominated streetscape character and landscaped setting of the precinct.	<ul style="list-style-type: none"> • Retain existing trees wherever possible. If this cannot be achieved, or a tree is considered appropriate for removal, the site should provide adequate space for offset planting of indigenous or native trees that will grow to a mature height similar to the mature height of the tree to be removed. • One (1) medium to large tree should be provided for every 400 sq.m. of site area, with a preference for large trees. This may include existing trees that are worthy of retention. At least one of the large trees should be provided in the front setback. • Buildings (including basements) should be a sufficient distance from at least one side or rear property boundary to enable the planting and growth of medium to large trees. These setbacks should provide sufficient area for future growth of the mature canopy of trees, and understorey planting. • If more than one dwelling is proposed on a site outside an accessible area, sufficient separation should be provided between each dwelling to allow for the planting and future growth of small to medium trees and understorey vegetation. • Tree species and planting locations should be carefully selected to avoid canopy or root conflicts with overhead wires, easements and existing trees. • Building site coverage should not exceed 40% to enable sufficient pervious site area for planting, growth and retention of vegetation. This may be varied if the proposal is in an accessible area and demonstrates that the vegetated character of the site and Precinct is protected and enhanced by retaining existing vegetation and providing sufficient area for the planting of additional trees and other vegetation. • If there is no street tree within the frontage of a dwelling, a new street tree should be proposed.
To ensure that developments on or near ridgelines retain existing trees, sit below the tree canopies, minimise excavation, and enable further tree planting to form a continuous canopy, so that the scenic quality is maintained and enhanced.	<ul style="list-style-type: none"> • New buildings at or near ridgelines should be designed and sited so that cut and fill is minimised and the building sits below the height of trees along the ridgeline. • New buildings at or near ridgelines should have muted colours and tones, and non-reflective materials. • Trees and vegetation that contribute to the landscape should be retained. New native or indigenous trees should be planted on or

Objective	Design Response
	near the ridgeline to form a continuous canopy.

Garden Suburban 3

Key Existing Characteristics

Vegetation cover	Merging of street trees with trees in private gardens to form a closed exotic tree canopy in some streets. Gardens usually contain shrubs and frequent substantial trees, both exotic and native.
Regional significance	The Darebin Creek and Yarra River Corridors both border the GS3 precinct and along with the wildlife corridors all throughout Banyule, highly significant environmental values and important habitats are present, including the Ivanhoe Valley local habitat link and the Donaldson's Creek link.
Topography and ridgelines	The Heidelberg-Egglemont Ridgeline is present within the northern parts of the precinct in Ivanhoe and Egglemont. This regionally significant ridgeline provides a significant backdrop within Banyule and forms the start of the key landmark that is Banyule's highest point.
PPTN	The Hurstbridge railway line (Priority section of PPTN) runs through the centre of the precinct, linking the Ivanhoe and Heidelberg Activity Centres to the rest of Banyule and wider Metropolitan area. The PPTN bus network also runs through this precinct.
Era/style of development	Predominantly Inter war (Californian Bungalow and Centenary), with areas containing large proportions of Edwardian or Post War styles. Occasional 1960s infill. An increasingly large number of medium density housing developments, new dwellings and 'facelifts' or extensions.
Materials	Predominantly mixed brick and weatherboard, with some areas where one or the other predominates. Notable exceptions are pockets where clinker brick predominate. Mixed tiles, with weathered terracotta predominating in some areas, and red-black in others. Occasional corrugated iron roofs on timber Inter war dwellings.
Subdivision pattern	Frontages are generally 15 – 18 metres. Site sizes are generally 500 – 1000 sq.m., however a number have been subdivided further for units/townhouses and dual occupancies. Subdivision pattern is modified grid pattern. Some properties have rear rights-of-way.
Front boundary	Front fences are generally low brick or 1 metre permeable. Front gardens are usually established, with larger shrubs or trees and newer gardens are tending towards neat and formal landscaping.
Position on site	Front setbacks are generally 5 – 7 metres, with newer dwellings often 3-4 metres. Side setbacks are generally 1 and 3 metres.
Height	Dwellings are generally single storey, however second storey additions are becoming common, and some new dwellings are two storey.



Issues

- Loss of Victorian, Edwardian and Inter war dwellings, particularly in a streetscape of dwellings from these eras.
- Loss of the weatherboard dwellings south of Banksia Street, and construction of new dwellings in inappropriate materials.
- Construction of high solid front fences.
- Minimal landscaping in front setbacks.
- Loss of existing trees.
- Lack of space for planting and growth of trees and understory vegetation.
- Dwellings, carports, garages or tennis courts that are located forward of the predominant setback in the street.
- New over-sized buildings or extensions to existing dwellings that are visually prominent in streetscapes and backdrops due to their inappropriate architectural style or scale.
- Construction of new dwellings in inappropriate materials.

- The incremental increase and visual dominance of vehicle crossings, driveways and car parking spaces in the streetscape.
- Fragmentation and loss of canopy vegetation along and leading up to ridgelines.
- Visual intrusion of built form along ridgelines outside activity centres.
- Development that diminishes the significant features of the Beaumont Estate, Beauview Estate, Ivanhoe Views Estate, Sherwood Road and Throsby Grove Estate and Warringal Village Heritage Precincts.
- Loss of street trees and loss of opportunities for planting new street trees.
- Visually obtrusive site services
- Multi dwelling developments that present mirror image designs to the street.

Preferred Future Character

The character of the precinct is to be retained and enhanced by:

- Encouraging the retention of Victorian, Edwardian and Inter war buildings, particularly where individually significant, in a row, or streetscapes of dwellings from these periods.
- Designing new dwellings and extensions in an architectural style and in materials sympathetic with existing dwellings in the street.
- Encouraging detailed design variation between dwellings to prevent mirror image street presentations.
- Maintaining the overall one or two storey scale of the dwellings outside the accessible areas.
- Ensuring the scale of new dwellings in the accessible areas are sympathetic to the existing dwellings on neighbouring properties and the surrounding precinct.
- Encouraging new dwellings to follow the natural topography of the land.
- Removing environmental weeds where appropriate, retaining existing canopy trees and encouraging further planting of a mix of native and exotic trees that complement the character of the precinct.
- Positioning new buildings and appurtenances in keeping with the front setbacks of dwellings along the street and with sufficient space for tree planting.
- Keeping front fencing low and permeable with landscaped front gardens.
- Designing site layouts (including basements) with spacing around dwellings that allows for the planting and future growth of trees to maturity.
- Protecting and enhancing spines of trees along neighbouring rear yards.
- Landscaping the front setback to improve the garden setting and discourage car parking in front of dwellings.
- Designing developments with only one single width crossover and a driveway that is softened with curves and vegetation.
- Ensuring basement ramps, carports, garages and tennis courts do not dominate the streetscape.
- Protecting and enhancing the scenic and environmental qualities of treed ridgelines.
- Conserving and enhancing the heritage values of the Beaumont Estate, Beauview Estate, Ivanhoe Views Estate, Sherwood Road and Throsby Grove Estate and Warringal Village Heritage Precincts.
- Protecting and enhancing avenues of street trees, and the views of trees on private property from the street.
- Obscuring household services from street view.

The Ivanhoe Major Activity Centre is in this precinct. The preferred future character of this Activity Centre will be guided by the outcomes of a structure plan.

Parts of the Heidelberg Specialised and Major Activity Centres are in this precinct. The detailed landscaping and vegetation outcomes for residential sites in these Activity Centres are guided by this policy. The preferred future built form character of residential sites in these Activity Centres is guided by the Design and Development Overlay Schedule 5.

Outside Accessible Areas

These areas will protect and enhance the garden suburban character of the precinct with an emphasis on protecting trees and creating new opportunities for vegetation throughout sites. They will provide for a mix of well-designed single dwellings medium density dwellings in garden settings, with space around and between dwellings to create an attractive, treed landscape setting.

Accessible areas

These areas will accommodate change in a manner that supports the garden suburban character of the precinct. All developments will contribute to an enhanced treed environment, including opportunities for tree protection and planting, whilst providing for town houses and other medium density dwellings, as well as some dispersed single dwellings. Canopy trees and understory vegetation will continue to contribute to the character of the area, particularly in front setbacks to reinforce the boulevard character, and along rear boundaries to soften the interface between dwellings.

The site coverage may be greater for accessible areas as long as tree and vegetation protection is achieved. The treed and spacious feel of the streetscape character will be retained and enhanced by ensuring front setbacks are large enough to plant a large tree and other vegetation. Building heights may also be increased for these developments, with the higher components generally positioned to front onto the street, and recessed from the lower levels to reduce their visual prominence and provide space for tree canopies.

Objectives & Design Responses

Objective	Design Response
To encourage the retention of buildings that contribute to the character of the precinct.	<ul style="list-style-type: none"> Retain intact and good condition Victorian, Edwardian and Interwar dwellings that contribute to the valued character of the Precinct, as part of new developments. Alterations and extensions should retain the front façade of dwellings and be respectful to the building.
To ensure new buildings and extensions are sympathetic to the current building form and architectural style.	<ul style="list-style-type: none"> Materials should match the predominant wall and roof materials in the street. In predominantly weatherboard areas south of Banksia Street, buildings should be weatherboard or rendered brick. Match wall and roof materials in extensions. Second storey additions should reflect the architectural style and form of the existing building. Incorporate the main themes, in correct proportions and scale, from the Edwardian, Interwar or Post war or 1960s era as appropriate to the street. Variation should be provided between each dwelling of a development that faces the street. This can be achieved through varied roof pitches, window and door placement, materials, façade articulation and other design detailing.
To maintain consistency of current front setbacks whilst enable tree planting in	<ul style="list-style-type: none"> Dwellings should be setback in line with the predominant front setback of dwellings along the street.

Objective	Design Response
front gardens.	<ul style="list-style-type: none"> • In accessible areas only, a reduced front setback for new buildings (including basements) may be acceptable, if this respects the predominant front setback of nearby dwellings and supports the planting and future growth of a large tree to maturity. • For corner sites, the front setback of a dwelling facing the side street should be at a transition between the predominant setback along the side street, and the side setback of the dwelling facing the front street.
To ensure buildings and extensions do not dominate the streetscape or the building, and do not adversely affect the outlook and amenity of neighbouring dwellings.	<ul style="list-style-type: none"> • Second storey portions of buildings should be recessed from ground level wall surfaces (including the front façade), incorporated within roof spaces where possible and minimised in height. • In accessible areas, upper levels should be positioned towards the street frontage and recessed from the lower level wall surfaces. • Buildings at the rear of a site should be designed to follow the topography of the land and respond sensitively to each interface. Second storeys (where appropriate) should be modest in size, have generous side and rear setbacks and be screened with vegetation. • Developments should minimise the need for cut and fill throughout the site.
To ensure that household services are not a visually prominent feature.	<ul style="list-style-type: none"> • Solar panels should be located to minimise their visual impact. Air conditioning, rainwater tanks, bins and storage should be located and/or screened so they are not visually obtrusive in the streetscape. • In accessible areas, rooftop plant equipment should be screened and/or located to minimise their visual impact and integrate with the roof form.
To minimise loss of front garden space, and the dominance of vehicle access, storage facilities and built form as viewed from the street.	<ul style="list-style-type: none"> • Locate carports and garages behind the line of the dwelling. • Dedicated car parking spaces should not be provided between the front wall of a dwelling that faces the street, and the front property boundary. Landscaping such as large shrubs and trees in the front setback and garden beds along driveway edges should be provided to discourage car parking in this location. • Existing crossovers should be utilised where possible. • The location and design of any new vehicle crossings should not affect existing street trees or on street parking, and should consider the rhythm and spacing of vehicle crossings along the street. • Only one (1) vehicle crossover, including existing crossovers should be provided. • If more than one (1) dwelling is proposed and the street frontage is more than 20m wide, a second crossover may be considered. This is only appropriate where this results in an improved site layout and landscaping outcome, there is at least 8m between each crossover, street trees are protected, planting opportunities are maintained in the front setback, on street parking is not

Objective	Design Response
	<p>reduced, and pedestrian and traffic safety is maintained.</p> <ul style="list-style-type: none"> • Double width vehicle crossings should only be considered where the street frontage is more than 20 metres wide. This outcome is only appropriate where street trees are protected, planting opportunities are maintained in the front setback, and on street parking is not reduced. • Driveways should include curves and bends that provide sufficient room for landscaping at varying heights. • Driveways should be finished in muted tones that soften their appearance and blend with vegetation.
<p>To maintain and strengthen the view of established front gardens, and tree lined streets and to reflect the predominant era of the dwellings.</p>	<ul style="list-style-type: none"> • Front gardens should contain at least one (1) large tree and understorey landscaping that includes large shrubs. • Front fences should be permeable. • Secluded private open space should be located behind the line of a dwelling that faces the street.
<p>To maintain and strengthen the garden dominated streetscape character and landscaped setting of the precinct</p>	<ul style="list-style-type: none"> • Retain existing trees wherever possible. If this cannot be achieved, or a tree is considered appropriate for removal, the site should provide adequate space for offset planting of exotic or native trees as appropriate that will grow to a mature height similar to the mature height of the tree to be removed. • One (1) medium to large tree should be provided for every 400 sq.m. of site area, with a preference for large trees. This may include existing trees that are worthy of retention. At least one of the large trees should be provided in the front setback. • Buildings (including basements) should be a sufficient distance from at least one side or rear property boundary to enable the planting and growth of medium to large trees. These setbacks should provide sufficient area for future growth of the mature canopy of trees, and understorey planting. • If more than one dwelling is proposed on a site outside an accessible area, sufficient separation should be provided between each dwelling to allow for the planting and future growth of small to medium trees and understorey vegetation. • Tree species and planting locations should be carefully selected to avoid canopy or root conflicts with overhead wires, easements and existing trees. • Other than for the core of the Ivanhoe Major Activity Centre, building site coverage should not exceed 40% in order to provide sufficient site area for planting, growth and retention of vegetation. This may be varied if the proposal is in an accessible area and demonstrates that the vegetated character of the site and precinct is protected and enhanced by retaining existing vegetation and providing sufficient area for the planting of additional trees and other vegetation. • If there is no street tree within the frontage of a dwelling, a new street tree should be proposed.
<p>To ensure that developments on or near ridgelines retain existing trees, sit below the tree canopies, minimise excavation,</p>	<ul style="list-style-type: none"> • New buildings at or near ridgelines should designed and sited so that cut and fill is minimised and the building sits below the height of trees along the ridgeline.

Objective	Design Response
and enable further tree planting to form a continuous canopy, so that the scenic quality is maintained and enhanced.	<ul style="list-style-type: none"> • New buildings at or near ridgelines should have muted colours and tones, and non-reflective materials. • Trees and vegetation that contribute to the landscape should be retained. New native or indigenous trees should be planted on or near the ridgeline to form a continuous canopy.

Garden Suburban 4

Key Existing Characteristics

Vegetation cover	The area is heavily vegetated, both with exotic and native trees and shrubs, although the exotic species are frequently the most evident from the street. Trees in private gardens form a closed exotic tree canopy on some allotments.
Era/style of development	Mixed Inter war and occasional Post war grand homes of the Walter Burley Griffin estates. Inter war styles include Californian Bungalow, Arts and Crafts, Tudor revival. Many homes were architect designed and are unique expressions of the period.
Materials	Predominantly mixed brick, and render is used extensively. Mixed tiles, with weathered terracotta and others including grey.
PPTN	The PPTN does not service this precinct.
Topography and ridgelines	The precinct is located on the hilltop where the land slopes quite steeply down to the east and along the Yarra River corridor. This regionally significant Heidelberg-Eaglemont Ridgeline provides a significant backdrop within Banyule and is locally a key landmark.
Subdivision pattern	<p>In the Mount Eagle estate, frontages of the eastern allotments are frequently 60 - 80 metres and the lots are irregularly shaped due to the street pattern; properties to the west are regular in shape, with frontages of 18 - 25 metres. Site sizes are generally 1000 - 1500 sq.m., becoming smaller towards the west. Frontages in the Glenard estate are smaller with 18 - 25 metres and the lots are generally around 800 - 1200 sq.m.</p> <p>The Mount Eagle estate subdivision pattern is curvilinear following the contours of the land in the east, and grid in the west. Some properties in the west have rear rights-of-way. Subdivision pattern in the Glenard estate is similar, following the floodplain edge. Single lot covenants affect this area.</p>
Footpaths/nature strips	Concrete 1 metre wide footpaths are provided both sides of the street. Formal nature strips are not provided in the east, with standard nature strips in the west.
Front boundary	Front fences are generally not present or are low basalt retaining walls, often covered in vegetation. Front gardens are well established. In the eastern area the dwellings are often completely obscured by vegetation. In the west, gardens contain large shrubs and sometimes trees.
Position on site	Buildings in the western part of the character area are located in the grounds, and front setbacks are substantial, often at least 20 metres but sometimes close to the roadway due to the topography. Front setbacks of properties to the west vary between 7 and 20 metres and side setbacks are generally at least 3 metres on both sides. Buildings in the Glenard estate are setback generally 7-9 metres, with side setbacks around 1-3 metres, other than for car ports or garages.
Height	Dwellings are often two storeys, however the second storey is sometimes incorporated into the roof line of the building.
Vehicle access/storage	Side driveways are provided and some properties in the east have two driveways; car ports and garages are generally present, beside or behind the dwelling.



Issues

- Demolition of the original dwellings.
- Alterations to any aspect of the street works.
- Alterations to the subdivision layout if discernible in the streetscape, or resulting in substantial vegetation loss.
- Dwellings, carports, garages or tennis courts that are located forward of the predominant setback in the street, or with access from The Boulevard where no access is generally available.
- Loss of vegetation, particularly vegetation forward of the dwelling, remnant indigenous vegetation, other tall trees or understory planting.
- Lack of space for planting and growth of trees and understory vegetation.

- New dwellings or extensions that are inappropriate in architectural style or scale and are highly visible in the streetscape and backdrops.
- Construction of front fences.
- Minimal landscaping in front setbacks.
- The incremental increase and visual dominance of vehicle crossings, driveways and car parking spaces in the streetscape.
- Fragmentation and loss of canopy vegetation along and leading up to ridgelines.
- Visual intrusion of built form along ridgelines outside activity centres.
- Development that diminishes the significant features of the Mount Eagle and Glenard Estates.
- Loss of street trees and loss of opportunities for planting new street trees.
- Visually obtrusive site services
- Multi dwelling developments that present mirror image designs to the street.

Preferred Future Character

The character of the precinct is to be retained and enhanced by:

- Retaining existing original dwellings.
- Retaining existing street works including trees, footpaths and kerbing.
- Designing new dwellings and extensions in an architectural style, scale and in materials sympathetic with existing dwellings in the precinct.
- Encouraging detailed design variation between dwellings to prevent mirror image street presentations.
- Designing new dwellings and extensions to fit within the landscape and not to dominate views.
- Retaining significant existing vegetation, including exotic trees and vegetation on roadsides.
- Removing environmental weeds where appropriate,
- Retaining existing tall trees and encouraging extensive landscaping, including a mix of exotic, native or indigenous trees and understorey vegetation that complement the character of the precinct as part of any development proposal in the area.
- Designing site layouts with spacing around dwellings that allows for the planting and future growth of trees to maturity.
- Protecting and enhancing spines of trees along neighbouring rear yards.
- Subdividing land only when it does not result in changes to the streetscape or substantial loss of vegetation.
- Positioning new dwellings and appurtenances in keeping with the front setbacks of dwellings along the street and with sufficient space for tree planting.
- Encouraging new dwellings and appurtenances to follow the natural topography of the land.
- Providing open and well landscaped front gardens.
- Landscaping the front setback to improve the garden setting and discourage car parking in front of dwellings.
- Ensuring carports, garages and tennis courts do not dominate the streetscape.
- Designing developments without new access from The Boulevard, with only one single width crossover and a driveway that is softened with curves and vegetation.
- Protecting and enhancing the scenic and environmental qualities of treed ridgelines.
- Conserving and enhancing the heritage values of the Mount Eagle and Glenard Estates.
- Providing connections with public open space.

- Maintaining and enhancing avenues of street trees, as well as views of trees on private property from the street.
- Obscuring household services from street view.

This precinct will continue to be developed for single dwellings that respect the heritage features and garden suburban characteristics of the precinct, with an emphasis on protecting trees and creating new opportunities for vegetation throughout sites.

Objectives & Design Responses

Objective	Design Response
To encourage the retention of buildings that contribute to the character of the precinct.	<ul style="list-style-type: none"> • Where possible, to encourage the retention of intact and good condition dwellings that contribute to the valued character of the Precinct in designing new development. • Alterations and extensions should retain the front façade of dwellings and be respectful to the building.
To protect and conserve the features that contribute to the heritage significance of the Glenard and Mount Eagle Estates.	<ul style="list-style-type: none"> • Encourage outcomes that consider the relevant Banyule Heritage Guidelines.
To ensure new buildings and extensions are sympathetic to the current building form and architectural style and do not dominate the street scene, landscape, streetscape, the building, or the outlook of neighbouring dwellings	<ul style="list-style-type: none"> • New dwelling materials should match the predominant wall and roof materials in the precinct. • Match wall and roof materials in extensions. • Incorporate the main themes, in correct proportions and scale, from the Interwar or Post war era as appropriate to the street. • Second storey additions should reflect the architectural style and form of the existing building. • Second storey portions of buildings should be recessed from ground level wall surfaces, incorporated within roof spaces where possible and minimised in height. • For the Glenard Estate Heritage Precinct, where buildings in the vicinity are predominantly single storey, new dwellings should be single storey. • Buildings at the rear of a site should be designed to follow the topography of the land and respond sensitively to each interface. Second storeys (where appropriate) should be modest in size, have generous side and rear setbacks and be screened with vegetation. • Developments should minimise the need for cut and fill throughout the site. • Variation should be provided between each dwelling of a development that faces the street. This can be achieved through varied roof pitches, window and door placement, materials, façade articulation and other design detailing.
To ensure that household services are not a visually prominent feature.	<ul style="list-style-type: none"> • Solar panels should be located to minimise their visual impact. Air conditioning, rainwater tanks, bins and storage should be located and/or screened so they are not visually obtrusive in the streetscape.
To maintain consistency of current front	<ul style="list-style-type: none"> • Dwellings should be setback in line with the predominant front

Objective	Design Response
setbacks, whilst enabling tree planting in front gardens, and maintaining the landscape character of The Boulevard.	<p>setback of dwellings along the street.</p> <ul style="list-style-type: none"> • Setbacks from The Boulevard should be consistent with nearby buildings, including locating buildings at the top of the escarpment where this is the common location. • For corner sites, the front setback of a dwelling facing the side street should be at a transition between the predominant setback along the side street, and the side setback of the dwelling facing the front street.
To minimise loss of front garden space, and the dominance of vehicle access, storage facilities and built form as viewed from the street.	<ul style="list-style-type: none"> • Locate carports and garages behind the line of the dwelling. • Dedicated car parking spaces should not be provided between the front wall of a dwelling that faces the street, and the front property boundary. Landscaping such as large shrubs and trees in the front setback and garden beds along driveway edges should be provided to discourage car parking in this location. • Where driveway access is not currently available along The Boulevard, no further driveways should be constructed. • Existing vehicle crossovers should be utilised where possible. • The location and design of any new vehicle crossings should not affect existing street trees or on street parking, and should consider the rhythm and spacing of vehicle crossings along the street. • Only one (1) vehicle crossover, including existing crossovers should be provided. • If more than one (1) dwelling is proposed and the street frontage is more than 22m wide, a second crossover may be considered. This is only appropriate where this results in an improved site layout and landscaping outcome, there is at least 8m between each crossover, street trees are protected, planting opportunities are maintained in the front setback, on street parking is not reduced, and pedestrian and traffic safety is maintained. • Double width vehicle crossings should only be considered where the street frontage is more than 22 metres wide. This outcome is only appropriate where street trees are protected, planting opportunities are maintained in the front setback, and on street parking is not reduced. • Driveways should include curves and bends that provide sufficient room for landscaping at varying heights. • Driveways should be finished in muted tones that soften their appearance and blend with vegetation.
To maintain and strengthen the view of established front gardens and tree lined streets, and to reflect the predominant era of the dwellings.	<ul style="list-style-type: none"> • Retaining walls should be constructed in stone or timber. • Front gardens should contain at least one (1) large tree and understorey landscaping, including large shrubs. • Frontages to The Boulevard should not contain areas of hard paving. • Front fences should not be constructed. • Secluded private open space should be located behind the line of a dwelling that faces the street.

Objective	Design Response
<p>To maintain and strengthen the garden dominated streetscape character and landscaped setting of the precinct.</p>	<ul style="list-style-type: none"> • Retain existing trees wherever possible. If this cannot be achieved, or a tree is considered appropriate for removal, the site should provide adequate space for offset planting of exotic or native trees as appropriate that will grow to a mature height similar to the mature height of the tree to be removed. • One (1) medium to large tree should be provided for every 400 sq.m. of site area, with a preference for large trees. This may include existing trees that are worthy of retention. At least one of the large trees should be provided in the front setback. • Buildings should be a sufficient distance from at least one side or rear property boundary to enable the planting and growth of medium to large trees. These setbacks should provide sufficient area for future growth of the mature canopy of trees, and understorey planting. • If more than one dwelling is proposed, sufficient separation should be provided between each dwelling to allow for the planting and future growth of small to medium trees and understorey vegetation. • Tree species and planting locations should be carefully selected to avoid canopy or root conflicts with overhead wires, easements and existing trees. • Building site coverage should not exceed 40% in order to provide sufficient site area for planting, growth and retention of vegetation. This may be varied if the proposal demonstrates that the vegetated character of the site and Precinct is protected and enhanced by retaining existing vegetation and providing sufficient area for the planting of additional trees and other vegetation. • Encourage planting and growth of vegetation within the front setback on the property. • If there is no street tree within the frontage of a dwelling, a new street tree should be proposed.

Garden Suburban 5

Key Existing Characteristics

Vegetation cover	Remnant Red gums are present in groups along the Yarra fringe, along roadsides, in parkland and private gardens. Private gardens often contain substantial trees, usually exotics.
Regional significance	The Yarra River Corridor runs along the length of the G55 precinct and abuts the Darebin Creek to the west. These corridors are one the precincts most important attributes. Along with the wildlife corridors all throughout Banyule they provide highly significant environmental values and important habitats.
PPTN	The PPTN does not service this precinct.
Era/style of development	A mixture of Inter war, Post war and 1960s housing styles. Some buildings may be individually historically or architecturally significant. Occasional newer infill dwellings.
Subdivision pattern	Frontages are generally 18 - 25 metres. Site sizes vary depending upon the depth, but are generally 800 – 1200 sq.m. Subdivision pattern follows the floodplain edge. A large number of properties in this precinct are affected by single-lot covenants.
Topography	The precinct adjoins the Yarra River floodplain, which in parts has a steep escarpment to The Boulevard. Views are frequently available from properties lining The Boulevard.
Front boundary	Front fences are generally either not present or are very low brick or basalt. Front gardens are usually well established, with larger shrubs and usually trees. Many frontages to The Boulevard are large rockeries extending up the escarpment.
Kerb and channel	Kerbs and channels are generally standard concrete square profile, other than along The Boulevard. Much of the northern part of The Boulevard has no kerbing, or only on one side.
Footpaths/nature strips	Concrete 1 metre wide footpaths and formal nature strips are provided both sides of the street, other than along The Boulevard where no formal footpaths or nature strips are present.
Vehicle access/storage	Side driveways are sometimes provided; however many frontages to The Boulevard have no driveway access, only pedestrian.



Issues

- Loss of remnant indigenous vegetation, other tall trees, and understory planting.
- Dwellings, carports, garages or tennis courts that are located forward of the predominant setback in the street, or with access from The Boulevard where no access is generally available.
- New over-sized buildings or extensions to existing dwellings that are highly visible in the street and backdrops, particularly from The Boulevard, Hardy Terrace and the River Parklands.
- Construction of high solid front fences.
- Minimal landscaping in front setbacks.
- Lack of space for planting and growth of trees and understory vegetation.
- The incremental increase and visual dominance of vehicle crossings, driveways and car parking spaces in the streetscape.
- Loss of street trees and loss of opportunities for planting new street trees.
- Visually obtrusive site services.
- Multi dwelling developments that present mirror image designs to the street.

Preferred Future Character

The character of the precinct is to be retained and enhanced by:

- Removing environmental weeds where appropriate, retaining existing significant vegetation, including trees on roadsides, and encouraging further planting of native or indigenous trees and understorey vegetation.
- Designing site layouts with spacing around dwellings that allows for the planting and future growth of trees to maturity.
- Protecting and enhancing spines of trees along neighbouring rear yards.
- Positioning new buildings in keeping with the front setbacks of the dwellings along the street, and with sufficient space for tree planting.
- Designing new dwellings and extensions to fit within the landscape and not to dominate views, particularly from The Boulevard, Hardy Terrace and the River Parklands.
- Encouraging detailed design variation between dwellings to prevent mirror image street presentations.
- Encouraging new dwellings and appurtenances to follow the natural topography of the land.
- Providing open and well vegetated front gardens.
- Landscaping the front setback to improve the garden setting and discourage car parking in front of dwellings.
- Ensuring carports and garages do not dominate the streetscape.
- Designing developments without new access from The Boulevard, with only one single width crossover and a driveway that is softened with curves and vegetation.
- Protecting and enhancing avenues of street trees, and the views of trees on private property from the street.
- Obscuring household services from street view.

This precinct will provide for well designed single dwellings and limited medium density dwellings that protect and enhance the garden suburban character of the precinct, with an emphasis on protecting trees and creating new opportunities for vegetation throughout sites.

Objectives & Design Responses

Objective	Design Response
To maintain and strengthen the garden and tree dominated streetscape character and landscaped setting of the precinct	<ul style="list-style-type: none"> • Retain existing trees wherever possible. If this cannot be achieved, or a tree is considered appropriate for removal, the site should provide adequate space for offset planting that will grow to a mature height similar to the mature height of the tree to be removed. Replacement trees should be indigenous or native species, however exotic species may be considered where they would contribute to the character of the precinct. • One (1) medium to large tree should be provided for every 400 sq.m. of site area, with a preference for large trees. This may include existing trees that are worthy of retention. At least one of the large trees should be provided in the front setback. • Buildings should be a sufficient distance from at least one side or rear property boundary to enable the planting and growth of medium to large trees. These setbacks should provide sufficient

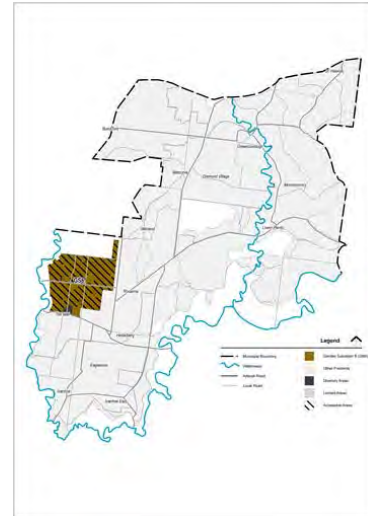
Objective	Design Response
	<p>area for future growth of the mature canopy of trees, and understorey planting.</p> <ul style="list-style-type: none"> • If more than one dwelling is proposed, sufficient separation should be provided between each dwelling to allow for the planting and future growth of small to medium trees and understorey vegetation. • Tree species and planting locations should be carefully selected to avoid canopy or root conflicts with overhead wires, easements and existing trees. • Building site coverage should not exceed 40% in order to provide sufficient site area for planting, growth and retention of vegetation. This may be varied if the proposal demonstrates that the vegetated character of the site and Precinct is protected and enhanced by retaining existing vegetation and providing sufficient area for the planting of additional trees and other vegetation. • If there is no street tree within the frontage of a dwelling, a new street tree should be proposed.
<p>To ensure buildings and extensions do not dominate the landscape, the building, the outlook of neighbouring dwellings, or the views from Hardy Terrace and the river parklands.</p>	<ul style="list-style-type: none"> • Developments should minimise the need for cut and fill throughout the site. • Buildings addressing The Boulevard should be sited and designed so that they do not dominate the views from properties on Hardy Terrace and the river parklands beyond. • Second storey portions of buildings should be recessed from ground level wall surfaces and minimised in height. • Buildings at the rear of a site should be designed to follow the topography of the land and respond sensitively to each interface. Second storeys (where appropriate) should be modest in size, have generous side and rear setbacks and be screened with vegetation. • Where buildings in the vicinity are predominantly single storey, new dwellings should be single storey.
<p>To ensure new buildings fit within the landscape and extensions are sympathetic to the current building form and architectural style.</p>	<ul style="list-style-type: none"> • Match wall and roof materials in extensions. • Second storey additions should reflect the architectural style and form of the existing building. • Variation should be provided between each dwelling of a development that faces the street. This can be achieved through varied roof pitches, window and door placement, materials, façade articulation and other design detailing.
<p>To ensure that household services are not a visually prominent feature.</p>	<ul style="list-style-type: none"> • Solar panels should be located to minimise their visual impact. Air conditioning, rainwater tanks, bins and storage should be located and/or screened so they are not visually obtrusive in the streetscape.
<p>To maintain consistency of current front setbacks, whilst enabling tree planting in front gardens, and maintain the landscape character of The Boulevard and Hardy Terrace.</p>	<ul style="list-style-type: none"> • Dwellings should be setback in line with the predominant front setback of dwellings along the street. • Setbacks from The Boulevard should be consistent with nearby buildings, including locating buildings at the top of the escarpment where this is the common location. Properties with

Objective	Design Response
	<p>frontages on both The Boulevard and Hardy Terrace should have a setback from Hardy Terrace that allows for the provision of screen planting.</p> <ul style="list-style-type: none"> For corner sites, the front setback of a dwelling facing the side street should be at a transition between the predominant setback along the side street, and the side setback of the dwelling facing the front street.
<p>To minimise loss of front garden space, and the dominance of vehicle access, storage facilities and built form as viewed from the street.</p>	<ul style="list-style-type: none"> Locate carports and garages behind the line of the dwelling. Dedicated car parking spaces should not be provided between the front wall of a dwelling that faces the street, and the front property boundary. Landscaping such as large shrubs and trees in the front setback and garden beds along driveway edges should be provided to discourage car parking in this location. Where driveway access is not currently available along The Boulevard, no further driveways should be constructed. Existing vehicle crossovers should be utilised where possible. The location and design of any new vehicle crossings should not affect existing street trees or on street parking, and should consider the rhythm and spacing of vehicle crossings along the street. Only one (1) vehicle crossover, including existing crossovers should be provided. If more than one (1) dwelling is proposed and the street frontage is more than 22m wide, a second crossover may be considered. This is only appropriate where this results in an improved site layout and landscaping outcome, there is at least 8m between each crossover, street trees are protected, planting opportunities are maintained in the front setback, on street parking is not reduced, and pedestrian and traffic safety is maintained. Double width vehicle crossings should only be considered where the street frontage is more than 22 metres wide. This outcome is only appropriate where street trees are protected, planting opportunities are maintained in the front setback, and on street parking is not reduced. Driveways should include curves and bends that provide sufficient room for landscaping at varying heights. Driveways should be finished in muted tones that soften their appearance and blend with vegetation.
<p>To maintain and strengthen the view of established front gardens, tree lined streets, and escarpment rockeries from the road.</p>	<ul style="list-style-type: none"> Front gardens should contain at least one (1) large tree and understorey landscaping, including large shrubs. Frontages to The Boulevard should not contain areas of hard paving. Front fences should not be constructed. Secluded private open space should be located behind the line of a dwelling that faces the street.

Garden Suburban 6

Key Existing Characteristics

Vegetation cover	Occasional small pockets of remnant native vegetation. Occasionally street trees add to the vegetation cover of private gardens creating a semi-enclosed canopy. Few tall trees. Gardens usually contain shrubs and sometimes substantial trees, exotic and native mix.
Regional significance	The Darebin Creek Corridor borders the GS6 precinct and along with the wildlife corridors all throughout Banyule, highly significant environmental values and important habitats are present.
PPTN	The PPTN bus network runs through this precinct (Priority section of PPTN).
Era/style of development	Predominantly 1950s and 1960s housing, occasional interwar, post war styles and newer modern dwellings including dual occupancy developments.
Materials	Predominantly brick and a mix of brick and weatherboard. New dwellings incorporate a mix of render. Predominantly concrete tiles, red-black and grey.
Subdivision pattern	Site sizes are generally 500 – 800 sq.m. Frontages are consistent at approximately 12-18m. Subdivision pattern is modified grid with some cul-de-sacs and some rear laneways.
Front boundary	Front fences are generally either not present, 1 metre permeable or low brick matching the dwelling. Front gardens are generally low level with lawn and low shrubs.
Position on site	Front setbacks vary between 6-10 metres depending upon the depth of the block. However, setbacks are often consistent within a street. Side setbacks are generally 1 and 3 metres.
Height	Dwellings are generally single storey, however newer dwellings are more often double storey. Two storey dwellings are sometimes located on slopes and where views area available. Two storey blocks of flats occur at intervals, generally in groups of three or four.
Vehicle access/storage	Side driveways are provided; carports are generally not present, garages are sometimes located to the rear of the dwelling.



Issues

- Carports or garages that are located forward of the dwelling.
- New oversized buildings or extensions to existing dwellings that are highly visible in the street and backdrops due to their inappropriate architectural style or scale.
- Construction of high or solid front fences.
- Minimal landscaping in front setbacks.
- Dwellings that are located forward of the predominant setback in the street.
- Loss of the Eucalypt street trees and split carriageway treatments.
- Lack of space for planting and growth of trees and understory vegetation.
- The incremental increase and visual dominance of vehicle crossings, driveways and car parking spaces in the streetscape.
- Loss of street trees and loss of opportunities for planting new street trees.
- Visually obtrusive site services.
- Multi dwelling developments that present mirror image designs to the street.

Preferred Future Character

The character of the precinct is to be retained and enhanced by:

- Designing new infill dwellings in an architectural style sympathetic with existing dwellings east of Waterdale Road, and in a contemporary style to enhance the urban environment west of Waterdale Road.
- Encouraging detailed design variation between dwellings to prevent mirror image street presentations.
- Maintaining the overall one or two storey scale of dwellings outside the accessible areas.
- Ensuring the scale of new dwellings in the accessible areas are sympathetic to the existing dwellings on neighbouring properties and the surrounding precinct.
- Providing low and permeable front fencing coupled with vegetated front gardens.
- Positioning new dwellings and appurtenances in keeping with the front setbacks of dwellings along the street, and with sufficient space for tree planting.
- Enhancing the landscape setting by removing environmental weeds where appropriate, and planting native or indigenous trees and understorey vegetation.
- Protecting and enhancing spines of trees along neighbouring rear yards.
- Designing site layouts (including basements) with spacing around dwellings to allow sufficient space for the planting and future growth of trees to maturity.
- Landscaping the front setback to improve the garden setting and discourage car parking in front of dwellings.
- Ensuring basement ramps, carports and garages do not dominate the streetscape.
- Designing developments with only one single width crossover and a driveway that is softened with curves and vegetation.
- Protecting and enhancing avenues of street trees, Protecting and enhancing avenues of street trees, including the eucalypt street trees and carriageway treatments, and the views of trees on private property from the street.
- Obscuring household services from street view.
- Ensuring basement ramps do not dominate the streetscape.

Outside Accessible Areas

These areas will protect and enhance the garden suburban character of the precinct with an emphasis on protecting trees and creating new opportunities for vegetation throughout sites. They will provide for a mix of well designed single dwellings and medium density dwellings in garden settings, with space around and between dwellings to create an attractive, treed landscape setting.

Accessible Areas

These areas will accommodate change in a manner that enhances the preferred future character for the precinct whilst providing for housing growth that supports an improved treed urban environment.

Canopy trees and understorey vegetation will make a stronger contribution to the character of the area, particularly in front setbacks to reinforce the character of the street and along rear boundaries to soften the interface between dwellings.

New town houses and other medium density dwellings will be provided. Greater housing densities will be located on sites that:

- Have a frontage to or share a boundary with the Bell Street Mall or Olympic Village Shopping Centre.

- Front onto Bell Street, Oriel Road, Waterdale Road, or Southern Road.
- Are adjoining a public park west of McEwan Road.

The site coverage may be greater as long as tree protection and planting is achieved. The treed and spacious feel of the streetscape character will be enhanced by ensuring front setbacks are large enough to plant a large tree and other vegetation. Building heights may also be increased for these developments, with the higher components generally positioned towards the front of the site, and recessed from the lower levels to reduce their visual prominence and provide space for tree canopies.

Objectives & Design Responses

Objective	Design Response
To ensure new infill buildings are sympathetic to the current building form and style in Heidelberg Heights, and revitalise the character and urban environment in Heidelberg West.	<ul style="list-style-type: none"> • On sites to the east of Waterdale Road, dwellings should incorporate the main themes, in correct proportions and scale from the 1950s era, i.e.: low pitched, hipped roof forms; narrow, boxed eaves, as appropriate to the street. Second storey additions should reflect the style and form of the existing building, however period detailing is not encouraged. • On sites fronting or to the west of Waterdale Road, a range of well designed contemporary dwelling styles should be pursued. • Variation should be provided between each dwelling of a development that faces the street. This can be achieved through varied roof pitches, window and door placement, materials, façade articulation and other design detailing.
To maintain consistency of current front setbacks whilst enabling tree planting in front gardens.	<ul style="list-style-type: none"> • Dwellings outside accessible areas should be setback in line with the predominant front setback of dwellings along the street. • Only in accessible areas fronting or to the west of Waterdale Road, a reduced front setback may be acceptable for new buildings (including basements) if this respects the predominant front setback of nearby dwellings and supports the planting and future growth of a large tree to maturity. • For corner sites, the front setback of a dwelling facing the side street should be at a transition between the predominant setback along the side street, and the side setback of the dwelling facing the front street.
To ensure buildings and extensions do not dominate the streetscape or the building, and do not adversely affect the outlook and amenity of neighbouring dwellings.	<ul style="list-style-type: none"> • Second storey portions of buildings outside accessible areas should be recessed from ground level wall surfaces and minimised in height. • Buildings at the rear of a site should be designed to follow the topography of the land and respond sensitively to each interface. Second storeys (where appropriate) should be modest in size, have generous side and rear setbacks and be screened with vegetation. • Only in accessible areas west of Waterdale Road, good quality contemporary designs should be proposed that provide well-articulated built forms to reduce building bulk and provide visual interest. Upper levels should be recessed above the second storey and positioned towards the street frontage.
To ensure that household services are not a visually prominent feature.	<ul style="list-style-type: none"> • Solar panels should be located to minimise their visual impact. Air conditioning, rainwater tanks, bins and storage should be located and/or screened so they are not visually obtrusive in the

Objective	Design Response
	<p>streetscape.</p> <ul style="list-style-type: none"> In accessible areas, rooftop plant equipment should be screened and/or located to minimise their visual impact and integrate with the roof form.
<p>To minimise loss of front garden space, and the dominance of vehicle access, storage facilities and built form as viewed from the street.</p>	<ul style="list-style-type: none"> Buildings should be sited to allow for the planting and growth of trees and shrubs. Front gardens should contain at least one (1) large tree and understorey landscaping, including large shrubs. Locate carports and garages behind the line of the dwelling. Dedicated car parking spaces should not be provided between the front wall of a dwelling that faces the street, and the front property boundary. Landscaping such as large shrubs and trees in the front setback and garden beds along driveway edges should be provided to discourage car parking in this location. Existing vehicle crossovers should be utilised where possible. The location and design of any new vehicle crossings should not affect existing street trees or on street parking, and should consider the rhythm and spacing of vehicle crossings along the street. Only one (1) vehicle crossover, including existing crossovers should be provided. If more than one (1) dwelling is proposed and the street frontage is more than 20m wide, a second crossover may be considered. This should only be supported where this results in an improved site layout and landscaping outcome, there is at least 8m between each crossover, street trees are protected, planting opportunities are maintained in the front setback, on street parking is not reduced, and pedestrian and traffic safety is maintained. Double width vehicle crossings should only be considered where the street frontage is more than 20 metres wide. This outcome is only appropriate where street trees are protected, planting opportunities are maintained in the front setback, and on street parking is not reduced. Driveways should include curves and bends that provide sufficient room for landscaping at varying heights. Driveways should be finished in muted tones that soften their appearance and blend with vegetation.
<p>To maintain the openness of front boundary treatments, the view of established front gardens and tree lined street, and the presentation of dwellings to the street.</p>	<ul style="list-style-type: none"> Buildings should be sited to allow for the planting and growth of trees and shrubs. Front gardens should contain at least one (1) large tree and understorey landscaping, including large shrubs . Provide for open style fences appropriate to the era of the dwelling. Secluded private open space should be located behind the line of a dwelling that faces the street.
<p>To strengthen the garden and tree dominated streetscape character and landscaped setting of the precinct.</p>	<ul style="list-style-type: none"> Retain existing trees wherever possible. If this cannot be achieved, or a tree is considered appropriate for removal, the site should provide adequate space for offset planting of indigenous or native trees that will grow to a mature height

Objective	Design Response
	<p>similar to the mature height of the tree to be removed.</p> <ul style="list-style-type: none"> • One (1) medium to large tree should be provided for every 400 sq.m. of site area, with a preference for large trees. This may include existing trees that are worthy of retention. At least one of the large trees should be provided in the front setback. • Buildings (including basements) should be a sufficient distance from at least one side or rear property boundary to enable the planting and growth of medium to large trees. These setbacks should provide sufficient area for future growth of the mature canopy of trees, and understorey planting. • If more than one dwelling is proposed on a site outside an accessible area, sufficient separation should be provided between each dwelling to allow for the planting and future growth of small to medium trees and understorey vegetation. • Tree species and planting locations should be carefully selected to avoid canopy or root conflicts with overhead wires, easements and existing trees. • Building site coverage should enable sufficient pervious site area for planting, growth and retention of vegetation. • If there is no street tree within the frontage of a dwelling, a new street tree should be proposed.

Semi Bush

Key Existing Characteristics

Vegetation cover	Bushy environment with dominant native high canopy trees, often forming a closed canopy, and significant under storey vegetation. Houses often screened from view from the street. Sounds of bellbirds.
Regional significance	The Semi Bush areas are within the Banyule Foothills, providing the hilly and 'green' backdrop to the municipality and beyond. The wildlife corridors all throughout the Semi Bush areas provide significant environmental values and important habitat links, including the important habitat for Eltham Copper Butterfly at Yandell Reserve.
Topography and ridgelines	Land is hilly to very hilly. The regionally significant Foothill Ridgelines runs north-south through all areas of the precinct contributing to one of the main key green backdrops in Banyule.
PPTN	The southern section of this precinct is serviced by the PPTN bus network.
Street trees	Generally informal native planting.
Front boundary	Front fences are rarely present. Occasional basalt or railway sleeper retaining walls. Front gardens are usually bushy, other than the subdivision to the north where front gardens are understorey, but still contain substantial trees.
Footpaths/nature strips	Footpaths are generally provided on one side of the street only and are concrete, 1 metre wide. Nature strips are not formalised, but extend to the roadway, often with no delineation between private and public land.
Position on site	Front setbacks vary between 7 - 9 metres and some 10 – 20 metres on larger sites. Side setbacks vary similarly between 3 and 6 metres.
Height	Dwellings are usually single storey, other than on slopes where two storeys are accommodated in the fall of the land.



Issues

- Removal of canopy trees at the front or rear of the dwellings, and removal of lower level vegetation in front of dwellings.
- Minimal landscaping in front setbacks.
- Increased use of non-indigenous vegetation.
- Excavation for dwelling sites, driveways or garages, rather than building to follow the topography.
- Buildings that penetrate the tree canopy.
- Buildings that are highly visible from the street and backdrops due to position on the site, scale or colour.
- Formal street works (e.g. footpaths and square kerbing).
- Lack of space for planting and growth of trees and understorey vegetation.
- The incremental increase and visual dominance of vehicle crossings, driveways and car parking spaces in the streetscape.
- Fragmentation and loss of canopy vegetation along and leading up to ridgelines.
- Loss of street trees and loss of opportunities for planting new street trees.
- Visually obtrusive site services.
- Multi dwelling developments that present mirror image designs to the street.

Preferred Future Character

The character of the precinct is to be retained and enhanced by:

- Designing new buildings and extensions in a scale, architectural style and colour sympathetic with existing dwellings and vegetation.
- Encouraging detailed design variation between dwellings to prevent mirror image street presentations.
- Positioning new dwellings in keeping with the front setbacks of nearby dwellings.
- Retaining existing canopy trees, and other significant vegetation including the Melbourne Yellow-gums.
- Ensuring, carports and garages do not dominate the streetscape.
- Planting trees and shrubs in the front setback to improve the bush setting and discourage car parking in front of dwellings.
- Removing environmental weeds where appropriate, and planting indigenous trees and understorey vegetation.
- Designing site layouts with spacing around dwellings that allows for planting and the future growth of trees to maturity.
- Minimising the excavation of sites.
- Maintaining open front boundary treatments coupled with vegetation in front gardens.
- Retaining existing informal street treatments.
- Designing developments with only one single width crossover and a driveway that is softened with curves and vegetation.
- Protecting and enhancing the scenic and environmental qualities of treed ridgelines.
- Protecting and enhancing avenues of street trees, as well as the views of trees on private property from the street.
- Obscuring household services from street view.

This precinct will contain a mix of sensitively designed single dwellings and some dispersed medium density dwellings that protect and enhance the character of the precinct with an emphasis on protecting trees and creating new opportunities for vegetation throughout sites.

Objectives & Design Responses

Objective	Design Response
To maintain and enhance the indigenous vegetation dominated vistas, streetscapes and backdrops, and encourage the replanting of indigenous plants.	<ul style="list-style-type: none"> • Retain existing trees wherever possible. If this cannot be achieved, or a tree is considered appropriate for removal, the site should provide adequate space for offset planting of indigenous or native trees that will grow to a mature height similar to the mature height of the tree to be removed. • Retain the existing Melbourne Yellow-gums (<i>Eucalyptus leucoxylon subsp. Connata</i>) in SB (West), which are listed as vulnerable on the Advisory List of Rare or Threatened Plants in Victoria, DSE 2005. • One (1) medium to large indigenous or native tree should be planted for every 150 sq.m. of site area. These be predominantly large trees, and may include existing trees that are worthy of retention. At least one of the large trees should be provided in the front setback (Note: sufficient unpaved space must be

Objective	Design Response
	<p>provided around each tree for growth).</p> <ul style="list-style-type: none"> • Buildings should be a sufficient distance from at least one side or rear property boundary to enable the planting and growth of medium to large trees. These setbacks should provide sufficient area for future growth of the mature canopy of trees, and understorey planting. • If more than one dwelling is proposed, sufficient separation should be provided between each dwelling to allow for the planting and future growth of small to medium trees and understorey vegetation. • Tree species and planting locations should be carefully selected to avoid canopy or root conflicts with overhead wires, easements and existing trees.
<p>To ensure buildings and extensions do not dominate the streetscape or the building, and do not adversely affect the outlook and amenity of neighbouring dwellings.</p>	<ul style="list-style-type: none"> • Developments should minimise the need for cut and fill throughout the site. • Second storey portions of buildings should be recessed from ground level wall surfaces, incorporated within roof spaces where possible and minimised in height. • Buildings at the rear of a site should be designed to follow the topography of the land and respond sensitively to each interface. Second storeys (where appropriate) should be modest in size, have generous side and rear setbacks and be screened with vegetation. • Buildings should not penetrate the tree canopy.
<p>To ensure buildings and extensions maintain the spaciousness and bush character of front gardens.</p>	<ul style="list-style-type: none"> • Front fences should not be provided. Timber or basalt retaining walls are acceptable where required. • Sufficient space should be provided in front yards for the retention and/or planting of large trees and shrubs. • Secluded private open space should be located behind the line of a dwelling that faces the street.
<p>To ensure that household services are not a visually prominent feature.</p>	<ul style="list-style-type: none"> • In SB (West), weatherboard dwellings should not be painted. • Wall and roof materials should be of earthy, 'bush' tones. • Variation should be provided between each dwelling of a development that faces the street. This can be achieved through varied roof pitches, window and door placement, materials, façade articulation and other design detailing.
<p>To ensure that household services are not a visually prominent feature.</p>	<ul style="list-style-type: none"> • Solar panels should be located to minimise their visual impact. Air conditioning, rainwater tanks, bins and storage should be located and/or screened so they are not visually obtrusive in the streetscape.
<p>To maintain consistency of current front setbacks whilst enabling tree planting in front gardens.</p>	<ul style="list-style-type: none"> • Dwellings should be setback in line with the predominant front setback of dwellings along the street. • For corner sites, the front setback of a dwelling facing the side street should be at a transition between the predominant setback along the side street, and the side setback of the dwelling facing the front street.

Objective	Design Response
<p>To minimise excavation for vehicle access, loss of front garden space, and dominance of vehicle access, storage facilities and built form as viewed from the street.</p>	<ul style="list-style-type: none"> • Locate carports, garages, and all uncovered parking spaces behind the line of the dwelling. Landscaping such as large shrubs and trees in the front setback should be provided to discourage car parking in the front yard. • Existing vehicle crossovers should be utilised where possible. • The location and design of any new vehicle crossings should not affect existing street trees or on street parking, and should consider the rhythm and spacing of vehicle crossings along the street. • Only one (1) vehicle crossover, including existing crossovers should be provided. • If more than one (1) dwelling is proposed and the street frontage is more than 22m wide, a second crossover may be considered. This is only appropriate where this results in an improved site layout and landscaping outcome, there is at least 8m between each crossover, street trees are protected, planting opportunities are maintained in the front setback, on street parking is not reduced, and pedestrian and traffic safety is maintained. • Double width vehicle crossings should only be considered where the street frontage is more than 22 metres wide. This outcome is only appropriate where street trees are protected, planting opportunities are maintained in the front setback, and on street parking is not reduced. • Driveways should follow the contours of the site and should be finished with earthy natural tones such as dark greys and browns to blend with vegetation. • Driveways should include curves and bends that provide sufficient room for landscaping at varying heights.
<p>To ensure that adequate space is available on private land for the retention and planting of vegetation.</p>	<ul style="list-style-type: none"> • Building site coverage should not exceed 40% in order to provide sufficient site area for planting, growth and retention of vegetation. This may be varied if the proposal demonstrates that the vegetated character of the site and Precinct is protected and enhanced by retaining existing vegetation and providing sufficient area for the planting of additional trees and other vegetation. • Buildings should be setback from all boundaries a sufficient distance to accommodate the retention or planting of medium to large trees. These setbacks should provide sufficient area for planting and the future growth of the mature canopy of trees, and understorey planting. • Sufficient space should be provided in front yards for the retention and/or planting of large trees and shrubs.
<p>To ensure that developments on or near ridgelines retain existing trees, sit below the tree canopies, minimise excavation, and enable further tree planting to form a continuous canopy, so that the scenic quality is maintained and</p>	<ul style="list-style-type: none"> • New buildings at or near ridgelines should be designed and sited so that cut and fill is minimised and the building sits below the height of trees along the ridgeline. • New buildings at or near ridgelines should have muted colours and tones, and non-reflective materials. • Trees and vegetation that contribute to the landscape should be retained. New native or indigenous trees should be planted on or

Objective	Design Response
enhanced.	near the ridgeline to form a continuous canopy.

5. Emerging Neighbourhood Character Issues

The MSS acknowledges that various parts of the City will need to accommodate change. This change needs to be carefully managed to prevent the erosion of neighbourhood character and preserve the community's sense of place. This requires a preferred future character which supports some change in parts in the city and limited changed in others.

Change means that some issues may emerge over time that the City does not yet have clear direction on.

These issues will be recorded in this section of the strategy, and updated as they arise to ensure that they are considered in any future improvements and refinements to the policy.

6. Draft Action Plan

1. The priority action for this strategy is to enable an improved local policy for residential neighbourhood character. A permanent policy will be pursued through a request for authorisation. Concurrently, a request will be made for this improved policy to be an extended interim policy at clause 22.02 of the Banyule Planning Scheme.
2. Make progress for a permanent approach on neighbourhood character in the Planning Scheme.
3. Consider the application of the new Residential Zones recently announced by the State, in light of the Residential Areas Framework at Clause 21.06 of the Planning Scheme.
4. Establish a refined and improved Neighbourhood Character Strategy that considers the above and provides clearer guidance for designing developments across the City.
5. Ongoing work will also provide for a more detailed action plan with priorities, and will include consideration of issues with the exhibited action plan from version 1, that have been previously raised by submitters. The detailed action plan could guide future 10 year budgeting and planning for the neighbourhood character priorities.

Appendix 1

Glossary

Active frontages	Refers to those situations where there is an active visual engagement between those on the street and those on the ground floor of buildings and entrances which face onto the street.
Activity Centres	Provide the focus for services, employment and social interaction in cities and towns. They are where people shop, work, meet, relax and often live. Usually well-served by public transport, they range in size and intensity of use from local neighbourhood strip shopping centres to traditional universities and major regional malls.
Banyule Planning Scheme	Statutory planning document setting out the state wide and local policies and controls for land use and development within a municipality, containing the ordinance (text component) and maps. The planning scheme will indicate if a planning permit is required to change the use of land, or to construct a building or make other changes to the land.
Building height	The vertical distance from natural ground level to the roof or parapet at any point.
Crossovers	Means a constructed driveway which provides a physical means of entry or exit for vehicles between adjoining land and a public road.
Environmentally Sustainable Design/Development (ESD)	Means including building design features, layouts and practices that for example: <ul style="list-style-type: none"> • promote the efficient use of energy • promote the efficient use of water • reduce the impact of storm water • minimise car dependency • minimise construction waste • minimise the environment impacts of building materials

Environmental Weeds	Invasive plants that threaten native biodiversity. Environmental weeds present in Banyule are identified in the Banyule Weed Management Strategy.
Exotic vegetation	Plants that grow outside their natural range.
Higher density housing	Housing units on a given area of land that are more numerous than the average in the surrounding area. Higher density housing could include different housing types including apartments, townhouses, shop top homes, multiple homes on single lots. Higher density does not necessarily result in high-rise development.
Housing areas	See Section 5.3 of Strategy.
Housing Framework Map	Shows the broad location of each of the areas given in the <i>Residential Areas Framework</i> at Clause 21.06 of the Banyule Planning Scheme. The <i>Housing Framework Map</i> is for illustrative purposes only and should not be used to determine the exact location of the residential area.
Indigenous Vegetation	Plants and trees that are native species which occur naturally in a local area. Over 300 species have been recorded within Banyule.
Incorporated document	The Planning and Environment Act 1987 allows certain documents to be incorporated in a Planning Scheme by reference, rather than by physically including them in the scheme. Documents which have been incorporated form part of that Planning Scheme. They contain information that is directly relevant to specific decisions under the Planning Scheme.
Large Trees	Trees that have a mature height of 13 or more metres.
Medium density housing	Development of a parcel of land for more than one house at no more than 2 or 3 stories high. These developments are typically known as town houses or units.
Medium Trees	Trees that have a mature height of 8 to 13 metres.

Metropolitan Strategy	<p>Over the next two years the Victorian Government will be preparing a new metropolitan planning strategy to manage Melbourne’s growth and change. The strategy will contribute to the overall vision for the State including links with regional Victoria.</p> <p>The strategy will help guide Melbourne’s growth and change over the next 30-40 years. It will give communities, businesses and local government the confidence, flexibility and certainty needed to make informed decisions about their future.</p>
Municipal Strategic Statement (MSS)	<p>Part of the Local Planning Policy Framework of the Planning Scheme, this contains the strategic planning land use and development objectives of the planning authority, the strategies for achieving these objectives and the relationship to controls over the use and development of land in the planning scheme.</p>
Native trees / Vegetation	<p>Plants that are indigenous to Victoria, including trees, shrubs, herbs and grasses as defined in Clause 72 of the Banyule Planning Scheme.</p>
Neighbourhood character area types	<p>See section 5.1 of Strategy.</p>
Neighbourhood character	<p>The way in which buildings, vegetation and the topography, in both the private and public ownership, relate to each other. It’s what makes one place different from another.</p>
Offset Planting	<p>Offset planting makes compensation for the removal of trees by revegetating and protecting an area on the site that the trees have been removed from.</p>
Overlay	<p>The planning scheme map may show that a piece of land has an overlay as well as a zone affecting it. Not all land has an overlay. Some land may be affected by more than one overlay. If an overlay applies, the land will have some special feature such as a heritage building, significant vegetation or flood risk. The overlay information will indicate if a planning permit is required for the construction of a building or other changes to the land.</p>

Planning Scheme Amendment	The process of making a change to the Planning Scheme. The amendment process is set out in legislation (Planning and Environment Act 1987). It can take a number of months to complete an amendment.
Principal Public Transport Network (PPTN)	The Principal Public Transport Network includes the networks of train and tram services, and the existing and proposed SmartBus routes, and other bus routes. The SmartBus network complements the radial train and tram network, by providing 'cross-town' connections along major arterial roads to train stations, tram lines, schools, universities, hospitals, shopping centres and other activity centres. The State Government is responsible for identifying the PPTN in Metropolitan Melbourne.
Public Park	The public parks referred to in this strategy include: <ul style="list-style-type: none"> • Narvik Reserve, Heidelberg West • Shelley Park, Heidelberg West • Malahang Reserve, Heidelberg West • Ramu Reserve, Heidelberg West • Buna Reserve, Heidelberg West • Olympic Village Reserve, Heidelberg West • Olympic Park, Heidelberg West
Reference document	In the context of the Planning Scheme, reference documents provide background information to assist the reader in understanding the context of a particular Planning Scheme policy. They may be wide-ranging in their content and contain information not directly relevant to specific decisions under the Planning Scheme.
ResCode	Is a residential design code. It applies to all land zoned for residential use across Victoria and covers buildings up to three storeys in height - taller buildings are covered by different policies. It is included in the Banyule Planning Scheme.
Residential Areas Framework	Describes the long term vision for a number of residential areas. The <i>Residential Areas Framework</i> at Clause 21.06 of the Banyule Planning Scheme gives a general description of each area including its location and guidance on the level of housing change that is considered appropriate.

Setback	The minimum distance from any allotment boundary to a building. Includes street setback, rear setback and side setback.
Significant trees	The Banyule Significant Tree and Vegetation Register includes a list of trees and areas of vegetation that are <i>significant</i> within the City of Banyule. The trees are significant because of their size, age, rarity, form or historical and cultural associations. Each tree or group of trees has been assessed by Council's Arborist and Environmental Officer. Significant trees are protected through the Environmental Significance overlay Schedule 4 in Banyule Planning Scheme.
Site coverage	The proportion of a site covered by buildings
Small trees	Trees that have a mature height of 5 to 7metres.
Substantial trees	Trees that are prominent above the height of existing dwellings, and along streets. Substantial trees contribute to ridgelines and are visible in backdrops and vistas. They beautify and add natural interest to the residential areas in which they are located, contribute to local identity and character of neighbourhoods. This may include large or medium trees. Substantial trees are protected in some parts of Banyule by the Vegetation Protection Overlay Schedule 5.
Understorey vegetation	A layer of vegetation beneath the main canopy
Zones	The planning scheme zones land for particular uses, for example, residential, industrial, business or other. The zones are listed in the planning scheme and each zone has a purpose and set of requirements. This information will describe if a planning permit is required, and the matters that the council must consider before deciding to grant a permit.

Appendix 2 – Landscape Assessment for Significant Ridgelines in Banyule

landscape assessment for significant ridgelines in banyule

prepared by **hansen partnership pty ltd**
and **banyule city council**

june 2012

hansen



urban planning | urban design | landscape architecture



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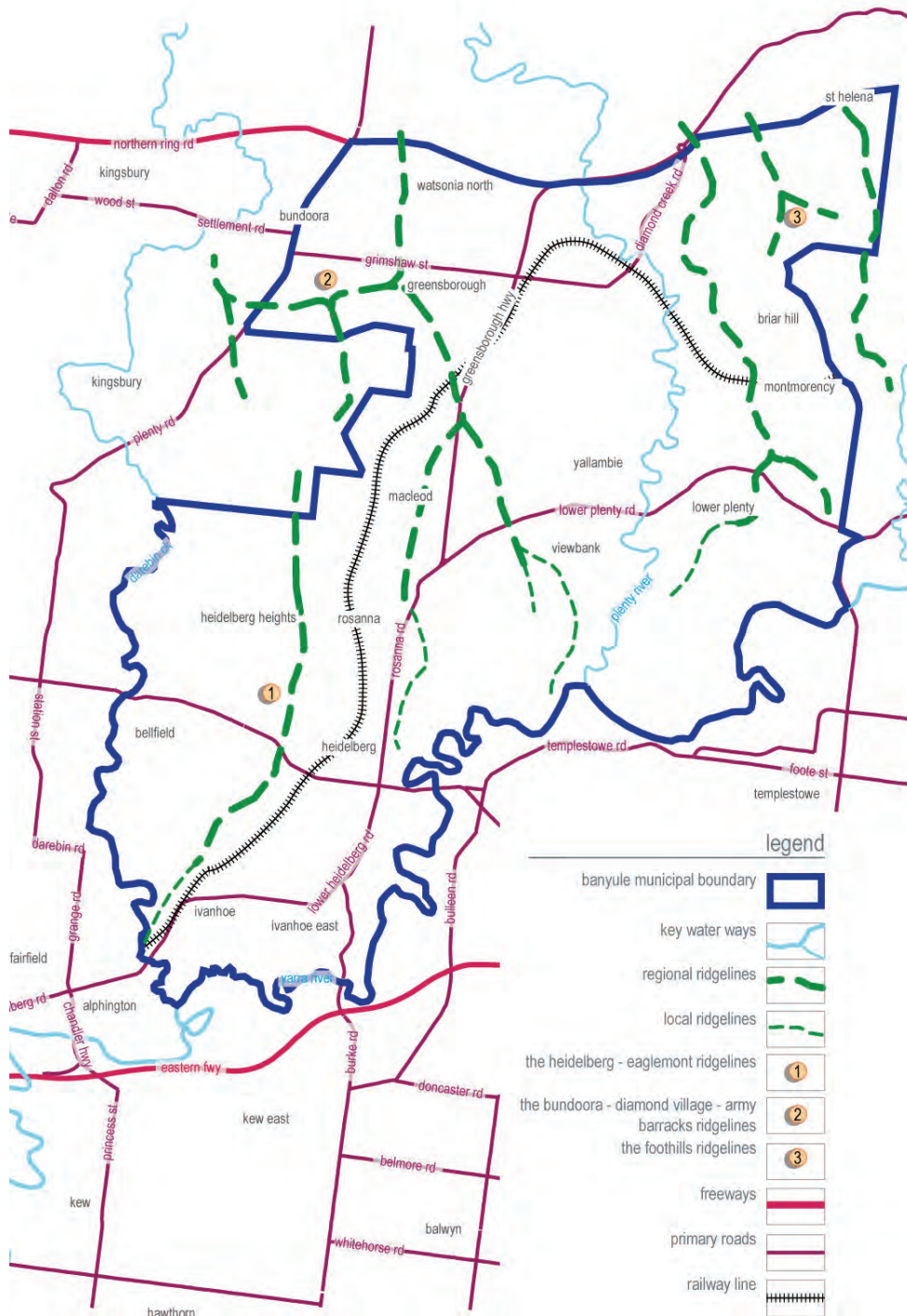


Figure 1	location map
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Figure 11	foothills ridgelines



1 Executive Summary

This study has uncovered three locally and regionally significant ridgelines in Banyule. They are the: Heidelberg to Eaglemont ridgeline; Bundoora to Diamond Village to Army Barracks ridgeline; and Foothills ridgelines. These ridgelines are shown on the following map of Banyule.





These ridgelines significantly contribute to the landscape character of various neighbourhoods in Banyule. They also contribute to the landscape of metropolitan Melbourne's inner-north.

The ridgelines have continuous green, treed hilltops with homes that sit below the canopy of trees. Many of these trees were planted or have grown since European settlement on private land along the ridgelines. These trees are clearly visible, above and around buildings and roads. They define skylines and provide backdrops to various neighbourhoods in Banyule and the region.

Along the ridgelines, a skyline of canopy trees is punctured by taller buildings and structures at some of Banyule's activity areas in Heidelberg, Ivanhoe and Watsonia. The larger buildings are hospitals, offices and apartments at the core of these three places. This urban landscape enables people to look across their treed residential streets to their commercial centres, which are seen in backdrops.

This study has identified opportunities to better protect and improve Banyule's significant ridgelines, with changes to the Banyule Planning Scheme. Because the ridgelines are mainly used for residential purposes, these changes are associated with a preferred 'green, treed' landscape character for various neighbourhoods at the ridgelines.

The priority planning scheme changes should be to improve the existing local planning policy for neighbourhood character and a vegetation protection overlay, schedule 5 for substantial trees. The changes would support a planning scheme approach to manage tree protection, planting and residential development at the ridgelines and for affected neighbourhoods.

Lesser priorities for the planning scheme include an updated Municipal Strategic Statement (MSS), to give strategic weight to further overlay controls for each ridgeline. There is also the possibility of a new local planning policy for Tree Planting and Protection. These lesser priorities should only be progressed after some certainty is achieved for the priorities and when budgets are available.



2 Introduction

2.1 This Study

This Study describes significant ridgelines in Banyule and considers how they can be protected and improved, through the provisions of the Banyule Planning Scheme.

Banyule is a treed, green, urbanised place within the inner-north of metropolitan Melbourne. It has neighbourhoods that surround centres of activity at shopping streets and along major arterial roads. In household surveys and other community consultation, local residents have consistently said that trees are important to the municipality's appeal as a place to live and that tree planting and protection is very important.

Analysis of three ridgelines has been done. It has looked at their visual sensitivity and view sheds to other areas, within and outside Banyule. The characteristics of each ridgeline have also been assessed and field work has confirmed locations where each ridgeline can be seen. These landscape attributes contribute to determine each ridgeline's significance. The degree of significance may be local or regional.

Local significant ridgelines are those which are visually prominent in Banyule, for more than one neighbourhood precinct. Regional significant ridgelines are those that are clearly visible outside Banyule, in the inner-north of metropolitan Melbourne.

2.2 Banyule's Geography

Banyule's geography comes from a relationship between nearby Mount Cooper, the Great Dividing Range and the Yarra River, with its tributaries and floodplains.

The western part of Banyule has land that falls from ridgelines, along plains and into river valleys. This comes from nearby Mount Cooper in Bundoora, an extinct volcano that is the highest point in metropolitan Melbourne. Lava flowed across the landscape about 9.2 million years ago. Basalt then formed and over time grassy woodlands grew on the eroding lava fields at Bundoora, Heidelberg West and Bellfield.



The remainder of Banyule has land that falls from the western slopes of the Great Dividing Range, through neighbouring Nillumbik, to the Yarra and Plenty Rivers in Banyule. This geography was formed about 300 million years ago, from tectonic uplifts and the erosive forces of the Yarra River and its tributaries. Forested hills and valleys emerged across Montmorency, Lower Plenty, Greensborough, Viewbank, Heidelberg and Ivanhoe.

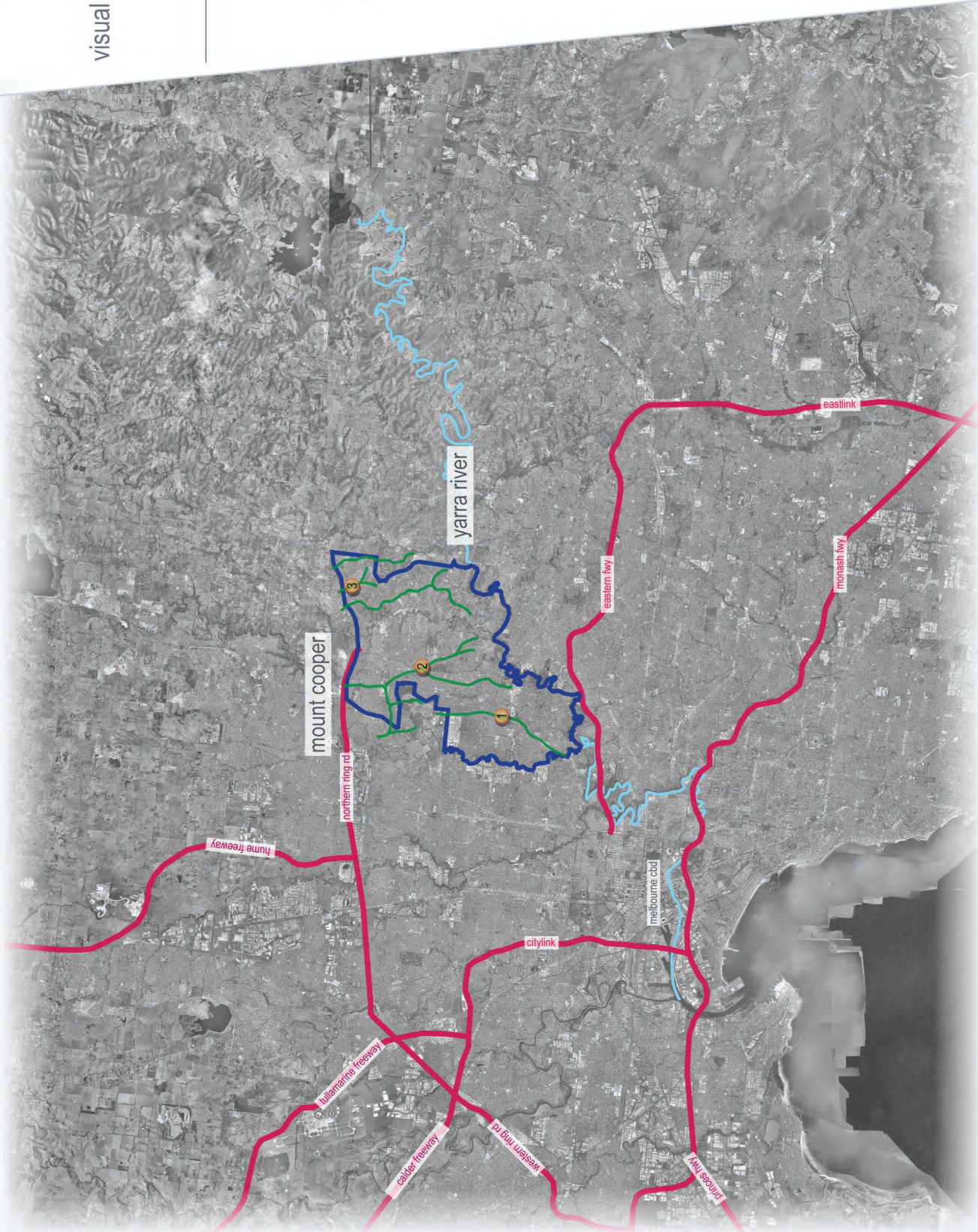
This geography puts Banyule in a unique and visually prominent place in metropolitan Melbourne. Visually prominent ridgelines, valleys and plains are now a canvass to an urbanized landscape where much vegetation has grown since early European settlement. Analysis of land contours reveals that the most prominent ridgelines in Banyule are the:

1. Heidelberg to Eaglemont ridgeline
2. Bundoora to Diamond Village to Army Barracks ridgeline
3. Foothills ridgelines

The following map shows these ridgelines and the geographical features mentioned above.

visual assessment of ridgelines
 in banyule
 location map

- legend
-  banyule municipal boundary
 -  key water ways
 -  key ridgelines in banyule
 -  1 the heidelberg - eaglemont ridgelines
 -  2 the bundoorra - diamond village - army barracks ridgelines
 -  3 the foothills ridgelines
 -  freeways



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figure 1



2.3 Policy Context

Banyule's ridgelines support built and natural environments. Council's policy direction for land use and development is given in the MSS, where there are objectives for built and natural environments.

In 2010 Council did early analysis for ridgelines and included it in a draft strategy, titled *Neighbourhood Character Policy and Plan (October 2010)*, which was given to the community for comment. This draft made reference to the three ridgelines shown in Section 1 of this report. It was supported by the *Banyule Neighbourhood Character Background Report (August 2010)*, which said:

Residential development and vegetation that is on or near these ridgelines will be prominent across Banyule and parts of Melbourne's inner north. (page 58)

Banyule's policy approach for housing includes a framework for neighbourhoods and areas for varying degrees of housing growth. The framework for neighbourhoods is represented by five neighbourhood character precinct types, which are: Garden Suburban, Garden Court, Bush Garden, Semi Bush and Bush Woodland neighbourhoods. The framework for housing is represented by six housing area types, which are: Diversity, Accessible, Incremental, Limited Incremental, Limited and Low Density.

This study will leverage off Banyule's policy framework for neighbourhoods and housing, to give direction for guiding appropriate development outcomes at ridgelines in Banyule.



3 Where are they, and what do they look like?

3.1 Heidelberg to Eaglemont ridgeline

This ridgeline (ridgeline 1) is about 8km long. It runs in a north-south direction, to the east of the Darebin Creek. It passes through Macleod, Heidelberg, Rosanna, Ivanhoe and Eaglemont.

This ridgeline is in the south-west corner of the municipality and can be seen from over 3km away to the west and further beyond Darebin Creek. It is also visible to the east. Figure 3 shows this ridgeline and identifies all surrounding land from which it may be visible.

This ridgeline is made up of residential neighbourhoods, roads also run along the top. At the higher part of the ridgeline, Waiora Road passes from Heidelberg Heights and leads down to Ivanhoe, where Upper Heidelberg Road continues towards Darebin Creek. Along the way, dwellings sit below trees. Many of these trees are on private land at or close to the top of the ridgeline. Dwellings are predominately one and two storey. Buildings only appear above the ridgeline at the Heidelberg Specialised and Major Activity Centre (SMAC) and the Ivanhoe Major Activity Centre (MAC)

At the Heidelberg SMAC, which is centred on Burgundy Street and Bell Street, the large Austin/Mercy Hospital Complex has tall buildings that sit above the tree-line ridgeline. There are also taller buildings at Bell Street that appear above the trees.

At the Ivanhoe MAC, which is centred on Upper Heidelberg Road, the taller heritage clock tower at the former Heidelberg Town Hall sits above the tree-line. In the evening this clock-tower is illuminated and is a significant landmark. Shops and other commercial buildings along Upper Heidelberg Road define the ridgeline's appearance in this location, further down the hill from the Heidelberg Town Hall building.

Other than in the core of Activity Centres, the character of the ridgeline is dominated by a tree canopy.

3.2 Bundoora to Diamond Village to Army Barracks ridgeline

This ridgeline (ridgeline 2) is made up by several ridgelines that run through the centre of the Banyule municipality. They traverse the suburbs of Bundoora, Greensborough, Watsonia, Viewbank and Macleod and parts of Rosanna and Heidelberg. These ridgelines can be viewed from all over the municipality and numerous locations beyond 5km to the west. Figure 4 shows Bundoora – Diamond Village – Army Barracks Ridgelines and identifies all surrounding land from which they may be visible.

This ridgeline passes through several suburbs. It is made up of residential properties with dwellings below trees. There are fewer trees at the northern end of the ridgeline in Bundoora. However pockets of trees still dominate the skyline. The Simpson Army Barracks is at the ridgeline, as a large landholding. At the Barracks, building sit below canopy trees and within a well treed setting.

The Watsonia Neighbourhood Activity Centre (NAC) is near the ridgeline, it has some buildings that breakup the continuity of the ridgeline's treed silhouette. In this location the most dominant feature on the skyline is power lines, which pass through and above the NAC.

Other than in the core of the Watsonia NAC, the character of the ridgeline is dominated by a tree canopy.



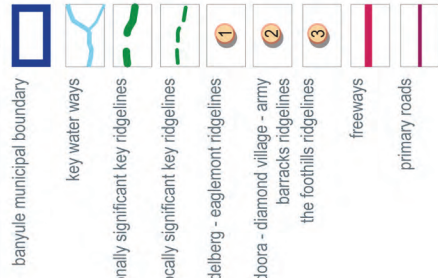
3.3 Foothills ridgelines

This ridgeline (ridgeline 3) is the most dominant feature in Banyule's topography. It is to the east of the Plenty River, in the north east corner of the municipality. Rolling hills make up a series of dominant ridgelines, which run from Lower Plenty to St Helena, incorporating the suburbs of Montmorency, Briar Hill and parts of Eltham.

The terrain represents the foothills of the Yarra Ranges and the ridgelines can be viewed from various areas within Banyule and beyond. Figure 5 shows the Foothills Ridgelines and identifies all surrounding land from which they may be visible.

These ridgelines are occupied various neighbourhoods, with dwelling set below the canopy of trees. Many of the trees along and around the ridgeline are on private property. In comparison to the other ridgelines, the Foothills ridgelines is more densely populated with trees.

visual assessment of ridgelines in banyule context map



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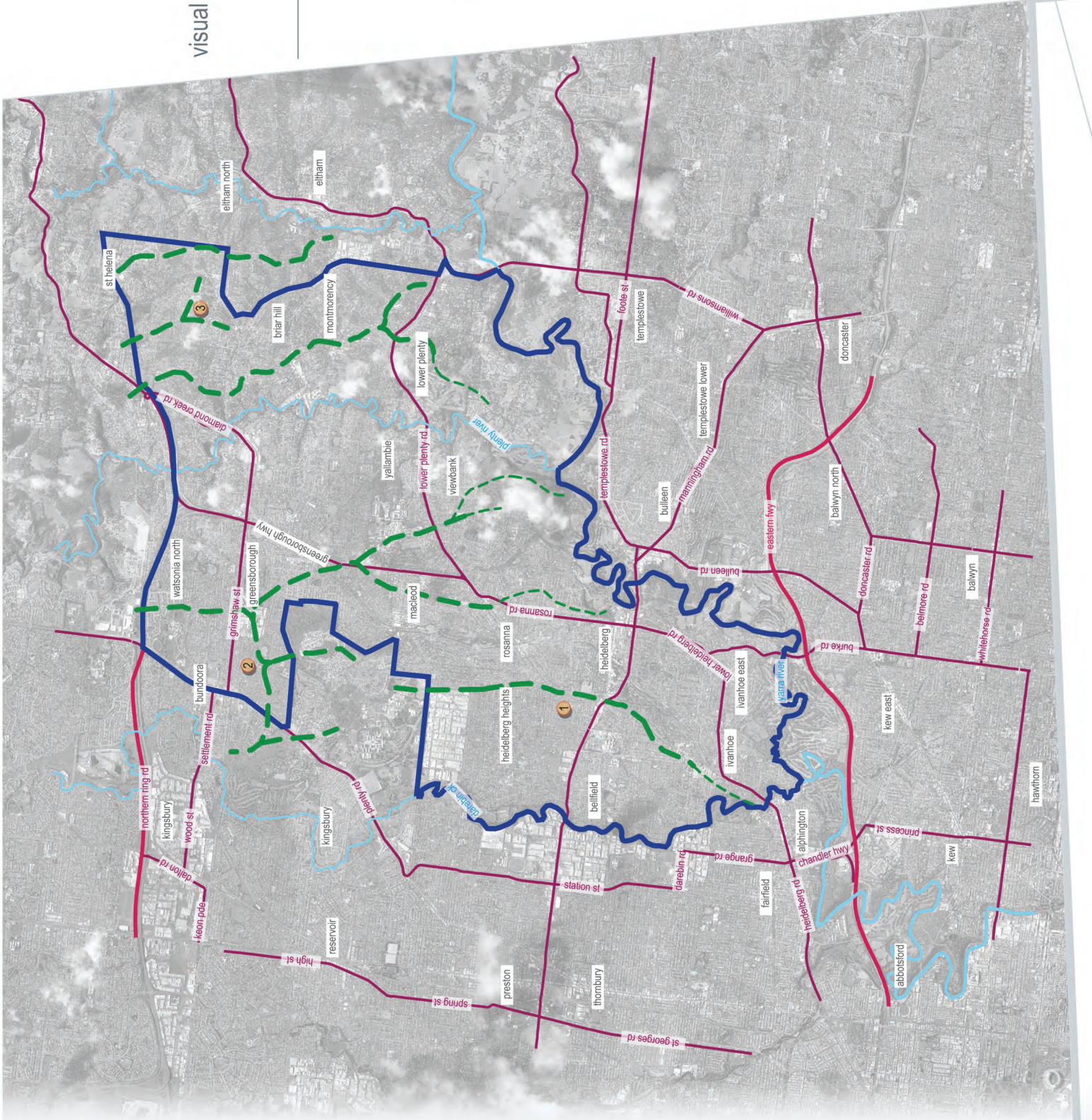








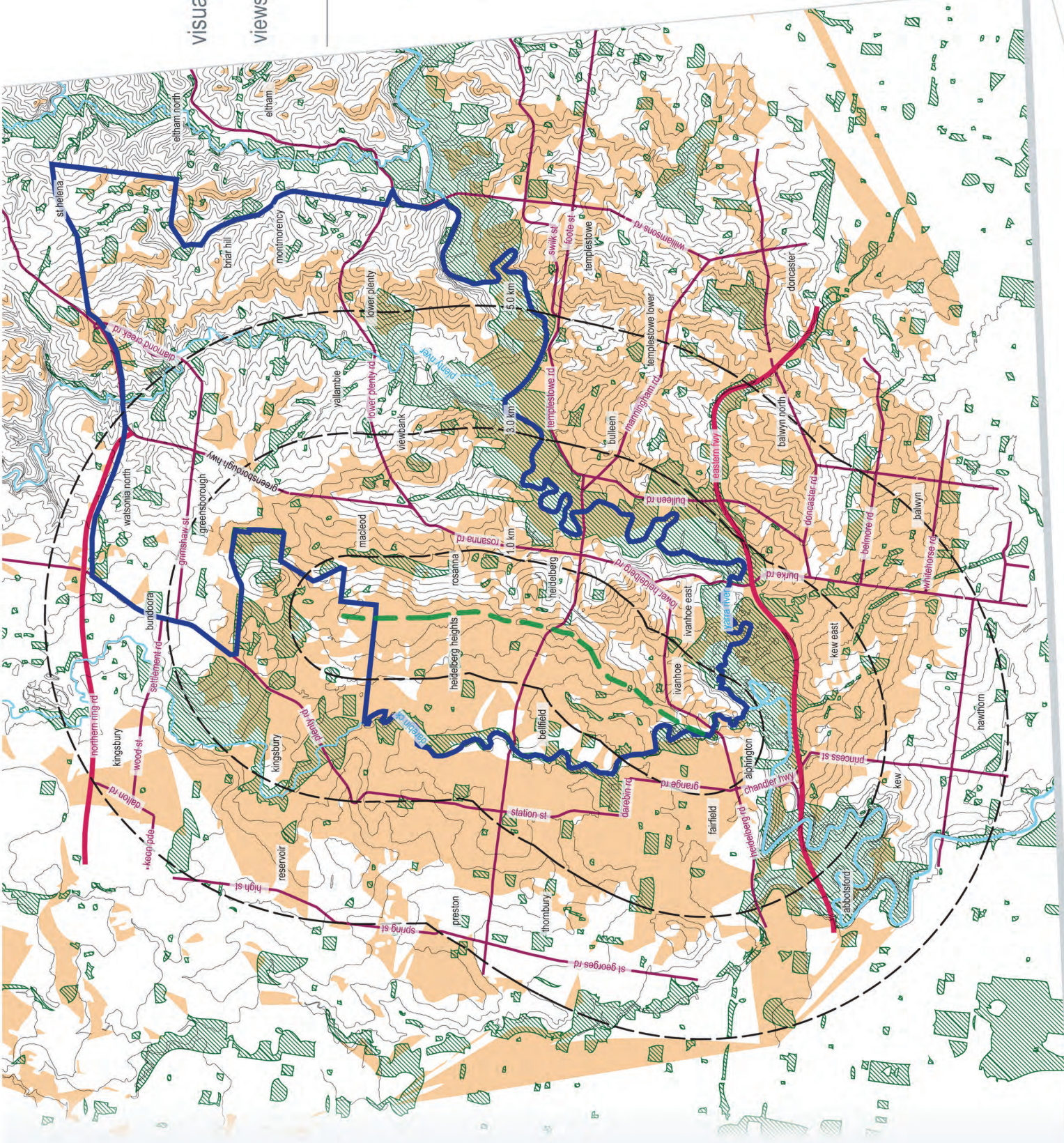


figure 2

visual assessment of ridgelines in banyule viewshed analysis - the heidelberg - eaglemont ridgelines

legend

-  banyule municipal boundary
-  key water ways
-  viewshed mapping - all land from which ridgelines may be visible*
-  public open space
-  the heidelberg - eaglemont ridgelines
-  freeways
-  primary roads
-  contours at 10m intervals



*viewshed mapping is based on a terrain model (based on 10m contour intervals) and does not take into account any vegetation or buildings.

within the digital model, light source locations are located at typical intervals along the top of the key ridgelines, 5m off the ground level to simulate the roof ridgeline of a typical single storey house.

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figure 3

visual assessment of ridgelines in banyule viewshed analysis - the bundorra - diamond village army barracks



*viewshed mapping is based on a terrain model (based on 10m contour intervals) and does not take into account any vegetation or buildings.

within the digital model, light source locations are located at typical intervals along the top of the key ridgelines, 5m off the ground level to simulate the roof ridgeline of a typical single storey house.

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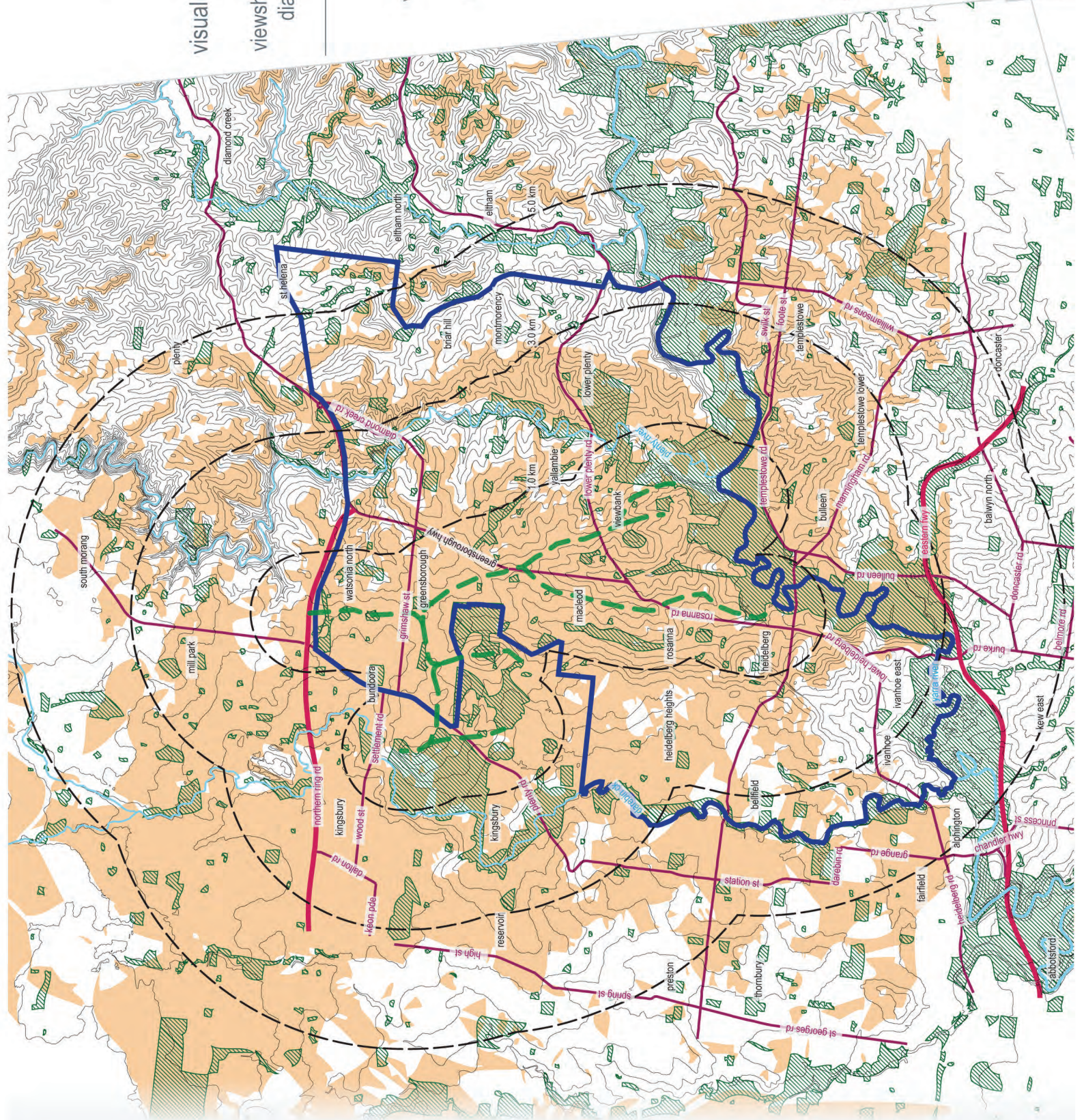
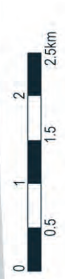









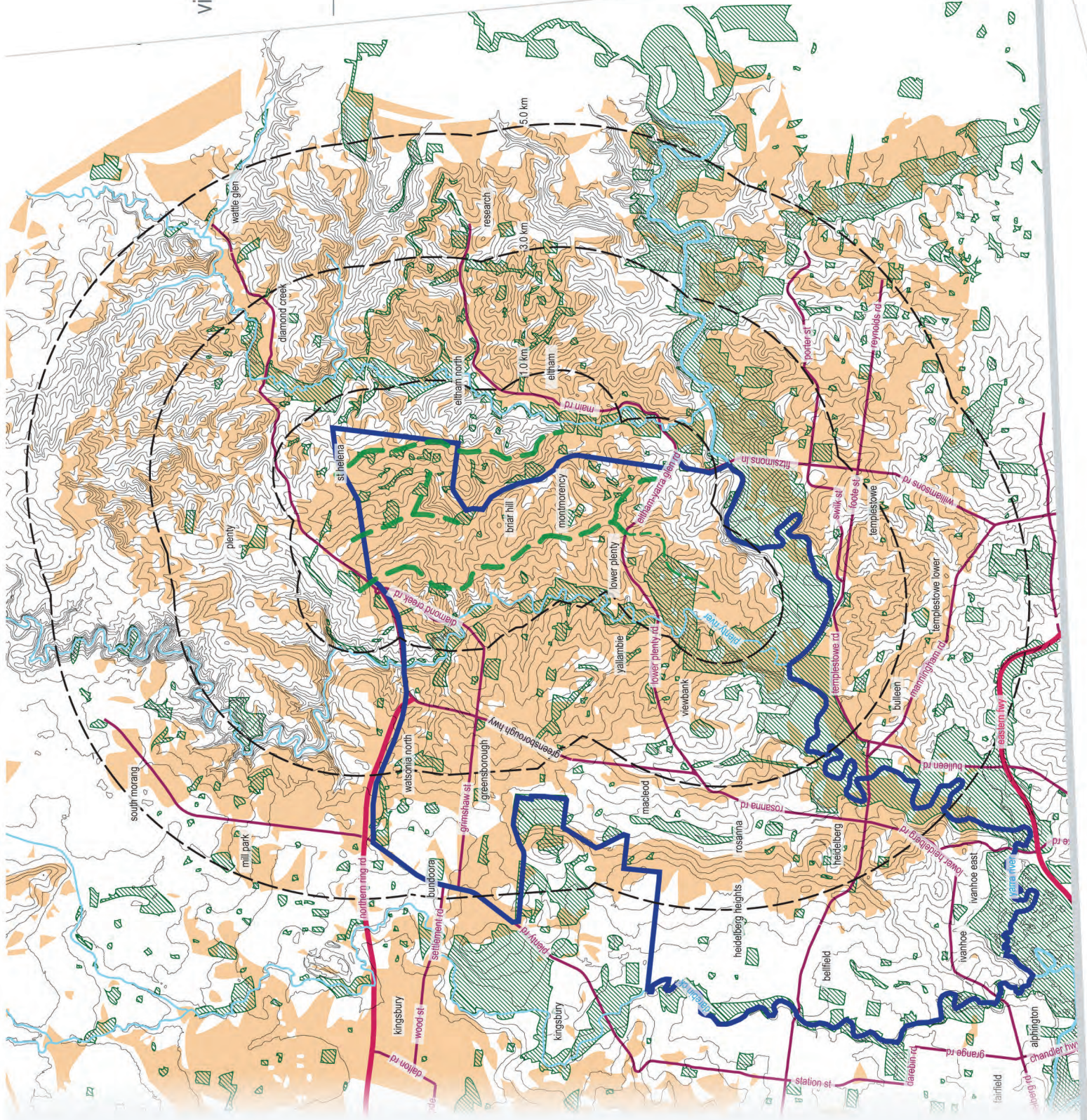


figure 4

visual assessment of ridgelines in banyule viewed analysis - the foothills ridgelines

legend

-  banyule municipal boundary
-  key water ways
-  viewshed mapping - all land from which ridgelines may be visible*
-  public open space
-  the foothills ridgelines
-  freeways
-  freeways
-  primary roads
-  contours at 10m intervals



*viewshed mapping is based on a terrain model (based on 10m contour intervals) and does not take into account any vegetation or buildings.

within the digital model, light source locations are located at typical intervals along the top of the key ridgelines, 5m off the ground level to simulate the roof ridge of a typical single storey house.

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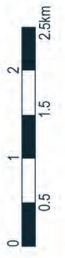


figure 5



4 What is their landscape assessment?

4.1 Desktop analysis

A desktop view-shed analysis has used computer software to develop a three-dimensional terrain model of each ridgeline and the surrounding region. The model used topographic data and 10m contour intervals within Banyule and beyond, into surrounding suburbs of inner northern Melbourne.

Within the digital model, light sources were put at frequent intervals along the top of the 3 ridgelines, 5m off the ground. This height simulated a typical single storey building at the ridgeline. The model was then able to identify all areas in the digital terrain that were visible from each ridgeline. This 'line of sight' modelling gave an accurate view-shed of land for each ridgeline. Using digital modelling this way, as a remote analysis tool, enables subsequent landscape assessment and fieldwork to validate the modelled view shed for on-the-ground conditions.

4.2 Landscape assessment methodology

Landscape assessment used extensive fieldwork to view and analyse each ridgeline. Vantage points were taken from open space, freeways and major roads, because these locations are publically accessible. Public views to a ridgeline contributes to its potential significance

Once all viewing locations were established, a landscape assessment was done to appreciate the significance of each ridgeline, for either local or regional significance. This involved a 3-step process to:

- Describe the landscape
- Evaluate the landscape
- Develop objectives to manage visual landscape character

The landscape assessment also looked at visual sensitivity and checked the modelled view-sheds, to establish landscape attributes for each ridgeline.

Ridgeline views

Various viewing points to the ridgelines were recorded. Some were in Banyule, others were further away. Each was recorded using a Global Positioning System (GPS) and then map on Figure 6.

The following gives information from the viewing points towards the ridgelines. Photographs help to illustrate the landscape character and potential impacts for each ridgeline.



4.3 Heidelberg to Eaglemont ridgeline

View 1: Plenty Road and Albert Street, Reservoir

This viewpoint is at a major road intersection, where there are distant panoramic views towards the eastern section of the ridgeline. It illustrates that there are many properties around Plenty Road which also enjoy views towards the ridgeline.



View 2: Plenty Road and Albert Street, Reservoir

This viewpoint was taken outside Westfield Shopping Centre, Doncaster, on Williamsons Road. It provides a long and direct view towards the southern section of the ridgeline.



Heidelberg – Eaglemont ridgeline Summary

The ridgeline has a soft treed silhouette. It is dominantly green with buildings around the ridgeline set below the heights of trees. The more distant silhouette of the Great Dividing Range is in the background.



4.4 Bundoora to Diamond Village to Army Barracks ridgeline

View 1: Rosanna Road, Heidelberg

This viewpoint is on the crest of a major road in the Heidelberg Specialised and Major Activity Centre. It provides a long and direct view towards the southern section of the ridgeline at Rosanna Road in Heidelberg.



View 2: Foote Street, Templestowe

This viewpoint is at the crest of a major road. It provides a long and direct view towards the south eastern section of the ridgeline.





View 3: Main Road, Lower Plenty

This viewpoint is at the crest of a major road, where there are clear, long and direct view to the eastern section of the ridgeline.



View 4: Metropolitan Ring Road, Plenty

This viewpoint is at a freeway, where there are distant panoramic views to the northern section of the ridgeline, as well as to Mount Cooper.



Bundoora to Diamond Village to Army Barracks ridgeline Summary



The ridgeline has a soft treed silhouette. It is dominantly green with buildings around the ridgeline set below the heights of trees. Views in a north-west direction to the ridgeline also give a silhouette of Mount Cooper in the background.



4.5 Foothills ridgelines

View 1: Templestowe Road, Bulleen

This viewpoint is at a bend in a major road, where there are long and direct views to the southern section of the ridgeline.



View 2: Foote Street, Templestowe

This viewpoint is at the crest of a major road, where there are long and direct views to the southern section of the ridgeline.





View 3: Foote Street, Templestowe

This viewpoint is at the crest of a major road, where there are long and direct views to the southern section of the ridgeline.



View 4: Williamsons Road, Templestowe

This viewpoint is at a major road, where there are long and direct views to the southern section of the ridgeline.





View 5: Lower Plenty Road, Yallambie

This viewpoint is at a major road, where there are clear, long and direct views to the eastern section of the ridgeline.



View 6: Grimshaw Street, Greensborough

This viewpoint is at a main shopping strip in the Greensborough Principal Activity Centre, where there are clear, long and direct views to the north-western section of the ridgeline.





View 7: Main Street, Greensborough

This viewpoint is at another main shopping strip in the Greensborough Principle Activity Centre, where there are clear, long and direct views to the north-western section of the ridgeline.



View 8: Diamond Creek Road / Aqueduct Road, Diamond Creek

This viewpoint is at a major road, where there are clear, long and direct views to the northern section of the ridgeline.



Foothills ridgelines Summary

The ridgeline has a soft treed silhouette. It is dominantly green with buildings around the ridgeline set below the heights of trees. The more distant silhouette of the Great Dividing Range is in the background.

visual assessment of ridgelines in banyule viewpoint locations

legend

-  banyule municipal boundary
-  key water ways
-  the heidelberg - eaglemont ridgelines
-  the bundoorra - diamond village - army barracks ridgelines
-  the foothills ridgelines
-  views to the heidelberg - eaglemont ridgelines
-  views to the diamond village ridgelines
-  views to the foothills ridgelines
-  freeways
-  primary roads



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figure 6



5 Which neighbourhoods are affected by them?

The ridgelines are expected to affect various neighbourhoods. Each will make a contribution to landscape character for affected neighbourhoods. Any contribution will need to be informed by relevant strategic objectives and any policy framework that exists. These are found in the MSS and Local Planning Policy. An appreciation of the objectives and the framework will help identify if any changes are needed to integrate a strategic direction for the ridgelines.

5.1 Municipal Strategic Statement

In November 2010 Banyule Council updated its MSS. This was done to implement its 2009 Housing Strategy and give the following Built Environment Objectives at Clause 21.06 of the Banyule Planning Scheme:

1. To provide a safe, attractive and high quality built environment.
2. To ensure that development respects and contributes to the desired future character of residential neighbourhoods and the identity of Activity Centres, in a manner that supports varying degrees of housing change.
3. To encourage a built form that delivers more environmentally sustainable construction and contributes to the desired future character of residential neighbourhoods and identity of Activity Centres.
4. To increase the diversity of housing types and promote new housing that meets the needs of the broader community in a manner that respects and contributes to the desired future character of residential neighbourhoods and identity of Activity Centres.

5.2 Local Planning Policy - Objectives

Banyule Council has a Local Planning Policy for Residential Neighbourhood Character at Clause 22.02 of the Banyule Planning Scheme. This Policy was informed by a 1999 Neighbourhood Character Strategy. The Clause 22.02 Policy Objectives are:

- To ensure that development complements and respects the desired future character of the area.
- To retain and enhance the identified elements that contributes to the desired future character of the area.
- To recognise the need for new or additional Design Objectives and Design Responses for areas within and around activity centres that are or will be subject to structure planning or design frameworks.

Council is doing work to review its 1999 Neighbourhood Character Strategy. This is represented by:

- *Neighbourhood Character Policy and Plan (draft), October 2010*
- *Draft Background Report, August 2010*



5.3 Local Planning Policy – Framework of Precincts

The Banyule 1999 Neighbourhood Character Strategy and work being done for a reviewed strategy, is confirming a framework of five neighbourhood character precinct types. Each precinct type takes into account topography, vegetation, street and subdivision pattern, era, style, scale and intensity of existing development. A summary of these five (5) different types of precincts is:

- **Garden Suburban:** Spacious leafy character in generally formal street settings, with space around and between dwellings, a relatively wide and open street space, and garden style vegetation, often mature and exotic, in both the private and public domain, creating an attractive, tree - dominated landscape setting in some streets.
- **Garden Court:** Curvilinear and cul-de-sac street pattern, low scale, generally brick dwellings dominated by a low - pitched tile roof, set in spacious, often informal garden settings, with a mix of native and exotic plantings.
- **Bush Garden:** Substantial native trees provide the backdrop for the mainly low scale, post war detached dwellings in their mature garden settings.
- **Semi Bush:** Representative of the highly valued native vegetation - dominated residential environments found in some of the hillier north eastern and eastern parts of the metropolitan area, epitomised in the popular imagination by 'Eltham' or 'Bellbird'. These areas are becoming scarcer as they succumb to vegetation clearance and more intense development.
- **Bush Woodland:** Retain much of their rural, undeveloped character, with significant native vegetation, a farmland landscape character, meandering or straight country roads without made kerbs, and various dwelling styles.

The draft Neighbourhood Character Policy and Plan has been informed by a review of these precinct types and the 1999 Strategy and has found that the types remain relevant for Banyule. However there is an opportunity to consolidate a refine the location of specific precincts. This has resulted in a future framework for thirteen (13) different precincts in Banyule. The make-up of these is proposed to be:

- Garden Suburban: 6 precincts
 - Garden Court: 3 precincts
 - Bush Garden: 1 precinct
 - Semi Bush: 1 precinct
 - Bush Woodland: 2 precincts
- Total: 13 precincts**

A final new Neighbourhood Character Strategy, which will be based on the draft Policy and Plan will show the final mapping of these precincts. The following analysis has leveraged off the draft Policy and Plan to appreciate the landscape character contribution that each ridgeline makes to affected precincts.



5.4 Precincts with the Heidelberg to Eaglemont ridgeline

This ridgeline affects three (3) precincts. They are Garden Suburban 2, Garden Suburban 3 and Garden Suburban 6.

The desirable characteristics of these precincts are to retain a consistent rhythm of dwelling spacing with softened appearance of buildings and extensions along the streetscape. This includes substantial trees within front setbacks. It also involves retaining existing substantial trees and vegetation with additional planting of substantial trees and other vegetation where possible. It includes dwellings which respect the undulating landscape character of the area and acknowledges the benefit of those buildings that give front setbacks that enhance the vegetated character of the area.

5.5 Precincts with the Bundoora to Diamond Village to Army Barracks ridgeline

This ridgeline affects five (5) precincts. They are Garden Suburban 1, Garden Suburban 2 and Garden Court 1, Garden Court 2 and Garden Court 3.

The desirable characteristics of these precincts are to retain a consistent rhythm of dwelling spacing with softened appearance of buildings and extensions along the streetscape. This includes substantial trees within front setbacks. It also involves retaining existing substantial trees and vegetation with additional planting of substantial trees and other vegetation where possible. It includes dwellings which respect the undulating character of the area and acknowledges the benefit of those buildings that give front setbacks that enhance the vegetated character of the area. To the south of Lower Plenty Road, retention and enhancement of wildlife corridors is also important.





5.6 Precincts with the Foothills ridgelines

This ridgeline affects four (4) precincts. They are Bush Woodland 2, Semi Bush, Bush Garden and Garden Court 2.

The desirable characteristics of these precincts are to retaining the spaciousness and rural landscape character, with the appearance of 'buildings in grounds'. This provides for buildings sited and designed to minimise excavation and intrusion into the landscape vistas. It anticipates that dwellings will be sympathetic to the landscape context, with retention of existing substantial trees and vegetation. This will help to protect the native vegetation dominated vistas and streetscapes, with additional planting of substantial trees and other vegetation to enhance the vegetated character of the area. The retention of high canopy trees at the front or rear of dwellings, as well as a rhythm of dwelling spacing to allow for substantial trees between built form, is also important in these areas.

visual assessment of ridgelines in banyule neighbourhood character precincts

legend

-  banyule municipal boundary
-  key water ways
-  the banyule ridgelines
-  freeways
-  primary roads
-  bush woodland 1
-  bush woodland 2
-  semi bush
-  bush garden
-  garden suburban 1
-  garden suburban 2
-  garden suburban 3
-  garden suburban 4
-  garden suburban 5
-  garden suburban 6
-  garden court 1
-  garden court 2
-  garden court 3

project ref: 2010.640
 dwg no.: LCD-006
 scale: 1:60,000@A3
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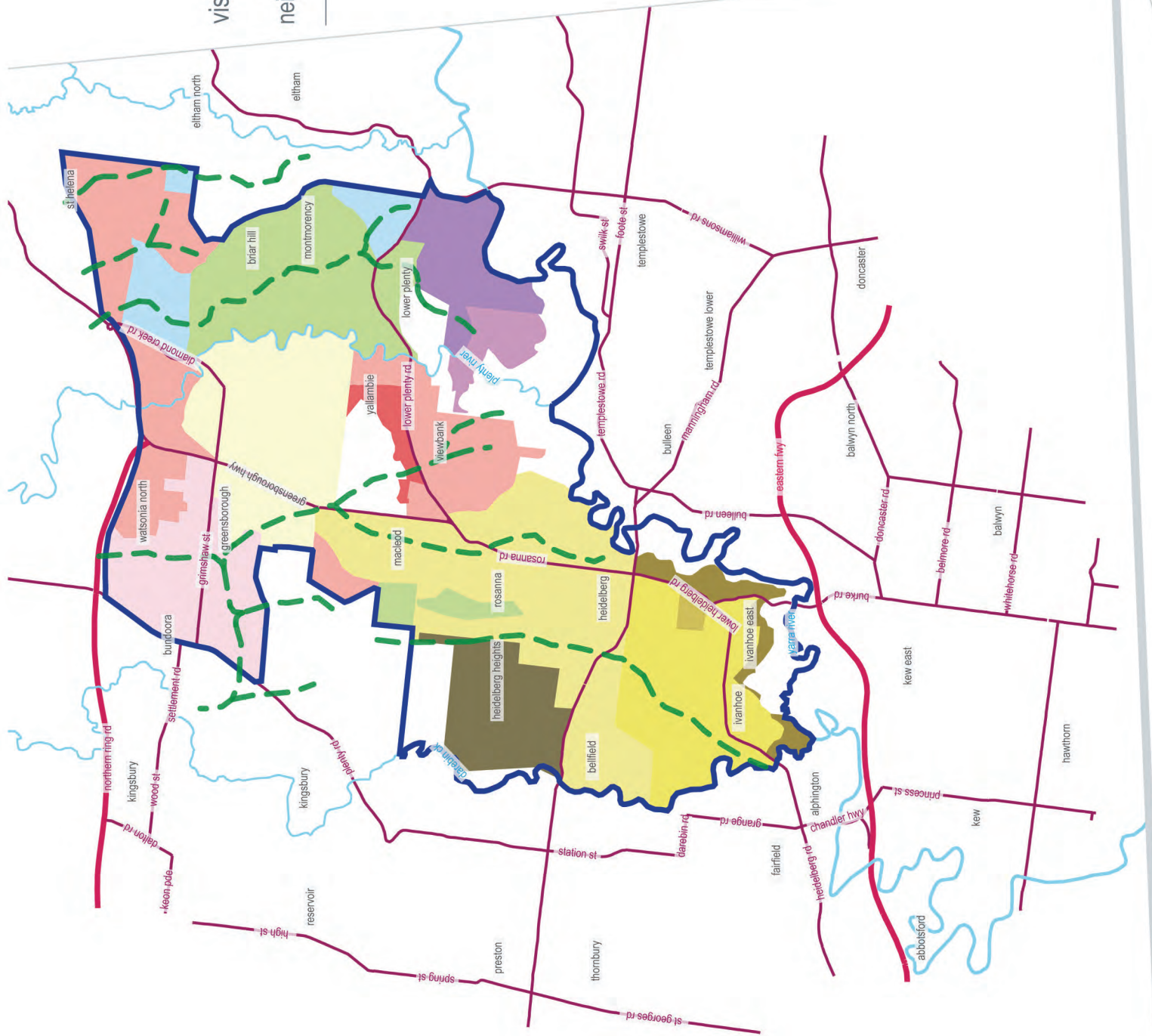
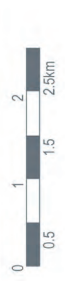


figure 7



6 Their landscape statements

This section considers the information and analysis given in early sections of this report to provide:

- **Vision** statement for each ridgeline, which takes into account desired characteristics of affected neighbourhood precincts
- **Landscape Significance** statement for each ridgeline, which takes into account the visibility of each ridgeline to determine if it warrants local or regional landscape significance
- **Land Development Risks** for each ridgeline, which need to be overcome so as to achieve the vision, maintain Landscape Significance and given direction to Objectives.
- **Objectives** for each ridgeline, which enable the Vision Statement and Landscape Significance for each

The objectives illustrate a balanced approach, so that on one hand they enable reasonable protection and enhancement of each ridgeline for vegetation and well-designed buildings. On the other, they provide for an appropriate degree of development for private properties at the ridgeline. This approach is consistent with the MSS Objectives for housing and neighbourhood character, described at section 5.1.



6.1 Heidelberg to Eaglemont ridgeline landscape statement

Vision

The Heidelberg to Eaglemont ridgeline runs north-south from Macleod through to Ivanhoe. The ridgelines continuous green, dominant treed canopy and natural vegetated appearance will be maintained and improved. Visually recessive buildings will sit below the silhouette of the treed canopy and designed to blend into the ridgeline. This continuity is only punctured by taller development at the core of the Ivanhoe and Heidelberg Activity Centres.

Landscape Significance

The ridgeline has Regional Significance, other than for the lower parts in Ivanhoe that are not visible from abutting municipalities. This significance is supported by the ridgeline's visibility from:

- Areas around the apex of the Diamond Village to Army Barracks ridgelines, 1 to 2km to the east. There is medium visual sensitivity as the viewing distance is short, and covers a small area. This area includes neighbourhood character precincts in MacLeod, Yallambie and Viewbank.
- Areas around the apex of the foothills ridgelines, over 5km to the east. There is lower visual sensitivity. This area includes some neighbourhood character precincts on the east side of the Plenty River in Banyule.
- Areas around the southern sections of Yarra River corridor, predominately over 2km to the south and south-east. There is low visual sensitivity. This area includes neighbourhood character precincts in Heidelberg and Ivanhoe.
- Areas around the apex of a ridgeline in Darebin, over 3km to the west, as well as most areas in-between as the two ridgelines create a valley with Darebin Creek at its low point. There is medium visual sensitivity within the higher areas along the ridgeline in Darebin, with low visual sensitivity to the lower areas sloping down to the Darebin Creek. This area includes residential areas outside Banyule and some neighbourhood character precincts in Banyule at Ivanhoe West, Bellfield and Heidelberg West.

Land Development Risks

Many of the residential properties around the apex of the ridgeline have not been redeveloped for additional dwellings. The existing dwellings sit below the canopy of trees and within a prominent green, treed setting that is visible from other areas. There is a risk that incremental impacts arising from future development will affect this desired setting by:

- Removing trees that contribute to the ridgeline, when new or modified buildings are constructed.
- Not providing space for new canopy trees to grow, when new or modified buildings are constructed
- Allowing the appearance of new dwellings and other buildings that detract from the continuous green, vegetated appearance of the ridgeline.
- Allowing more vehicle crossings along streets and double width crossings that affect existing street trees and opportunities for further planting. The associated increase in vehicle driveways, arising from residential development, may also affect opportunities to protect trees and spaces for planting, in the front setback spaces between dwellings and their front boundary.



- Away from activity centres, enabling the height of new dwellings and other buildings that detract from the continuous, silhouette of the treed canopy at the ridgeline.

There are some instances where the above concerns have occurred at this ridgeline. There are also risks that future tree removal will affect the vision for the ridgeline as well. This includes removal of trees that:

- Already contribute to the green, naturally vegetated appearance of the ridgeline.
- Would be expected to contribute in the future.

Council is able to manage some of these risks because there is a Vegetation Protection Overlay (Schedule 5) in the Banyule Planning Scheme. Also, Council has recently established a Residential Vehicle Crossing Policy to manage impacts for street trees. However the overlay is temporary and Council's Residential Vehicle Crossing Policy is not yet integrated into the planning scheme.

Objectives

This ridgeline runs through *Garden Suburban* neighbourhood character precincts 2 and 3. A Design Objective and Design Responses that would benefit the ridgeline in these precincts may be:

Design Objective	Design Response
Developments on or near ridgelines should sit below the tree canopies, minimise excavation, and enable further tree planting to maintain the scenic quality	<ul style="list-style-type: none"> • New dwellings at or near ridgelines should be designed and sited so that cut and fill is minimised and the building sits below the height of trees along the ridgeline. • New buildings at or near ridgelines should have muted colours and tones, and non reflective materials. • Trees and vegetation that contributes to the landscape should be retained. New native or indigenous trees should be planted on or near the ridgeline.

Additional Objectives and supporting Design Responses might also be considered. The additional objectives may help:

- To maintain the pattern of current front setbacks and enable tree planting in front gardens.
- To minimise loss of front garden space, and the dominance of vehicle access, storage facilities and built form as viewed from the street.
- To maintain and strengthen the garden dominated streetscape character and landscaping setting of the precinct.

These objectives would help further promote landscape and tree outcomes that also give benefits for achieving this ridgeline's vision.



6.2 Bundoora to Diamond Village to Army Barracks ridgeline landscape statement

Vision

The Bundoora to Diamond Village to Army Barracks ridgeline runs north-south from Watsonia North through to Heidelberg. The ridgelines continuous green, dominant treed canopy and natural vegetated appearance will be maintained and improved. Visually recessive buildings will sit below the silhouette of the treed canopy and be designed to blend into the ridgeline.

Landscape Significance

The ridgeline has Regional Significance, other than for the lower parts in Heidelberg that are not visible from abutting municipalities. This significance is supported by the ridgeline's visibility from:

- Areas around the northern sections of the Northern Ring Road predominately over 2km away to the north. There is lower visual sensitivity. This area includes neighbourhood character precincts in Greensborough and Bundoora.
- Areas around the apex of the foothills ridgelines, over 3km to the east, as well as most areas in-between as the two ridgelines create a valley with the Plenty River at its low point. There is low visual sensitivity as the viewing distance is far, and covers a small area, with medium visual sensitivity to the lower areas sloping down to the Plenty River. This area includes neighbourhood character precincts in Lower Plenty and Montmorency.
- Areas around the southern sections of Yarra River corridor, predominately over 1km to the south. There is low visual sensitivity. This area includes neighbourhood character precincts in Viewbank and parts of Lower Plenty.
- Areas around the apex of the Heidelberg to Eaglemont Ridgeline, predominately over 1km to the west, as well as most areas in-between - as the two ridgelines form a valley. There is low visual sensitivity within the higher areas along the Heidelberg to Eaglemont Ridgeline, with low visual sensitivity to the lower areas sloping down to the Darebin Creek. This area includes neighbourhood character precincts in Rosanna, Macleod and parts of Watsonia.
- Areas around the apex of a ridgeline in Darebin, predominately over 3km to the west, as well as most areas in-between. There is very low visual sensitivity within the higher areas along the ridgeline in Darebin, with very low visual sensitivity to the lower areas sloping down to the Darebin Creek.

Land Development Risks

Many of the residential properties around the apex of the ridgeline have not been redeveloped for additional dwellings. The existing dwellings sit below the canopy of trees and within a prominent green, treed setting that is visible from other areas. There is a risk that incremental impacts arising from future development will affect this desired setting by:

- Removing trees that contribute to the ridgeline, when new or modified buildings are constructed.
- Not providing space for new canopy trees to grow, when new or modified buildings are constructed.



- Allowing the appearance of new dwellings and other buildings that detract from the continuous green, vegetated appearance of the ridgeline.
- Allowing more vehicle crossings along streets and double width crossings that affect existing street trees and opportunities for further planting. The associated increase in vehicle driveways, arising from residential development, may also affect opportunities to protect trees and spaces for planting, in the front setback spaces between dwellings and their front boundary.
- Away from activity centres, enabling the height of new dwellings and other buildings that detract from the continuous, silhouette of the treed canopy at the ridgeline.

There are some instances where the above concerns have occurred on this ridgeline. There are also risks that future tree removal will affect the vision for the ridgeline as well. This includes removal of trees that:

- Already contribute to the green, naturally vegetated appearance of the ridgeline.
- Would be expected to contribute in the future.

Council is able to manage some of these risks because there is a Vegetation Protection Overlay (Schedule 5) in the Banyule Planning Scheme. Also, Council has recently established a Residential Vehicle Crossing Policy to manage impacts for street trees. However the overlay is temporary and Council's Residential Vehicle Crossing Policy is not yet integrated into the planning scheme.

Objectives

This ridgeline runs mainly through *Garden Suburban* neighbourhood precincts 1 and 2 and *Garden Court* precincts 1, 2 and 3. A Design Objective and Design Responses that would benefit the ridgeline in these precincts may be:

Design Objective	Design Response
Developments on or near ridgelines should sit below the tree canopies, minimise excavation, and enable further tree planting to maintain the scenic quality	<ul style="list-style-type: none"> • New dwellings at or near ridgelines should be designed and sited so that cut and fill is minimised and the building sits below the height of trees along the ridgeline. • New buildings at or near ridgelines should have muted colours and tones, and non reflective materials. • Trees and vegetation that contributes to the landscape should be retained. New native or indigenous trees should be planted on or near the ridgeline.

Additional Objectives and supporting Design Responses might also be considered. The additional objectives may help:

- To maintain the pattern of current front setbacks and enable tree planting in front gardens.
- To minimise loss of front garden space, and the dominance of vehicle access, storage facilities and built form as viewed from the street.
- To maintain and strengthen the garden dominated streetscape character and landscaping setting of the precinct.

These objectives would help further promote landscape and tree outcomes that also give benefits for achieving this ridgeline's vision.



6.3 Foothills ridgelines landscape statement

Vision

The Foothills ridgeline runs north-south over three separate ridgelines from St Helena through to Lower Plenty. The ridgelines continuous green, dominant treed canopy and natural vegetated appearance will be maintained and improved. Visually recessive buildings will sit below the silhouette of the treed canopy and be designed to blend into the ridgeline.

Landscape Significance

The ridgeline has Regional Significance other than the lower parts that are closer to Lower Plenty in the south. This significance is supported by the ridgeline's visibility from:

- High areas around the northern sections of the Diamond Creek Road predominately over 1km away to the north. There is very low visual sensitivity. This area includes neighbourhood character precincts in St Helena, Eltham North and northern parts of Greensborough.
- Areas around eastern sections of Diamond Creek, over 1km to the east. There is low visual sensitivity as the viewing distance is far, and covers an area with dense vegetation. This area includes neighbourhood character precincts in Briar Hill, Montmorency and parts of Eltham in Banyule.
- Areas around the southern sections of Yarra River corridor, predominately over 1km to the south. There is lower visual sensitivity to the surrounding region beyond Banyule. This area includes neighbourhood character precincts in Lower Plenty.
- Areas around the apex of the Bundoora to Diamond Village Army Barracks Ridgeline, predominately over 1km to the west, as well as most areas in-between as the two ridgelines creates a valley with Plenty River as the low point. There is medium visual sensitivity within the higher areas along the Diamond Village Army Barracks Ridgeline, with medium visual sensitivity to the lower areas sloping down to the Plenty River. This area includes neighbourhood character precincts in Watsonia, MacLeod, Yallambie and Viewbank.
- Areas around the apex of the Heidelberg to Eaglemont Ridgeline, predominately over 3km to the west, as well as most areas in-between the Bundoora to Diamond Village Army Barracks Ridge creates a valley. There is low visual sensitivity within the higher areas along the Heidelberg - Eaglemont Ridgeline, and low visual sensitivity to the lower areas sloping down to the Plenty River. This area includes neighbourhood character precincts in MacLeod, Heidelberg Heights, Rosanna, Heidelberg and Ivanhoe.

Land Development Risks

Many of the residential properties around the apex of the ridgeline have not been redeveloped for additional dwellings. Construction of dwellings on large lots, many of which were built after the 1970s, has enabled tree protection away from building footprints. Also, enough time has gone by so that planted trees by landowners and naturally occurring regrowth can also contribute to the continuous tree canopy above dwellings.

Some original residential properties have been redeveloped for more dwellings. There is a risk that incremental impacts arising from future development will affect the desired setting by:



- Removing trees that contribute to the ridgeline, when new or modified buildings are constructed.
- Not providing space for new canopy trees to grow, when new or modified buildings are constructed.
- Allowing the appearance of new dwellings and other buildings that detract from the continuous green, vegetated appearance of the ridgeline.
- Allowing more vehicle crossings along streets and double width crossings that affect existing street trees and opportunities for further planting. The associated increase in vehicle driveways, arising from residential development, may also affect opportunities to protect trees and spaces for planting, in the front setback spaces between dwellings and their front boundary.
- Away from activity centres, enabling the height of dwellings and other buildings that detract from the continuous, silhouette of the treed canopy at the ridgeline.

There are some instances where the above concerns have occurred on the ridgeline, particularly for the construction of new dwellings. Existing planning scheme controls for Landscape Significance are helping to manage implications for tree removal in this area, although better design guidance is needed for residential development in the affected neighbourhoods. Council's work for a Residential Vehicle Crossing Policy will also help to manage impacts for street trees.

Objectives

This ridgeline goes mainly through *Semi Bush* and *Bush Garden* neighbourhood character precincts. A Design Objective and Design Responses that would benefit the ridgelines in these precincts may be:

Design Objective	Design Response
Developments on or near ridgelines should sit below the tree canopies, minimise excavation, and enable further tree planting to maintain the scenic quality	<ul style="list-style-type: none"> • New dwellings at or near ridgelines should be designed and sited so that cut and fill is minimised and the building sits below the height of trees along the ridgeline. • New buildings at or near ridgelines should have muted colours and tones, and non reflective materials. • Trees and vegetation that contributes to the landscape should be retained. New native or indigenous trees should be planted on or near the ridgeline.

This ridgeline also affects the *Bush Woodland* neighbourhood character precinct, in Lower Plenty. A Design Objective and Design Responses that would benefit the ridgelines in this precinct may be:

Design Objective	Design Response
Developments on or near ridgelines should sit below the top of the ridgeline and tree canopies, minimise excavation, and enable further tree planting to maintain the scenic quality	<ul style="list-style-type: none"> • New dwellings at or near ridgelines should be designed and sited so that cut and fill is minimised and rooftops are set below the top of the ridgeline. • New buildings near ridgelines should have muted colours and tones, and non reflective materials. • Trees and vegetation that contributes to the landscape should be retained. New native or indigenous trees should be planted on or near the ridgeline.

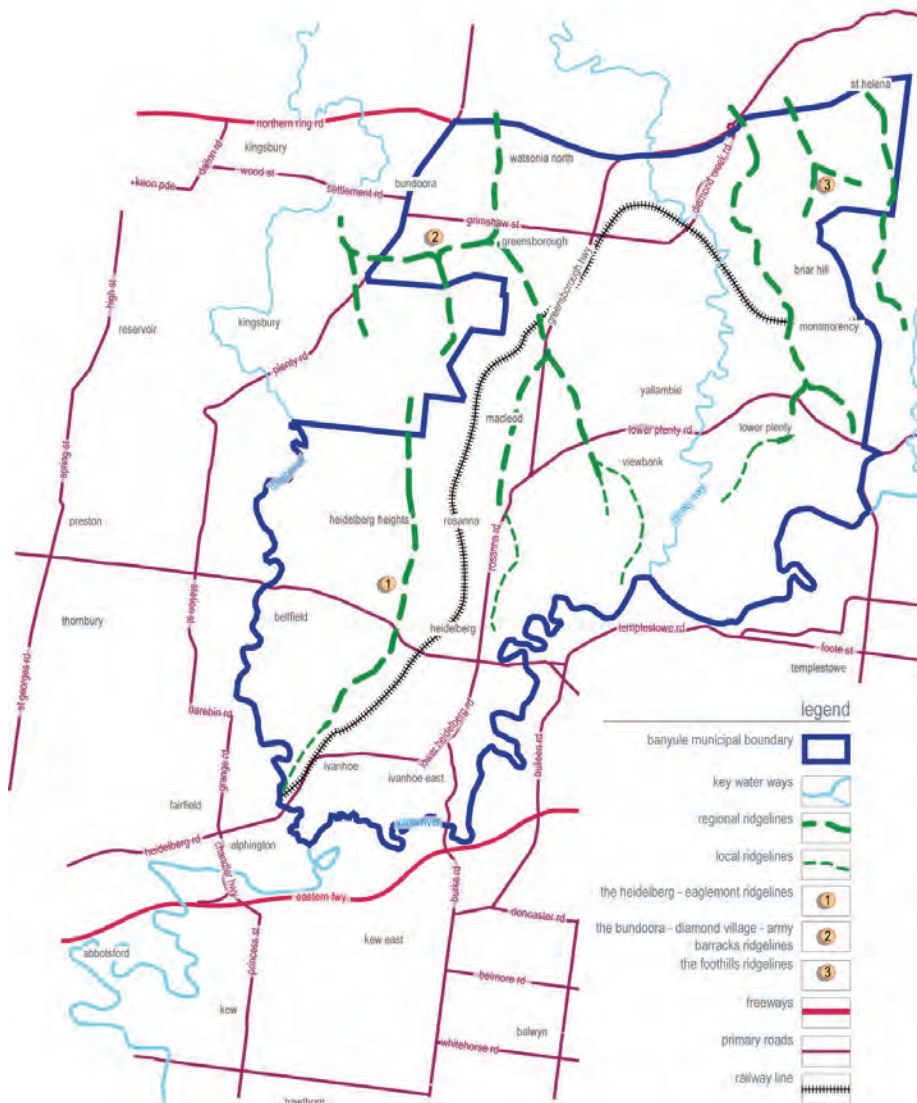


Additional Objectives and supporting Design Responses might also be considered. The additional objectives may help:

- To maintain the pattern of current front setbacks and enable tree planting in front gardens.
- To minimise loss of front garden space, and the dominance of vehicle access, storage facilities and built form as viewed from the street.
- To maintain and strengthen the garden dominated streetscape character and landscaping setting of the precinct.

These objectives would help further promote landscape and tree outcomes that also give benefits for achieving this ridgeline's vision.

The following plan shows the regional and local significance components of the assessed ridgelines.

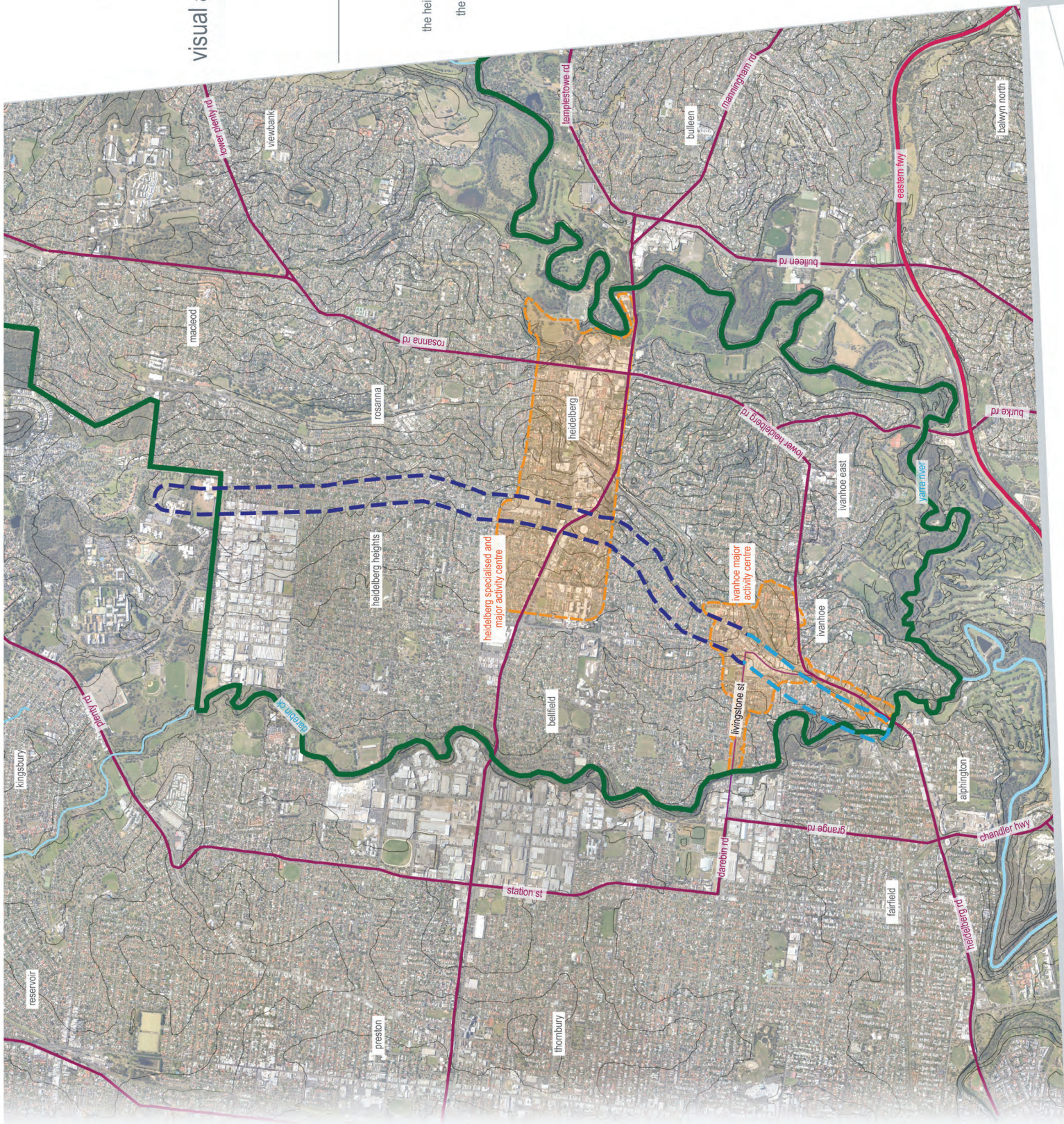


The following plans show more detail for each ridgeline.

Figure 8

visual assessment of ridgelines in banyule the heidelberg-eaglemont ridgelines

- legend
-  banyule municipal boundary
 -  key water ways
 -  the heidelberg-eaglemont regional ridgelines
 -  the heidelberg-eaglemont local ridgelines
 -  freeways
 -  primary roads
 -  contours at 10m intervals
 -  activity centre



project ref: 2010.640
 dwg no.: LCD-008
 scale: 1:30,000@A3
 date: 12.06.12
 revision: B



figure 9

visual assessment of ridgelines in banyule the bundooora-diamond village army barracks ridgelines

- legend
-  banyule municipal boundary
 -  key water ways
 -  the bundooora-diamond village army barracks regional ridgeline
 -  the bundooora-diamond village army barracks local ridgeline
 -  freeways
 -  primary roads
 -  contours at 10m intervals
 -  activity centre

project ref: 2010.640
 dwg no.: LCD-009
 scale: 1:30,000@A3
 date: 30.05.12
 revision: B

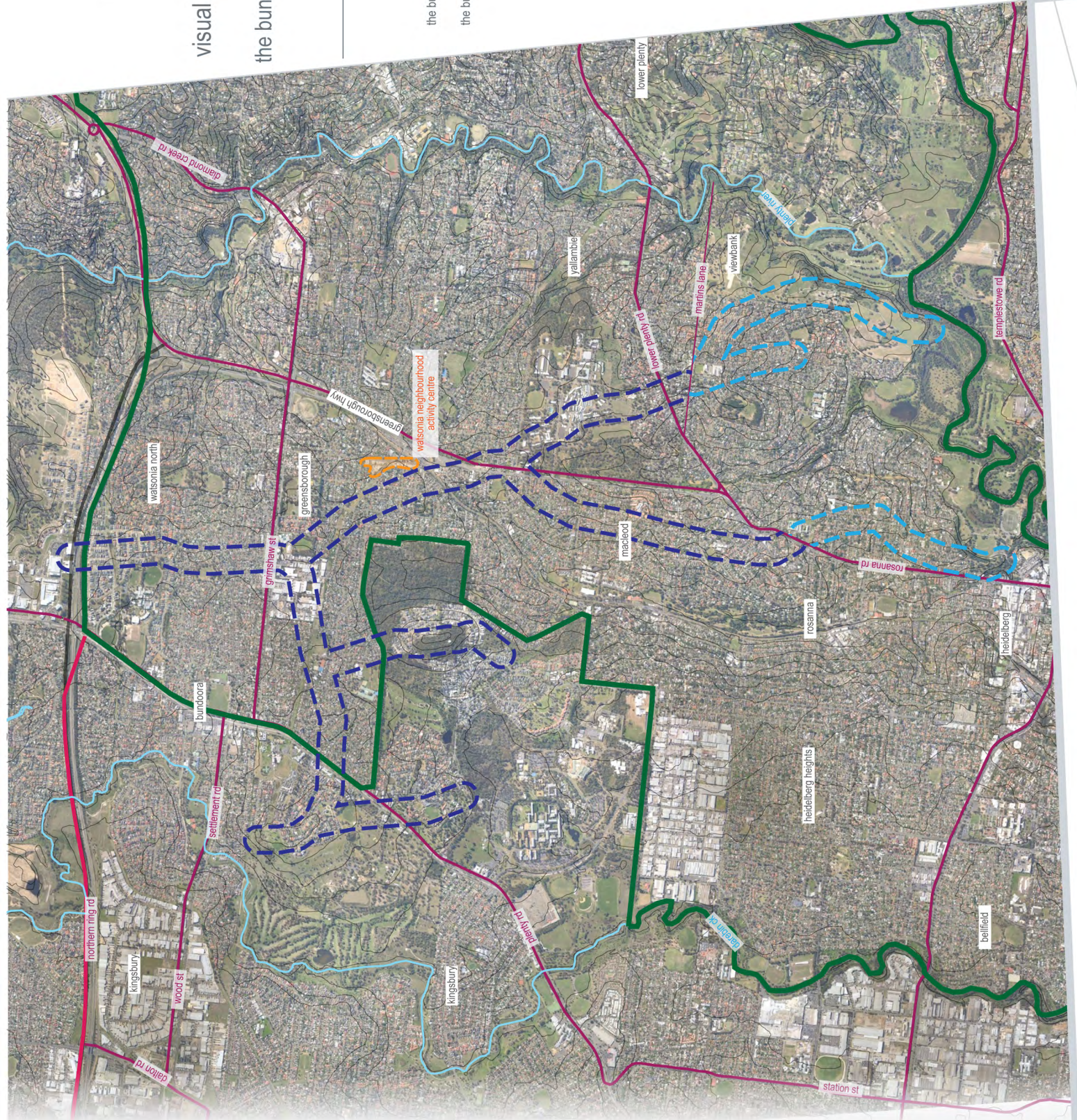
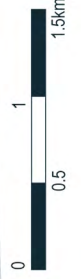
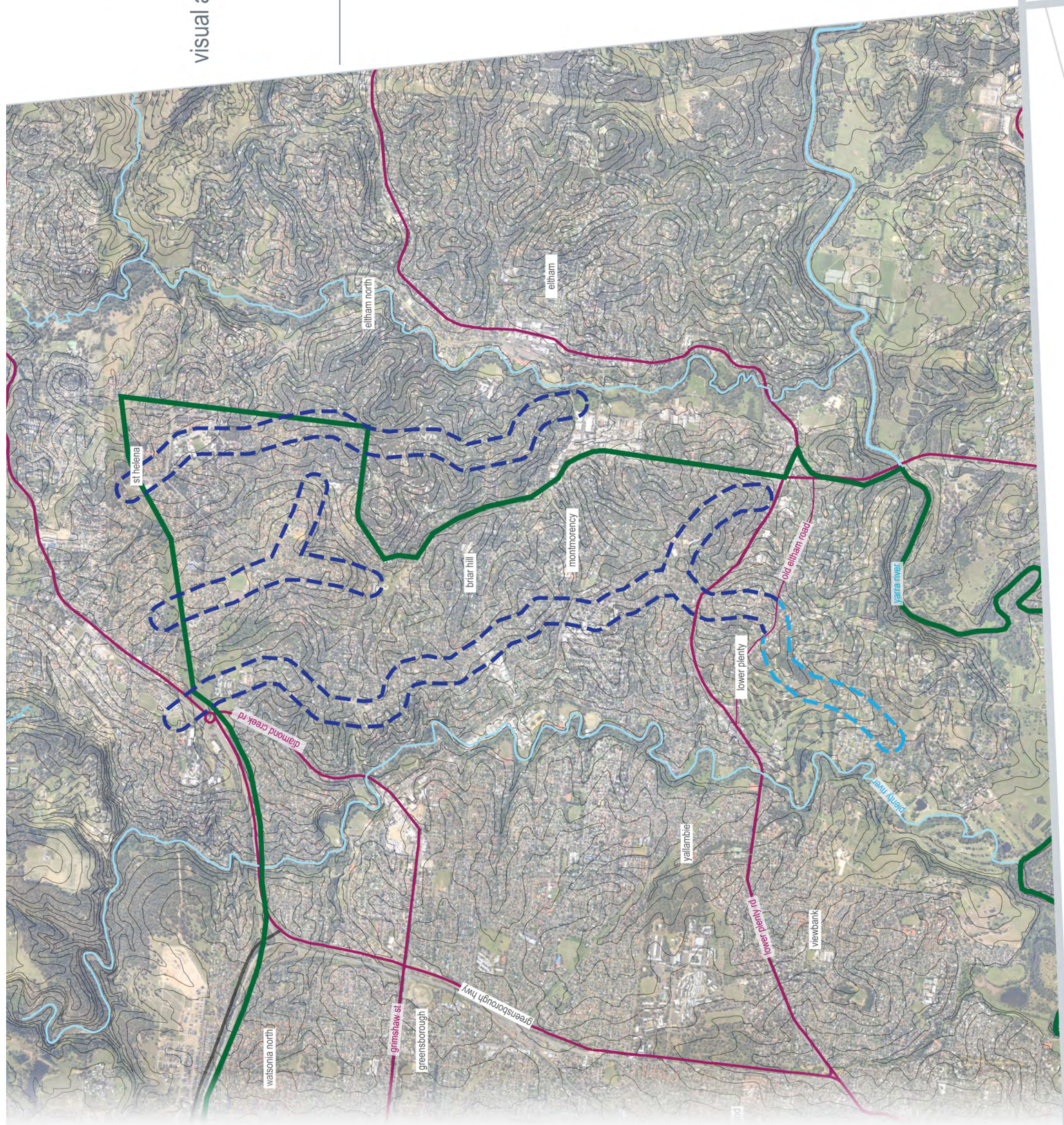


figure 10

visual assessment of ridgelines in banyule the foothills ridgelines



project ref: 2010.640
 LCD-010
 scale: 1:30,000@A3
 date: 12.06.12
 revision: B

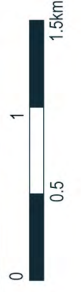


figure 11



Recommendations

This study has established an understanding for Banyule's ridgelines. It has shown that ridgelines have landscape significance. Much of this significance exists on privately owned land, along and near the apex of each ridgeline. The greatest threat to the green, treed landscape character of these ridgelines is inappropriate residential development and tree removal.

Recommendations for improving the Banyule Planning Scheme are:

- **Priority 1:** Improving existing local policies and overlays
- **Priority 2:** Updating the MSS, new Overlays for the ridgelines and a new local planning policy for trees.

7.1 Priority 1: Improving existing local planning policies and overlays

Local Planning Policies - Residential Neighbourhood Character Policy at Clause 22.02

This Residential Neighbourhood Character Policy applies to all development in the Rural Conservation, Residential 1 and Low Density Residential Zones. It expires after March 2013. The policy gives objectives for development to respect the desired future character of neighbourhood precincts. It also gives key threats, design objectives and responses for each precinct.

Whilst the existing Local Planning Policy benefits the ridgelines, with Design Objectives and Design Responses for trees and landscaping, it is necessary to give clearer direction for preferred development around the ridgelines. This should be done in a permanent Residential Neighbourhood Character Policy and any extended interim policy, by updating:

- Statements of desired future character for precincts with ridgelines, to consider the **Visions** in section 6 of this report.
- Issues for neighbourhoods, to consider the **Land Development Risks** in Section 6 of this report.
- **Design Objectives** and **Design Responses**, to consider those in Section 6 of this report.

Overlays - Vegetation Protection Overlay Schedule 5 (Substantial Tree Protection Area)

This overlay looks to retain, protect and promote further planting of trees as a significant component of local identity and neighbourhood character. The overlay was put into the scheme in November 2010 and expires after 30 November 2012.

The overlay affects some residential areas on the west of the Plenty River and includes the Heidelberg to Eaglemont Ridgeline and the Bundoora to Diamond Village to Army Barracks Ridgeline.

This schedule could be refined for any learnings acquired since it came into effect and made permanent as it is effectively tailored to protecting trees and enabling replanting for taller trees. Current



planning permit triggers included the removal of any trees higher than 12 metres or a tree with a trunk more than 400mm in diameter, measured at 1400mm above the base of the tree.

Other Overlays - VPOs and ESOs

Several other VPOs and ESOs affect land at the east side of the Plenty River, where the foothills ridgelines can be found. These include:

- VPO - Schedule 1 for Plenty River East Area
- ESO - Schedule 1 for Yarra River, Plenty river and Darebin Creek
- ESO - Schedule 3 for Sites of Botanical, Zoological and Habitat Significance
- ESO - Schedule 4 for Significant Trees and Areas of Vegetation

Collectively, these overlays go some way to protecting ridgelines. However a future review of the Banyule Planning Scheme might uncover opportunities to improve consistency between a final VPO5 and these other, separate overlays. In the interim these existing overlays should be retained and a review of them only done after interim VPO5 has been made permanent and a permanent neighbourhood character policy has been established.

A Design and Development Overlay, Schedule 8 for the Plenty River East Neighbourhood Character, applies to most of the Foothills ridgelines. Its objectives promote development to stay below the tree canopy in this area. Along with VPO1, the Foothills ridgelines already have effective planning scheme protection. Consequently the focus for any overlay changes should be for VPO5.

7.2 Priority 2: Updating the Municipal Strategic Statement, New Overlays for Ridgelines and a New Local Planning Policy for Trees

Updated Municipal Strategic Statement

The MSS makes no specific reference to ridgelines. It does encourage the protection and general enhancement of natural environments. It also flags implications for a changing built environment. Whilst these are important, and help to support existing planning scheme provisions, there is an opportunity to improve Clause 21.05 Natural Environment for Key Issues, Objectives and Strategies for Banyule's ridgelines. This might be done by considering the following:

Key Issues

Banyule has regionally and locally significant ridgelines. The green, tree dominated landscape character of these ridgelines needs to be protected and improved.

Banyule's significant ridgelines, outside the core of Activity Areas, are under threat from buildings that dominate their landscape and tree removal that diminishes the tree dominated appearance of these urbanised landscapes.



Objective for Topography and Ridgelines

To protect and improve regional and local significant ridgelines.

Strategies to achieve the objective

Ensure dwellings respect the undulating character of the area.

Ensure dwellings do not dominate the landscape or ridgelines by following the contours of the land.

Ensure that buildings and extensions do not dominate the streetscape and ridgelines, and sit well beneath the tree canopy and are sympathetic to the landscape context.

Maintain and improve the tree dominated ridgelines outside the core of Activity Areas.

New Overlays

The three ridgelines each have regional significance. This significance would be given greater effect in the Banyule Planning Scheme by introducing a new **ESO or SLO** for each ridgeline. The local significance of each ridgeline would be enabled by achieving priorities 1 and 2.

The definition of any ESO or SLO should ensure land at and around the apex of every regionally significant ridgeline is defined. The overlay should include those properties with vegetation that contributes to the ridgelines green, treed appearance. This will differ for each ridgeline, as a starting point it is suggested that a 100m buffer be used on each side of a ridgeline's apex, to capture those properties that are close to a ridgeline's apex.

New Policies

Creation of a Local Planning Policy for Tree Protection, Planting and Landscaping should be considered. Such a policy might bring together the various tree and landscaping provisions that exist in various overlays in the Banyule Planning Scheme.